

Prepared for:
Site Plan Review
12.22.2020

Project:
417& 411 Lexington Pkwy N, St. Paul
20-053.00



Project Narrative

Alatus, LLC submits this narrative in support of the site plan application for Lexington Project (the “Project”), a 6-story, mixed-use residential building featuring 285 apartment homes, street-level retail, active ground-floor amenity spaces, and structured parking. Located just one-half block south of Metro Transit’s Green Line Lexington Parkway Station (a 3-minute walk), the Project will promote public transit use and multi-modal forms of transportation, support the City’s density goals and provide a development that aligns with the City’s long-term vision for this area. The Project supports the City’s goals as stated in the Transit-Corridor plans as well as the applicable neighborhood Small Area Plans. Specifically, it will enhance the existing community’s density and mixed-use character through new right-sized, transit-oriented development. The Project is designed to support this vibrant, mixed-use corridor though the construction of a landmark building that draws upon Lexington Parkway’s processional potential yet respects the history and context of the area. The Project will strengthen the streetscape edge, give definition to the block that will improve safety, and, perhaps most importantly, provide connections to the single-family neighborhood (East of Lexington Pkwy) which will improve the porosity and legibility of the area (in alignment with the City’s long-term vision for this area). Lastly, considering that this site has long been vacant and tremendously unattractive for neighbors in all directions, The Project will transform an under-utilized location into its highest and best use for the local community and larger region.

The Lexington Project also implements the community’s stated goals through design choices and thoughtful use of quality building materials. For example, multiple “front doors” are visible from/oriented toward the intersection of Lexington Parkway and University Avenue, and from Lexington and Fuller Avenue. The building’s prominent architectural features and public frontages line Lexington Avenue in an undulating manner with varying setbacks and cut-outs to break up massing. A multi-modal grand entrance provides clear wayfinding and site circulation.

The Project creatively supports the desire of area stakeholders to see a wider range in rents within new privately-financed developments, including more units at deeper levels of affordability. Specifically, the Project seeks to reduce construction costs and use new, efficient unit configurations (including affordable co-living suites) in an effort to achieve overall rent levels that will be appealing and attainable to both existing and new community members. In addition, the Project reduces overall housing cost burdens for its residents due to proximity to multiple public transit options, as well as carefully selected operational strategies including transit subsidies, bulking internet and cable, the building’s use of efficient heating and cooling systems to reduce resident utility burdens, and pooling of insurance deposits to reduce up-front resident costs.

In summary, over the past 18+ months, the Lexington Project team has invested significant time and energy in engagement with area stakeholders in order to fully understand and explore the specific and varied needs, wants, and opportunities that are presented at this significant and nuanced location. In response to these discussions, the Project has evolved over time. The Project’s program and design reflect community values and leverage the tools and resources available. As a result, the Project will (1) introduce a needed diversity of quality attainable housing options into the area, (2) create a connected, walkable, active streetscape, (3) provide economic opportunity through retail oriented to transit, and (4) help balance the various land uses, cultural backgrounds, and income levels in the community.

Importantly, the Project meets all of the Code requirements that are necessary for site plan approval and, based on this, and for all of the reasons stated above, we ask that Staff support the Project and approve the site plan.

Parking Narrative

Applicant will be providing 234 structured and enclosed parking stalls between grade level and one level of underground parking for an approximately 0.81 parking stalls to units ratio. Additional necessary parking for building residents will be accommodated by surrounding on-street parking locations in all directions. Applicant is also looking to establish temporary parking locations in adjacent under-utilized surface parking lots which surround the redevelopment parcels.

Trash Narrative

Trash and waste management will occur within the confines of the property’s boundary. Waste bins will be held internally on the first floor within the enclosed parking structure. It is estimated that trash removal will occur on Mondays and Thursdays in the morning hours. Containers will be moved from their interior location outside to a concrete pad on the western side of the building via the resident-entry garage door. The 3-cubic-yard containers would be moved to this location, picked up, and emptied by a private trash collection service. Once they have been emptied, on-site management staff will move the dumpster bins back to the interior of the building.



INTRODUCTION - CONTENTS & DESCRIPTION

CONTENTS

Introduction

Site Analysis

Proposed Project

Civil

table of contents & project information

site aerials

zoning and adjacent uses

surrounding buildings

street panoramas

site plan

floor plans

elevations

materials

perspectives

shadow study

civil notes

demo sheet

site plan

grading plan

swppp

swpp notes

utility notes

civil details

landscape plan

landscape notes

4

5

6

7

8

9

10

13

16

17

23

C0-1

C1-1

C2-1

C3-1

C3-2

C3-3

C4-1

C8-1

L1-1

L1-2

PROJECT TEAM

Real Estate Developer
Alatus
800 Nicollet Mall, Ste 2850, Minneapolis, MN, 55402

Architect
DJR Architecture, Inc.
333 N Washington Ave #210, Minneapolis, MN, 55401

Civil Engineer & Landscape Architect
Loucks
7200 Hemlock Lane, Ste 300, Maple Grove, MN 55396

General Contractor
Rise Modular
222 S 9th St, Ste 3700, Minneapolis, MN 55402

Traffic
Swing Traffic Solution, LLC
4290 Norwood Ln, N. Plymouth, MN 55442



Aerial from Google Earth - 2020

Address

417 & 411 Lexington Pkwy N, St. Paul, MN 55104

Legal Description

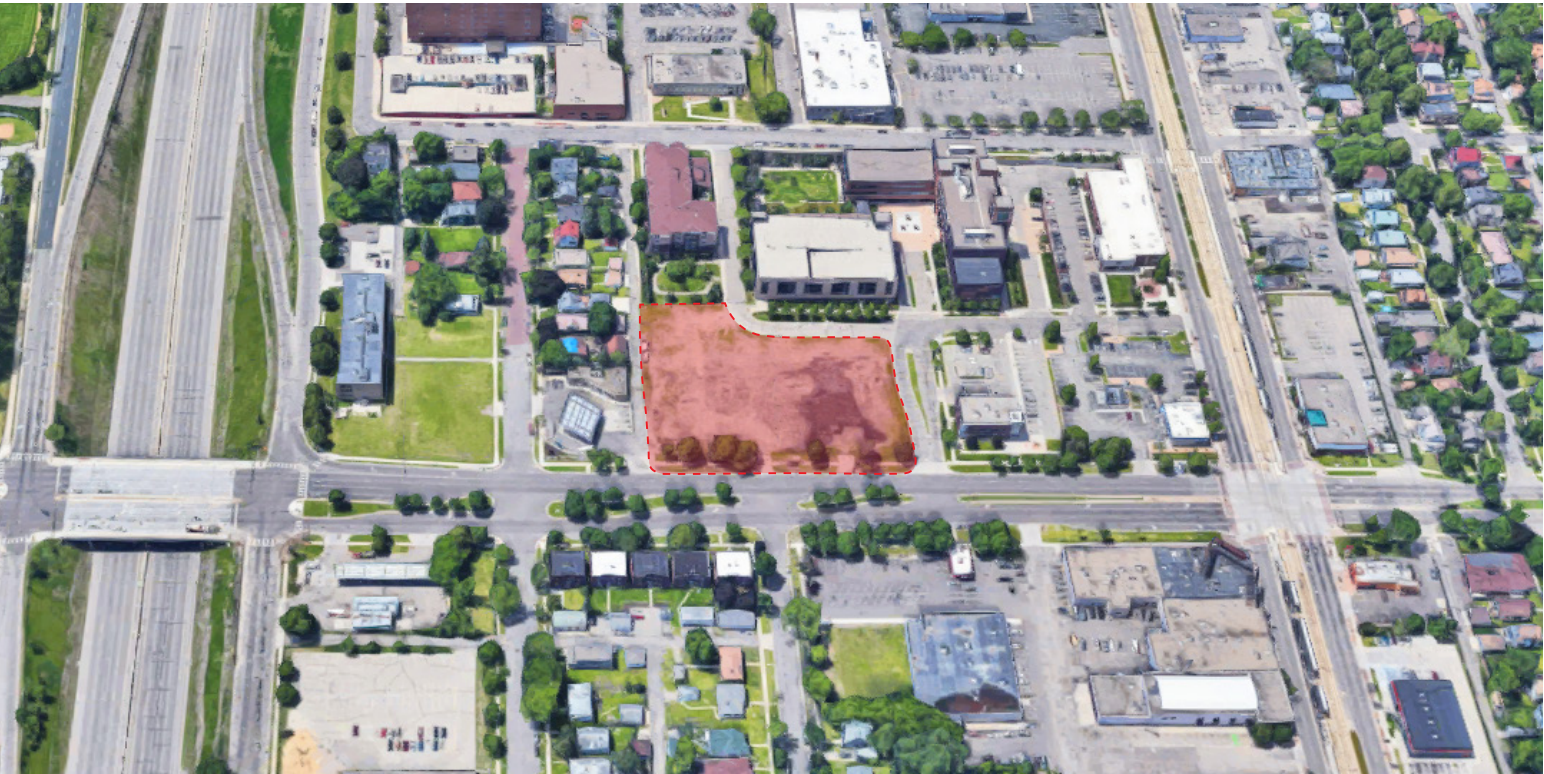
Parcel Number for 417: 342923410067 & Parcel Number for 411: 342923410069

Area

2.05 acres (89,298 sq. ft.) existing



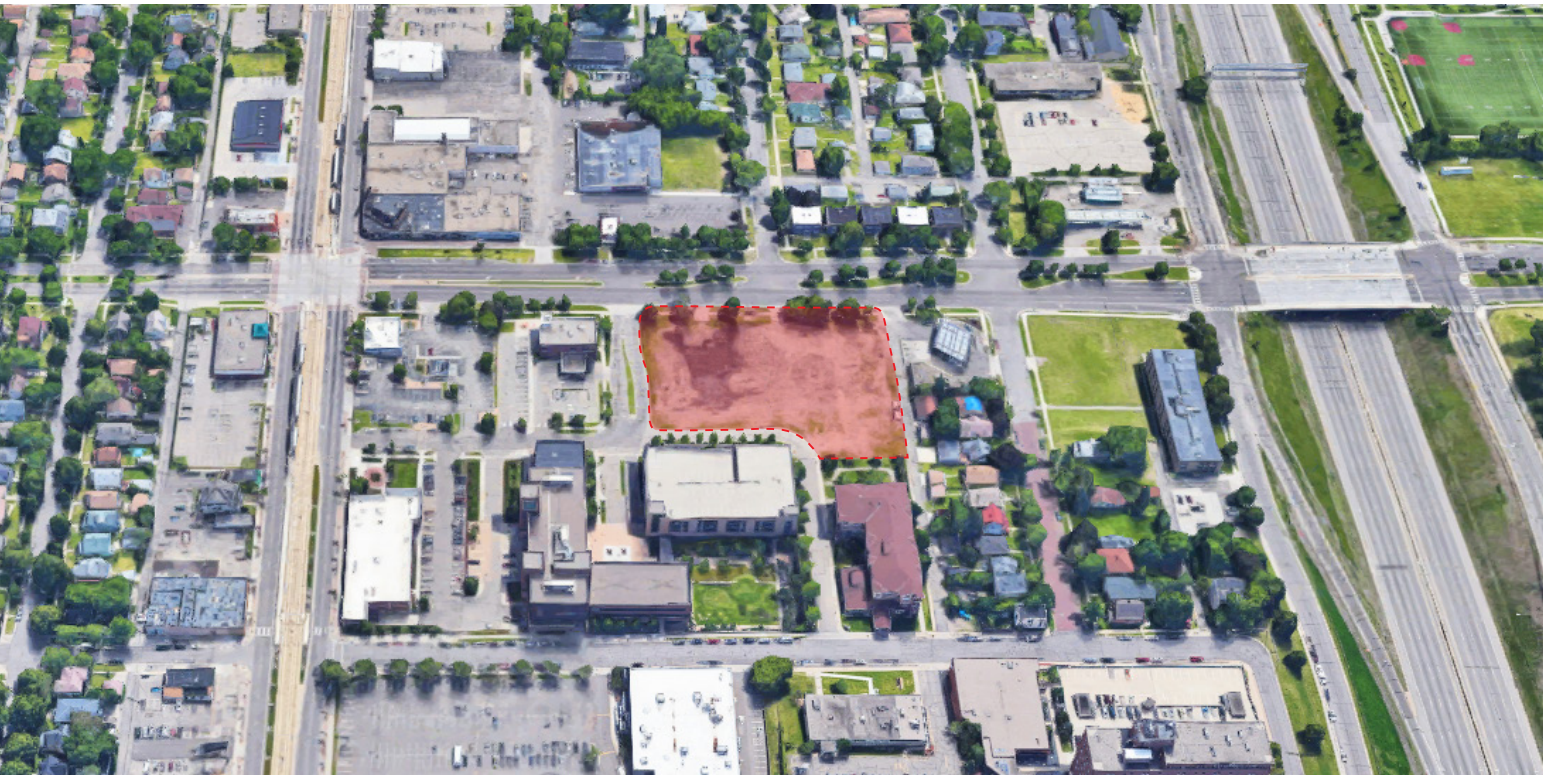
SITE ANALYSIS - AERIALS



Aerial Photo Looking West



Aerial Photo Looking North

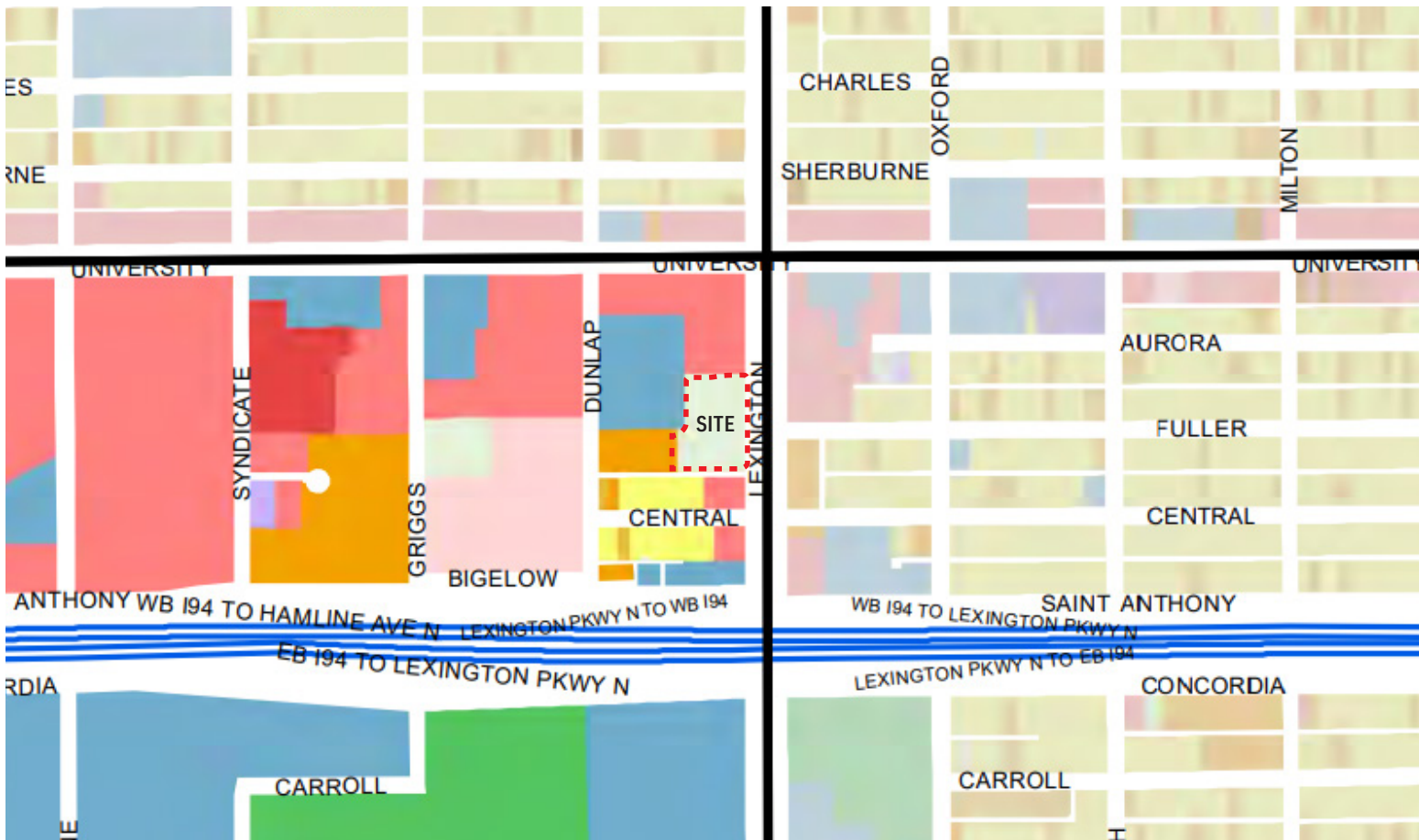


Aerial Photo Looking East

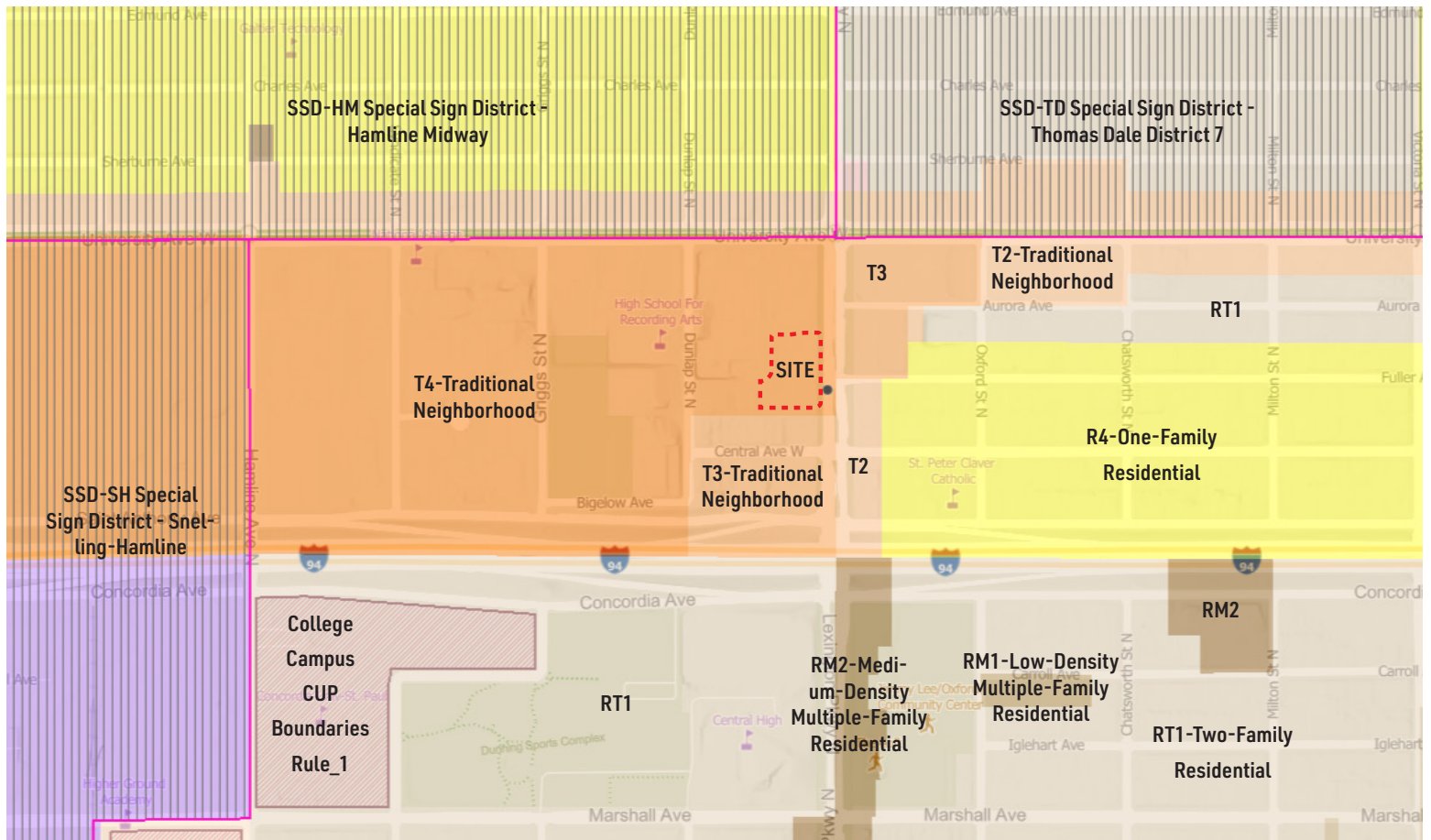


Aerial Photo Looking South

SITE ANALYSIS - ZONING AND ADJACENT USES



Land Use Map



Primary Zoning Map

Key:

- | | | |
|--------------------------------|-----------------------------|--------------------------------|
| Undeveloped | Single Family Attached | Mixed Use Commercial and Other |
| Water | Multifamily | Industrial and Utility |
| Institutional | Retail and Other Commercial | |
| Park, Recreational or Preserve | Office | |

SITE ANALYSIS - SURROUNDING BUILDINGS



1. Wilder Foundation



2. Wilder Foundation Parking Garage



3. Multi Family Housing



4. O'Reilly Store



5. TCF Bank



6. Store Fronts (Scale Model Supplies)



7. Aldi Store



8. Super America Gas Station



9. Carty Heights Apartment Building



10. Whistler Creek Printed Music Publisher



11. Single Family Housing

STREET PANORAMA



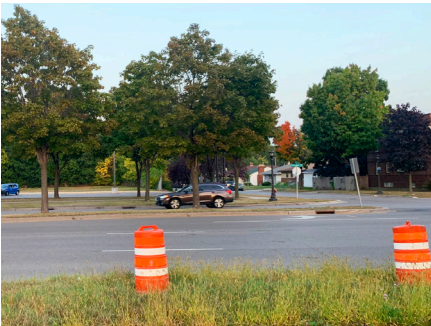
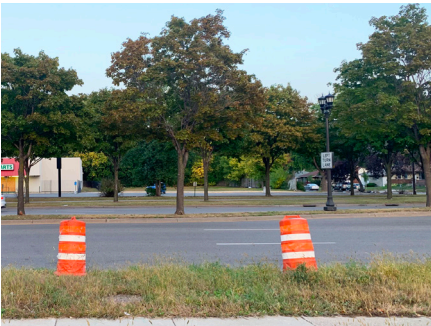
West View from Site



North View from Site



West View from Site



South View from Site



SITE PLAN



O'REILLY AUTO PARTS

PROJECT INFORMATION

Area Schedule - Gross (Summary)	
Level	Area
LEVEL P1	46,597 SF
LEVEL 1	60,718 SF
LEVEL 2	44,750 SF
LEVEL 3	44,676 SF
LEVEL 4	44,321 SF
LEVEL 5	44,326 SF
LEVEL 6	44,312 SF
Grand total	329,700 SF

ZONING
CURRENT PRIMARY ZONING T4 - TRADITIONAL NEIGHBORHOOD
CURRENT OVERLAY ZONING N/A
SP 2030 COMPREHENSIVE PLAN MIXED USE CORRIDOR

SITE*
TOTAL AREA 89,168SF*
*Site area estimated from Ramsey County Property Map

FAR
FLOOR AREA RATIO = 2.72

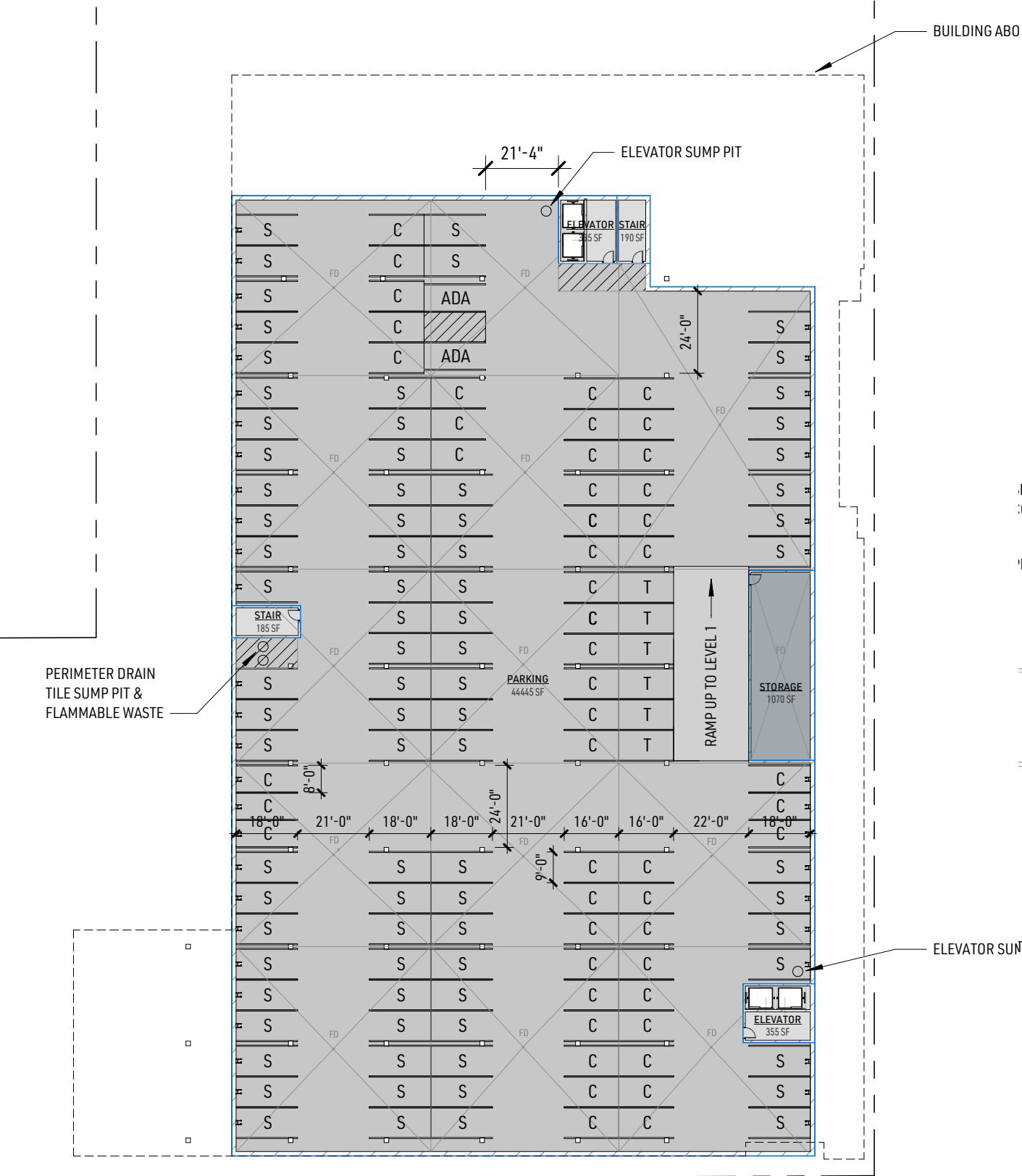
Unit Rentable Area (SF)			
Name	Level	Count	Area
1BR	LEVEL 2	14	9,520 SF
1BR DEN	LEVEL 2	1	795 SF
2BR	LEVEL 2	7	6,674 SF
4BR	LEVEL 2	3	5,475 SF
ALCOVE	LEVEL 2	10	5,456 SF
STUDIO	LEVEL 2	21	9,474 SF
56			37,395 SF
1BR	LEVEL 3	15	10,269 SF
1BR DEN	LEVEL 3	1	795 SF
2BR	LEVEL 3	8	7,459 SF
4BR	LEVEL 3	3	5,475 SF
ALCOVE	LEVEL 3	10	5,453 SF
STUDIO	LEVEL 3	21	9,479 SF
58			38,930 SF
1BR	LEVEL 4	15	10,262 SF
1BR DEN	LEVEL 4	1	796 SF
2BR	LEVEL 4	8	7,459 SF
4BR	LEVEL 4	3	5,475 SF
ALCOVE	LEVEL 4	6	3,300 SF
STUDIO	LEVEL 4	25	11,279 SF
58			38,570 SF
1BR	LEVEL 5	15	10,271 SF
1BR DEN	LEVEL 5	1	796 SF
2BR	LEVEL 5	8	7,459 SF
4BR	LEVEL 5	3	5,475 SF
ALCOVE	LEVEL 5	6	3,300 SF
STUDIO	LEVEL 5	25	11,279 SF
58			38,580 SF
1BR	LEVEL 6	15	10,271 SF
1BR DEN	LEVEL 6	1	796 SF
2BR	LEVEL 6	8	7,511 SF
4BR	LEVEL 6	3	5,475 SF
ALCOVE	LEVEL 6	6	3,295 SF
STUDIO	LEVEL 6	25	11,279 SF
58			38,626 SF
Grand total: 288			192,101 SF

Area Schedule		
Level	Name	Area
LEVEL P1	BOH	1,071 SF
LEVEL P1	CIRCULATION	1,079 SF
LEVEL P1	PARKING	44,446 SF
		46,597 SF
LEVEL 1	AMENITY	7,419 SF
LEVEL 1	BOH	3,049 SF
LEVEL 1	CIRCULATION	4,980 SF
LEVEL 1	COMMERCIAL	3,004 SF
LEVEL 1	PARKING	42,285 SF
		60,737 SF
LEVEL 2	AMENITY	1,368 SF
LEVEL 2	BOH	110 SF
LEVEL 2	CIRCULATION	5,104 SF
LEVEL 2	RESIDENTIAL	37,391 SF
LEVEL 2	WORK SUITE RENTABLE	814 SF
		44,787 SF
LEVEL 3	BOH	110 SF
LEVEL 3	CIRCULATION	4,780 SF
LEVEL 3	RESIDENTIAL	39,006 SF
LEVEL 3	WORK SUITE RENTABLE	925 SF
		44,821 SF
LEVEL 4	BOH	110 SF
LEVEL 4	CIRCULATION	4,780 SF
LEVEL 4	RESIDENTIAL	39,006 SF
LEVEL 4	WORK SUITE RENTABLE	925 SF
		44,821 SF
LEVEL 5	BOH	110 SF
LEVEL 5	CIRCULATION	4,780 SF
LEVEL 5	RESIDENTIAL	39,006 SF
LEVEL 5	WORK SUITE RENTABLE	925 SF
		44,821 SF
LEVEL 6	BOH	110 SF
LEVEL 6	CIRCULATION	4,717 SF
LEVEL 6	COMMON / AMENITY	1,636 SF
LEVEL 6	RESIDENTIAL	36,953 SF
		43,416 SF

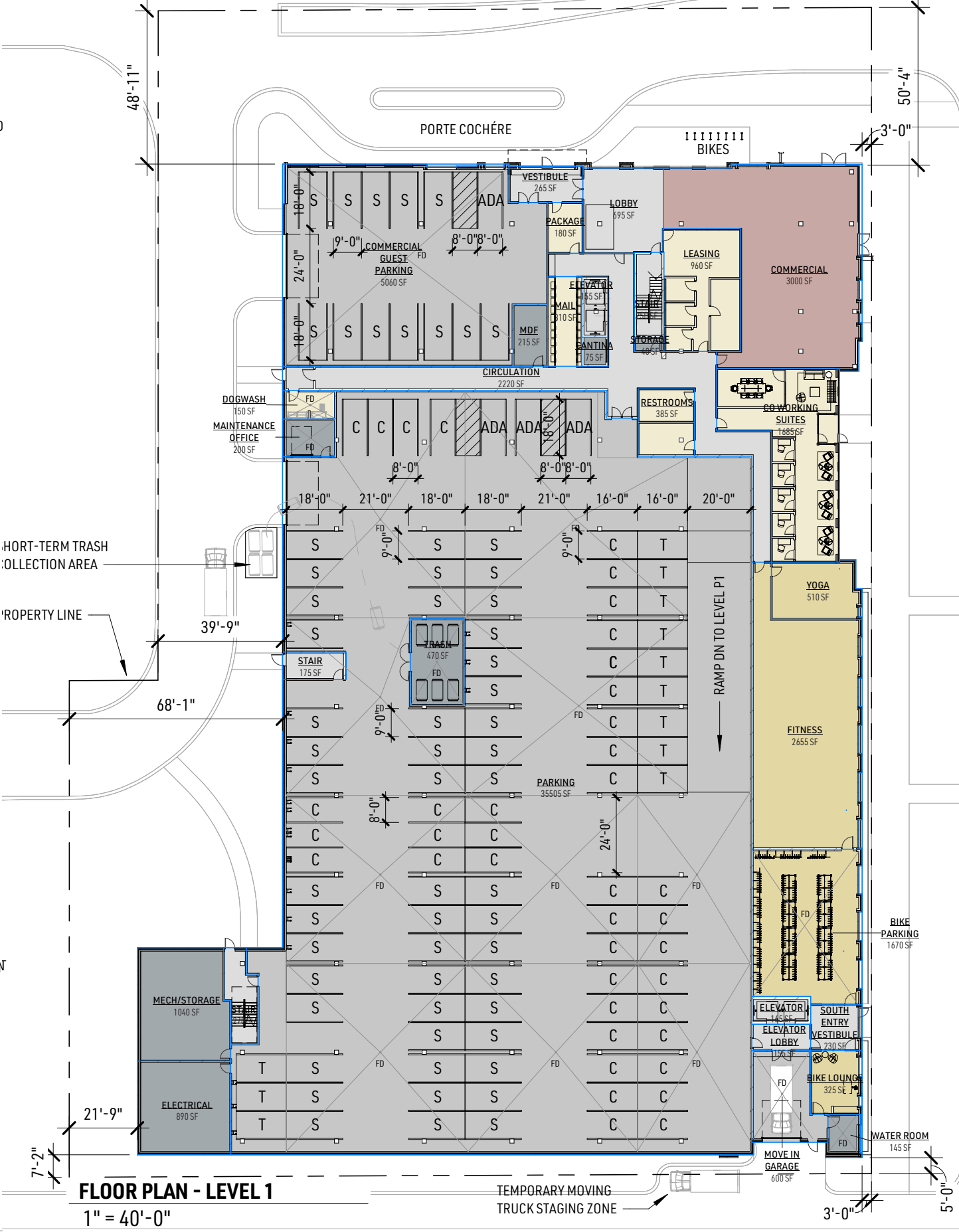
Parking Schedule		
Stall Type	Size	Count
ADA 2	8' x 18' (ADA)	6
Compact 2	9' x 16' (Compact 2)	71
Compact 3	8' x 18' (Compact 3)	19
Standard 1	9' x 18' (Standard 1)	140
Tandem	9' x 16' (Tandem)	18
		254

Bike Racks	
Bike Rack Type	Counts
Exterior Freestanding Bike Rack	8
Interior Dero Bike Rack "Bike File" (floor mounted)	144
Interior Dero Bike Rack "Bike File" (wall mounted)	72
Interior Dero Bike Rack "Wall Rack"	64
	288

FLOOR PLANS



FLOOR PLAN - LEVEL P1
1" = 40'-0"



FLOOR PLAN - LEVEL 1
1" = 40'-0"

FLOOR PLANS - LEVEL 2



FLOOR PLAN - LEVEL 2

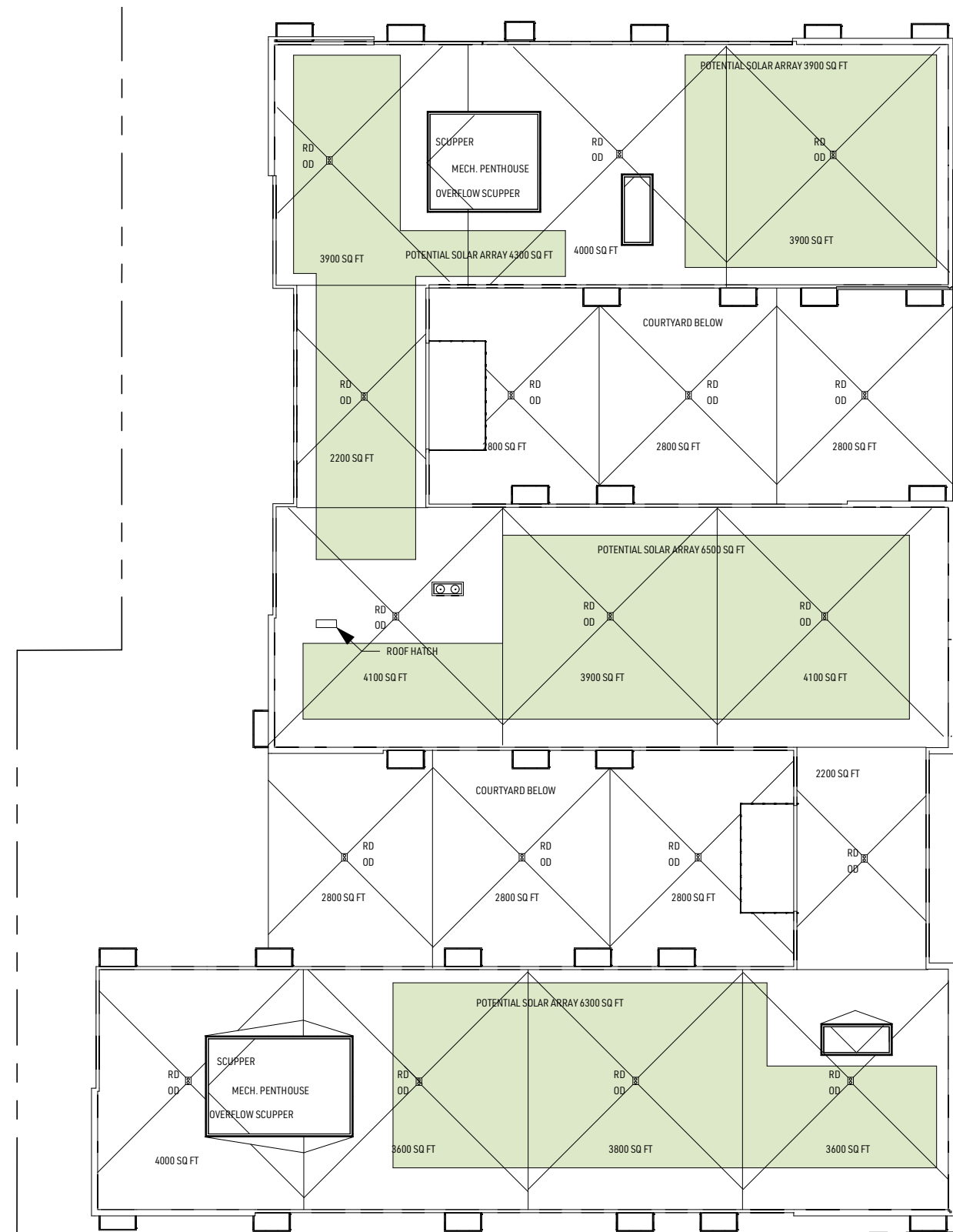
1" = 40'-0"



FLOOR PLAN - LEVEL 3-5

1" = 40'-0"

FLOOR PLANS - LEVEL 6



ROOF PLAN

$$1'' = 40' - 0''$$


FLOOR PLAN - LEVEL 6

$$1'' = 40' - 0''$$

ELEVATIONS - NORTH & SOUTH

SOUTH ELEVATION - OPENING %		
Material	Area	%
OPAQUE	11,886 SF	70%
WINDOW	5,027 SF	30%
	16,913 SF	100%



SOUTH EXTERIOR ELEVATION
1" = 30'-0"

NORTH ELEVATION - OPENING %		
Material	Area	%
OPAQUE	8,247 SF	61%
WINDOW	5,199 SF	39%
	13,446 SF	100%



NORTH EXTERIOR ELEVATION
1" = 30'-0"

ELEVATIONS - EAST & WEST

LINEAR GLAZING %
@ GROUND LEVEL

OPAQUE 123'
GLAZING 174'
%58.5

EAST ELEVATION - OPENING %		
Material Type	Area	%
OPAQUE	15,158 SF	65%
WINDOW	8,038 SF	35%
	23,196 SF	100%

- CORRUGATED MTL
- GLASS BALCONY
- LAP SIDING
- BRICK #1
- BRICK #2



- ROOF BRNG
169' - 6 5/16"
- LEVEL 6
158' - 8 1/8"
- LEVEL 5
147' - 9 15/16"
- LEVEL 4
136' - 11 3/4"
- LEVEL 3
126' - 1 9/16"
- LEVEL 2
115' - 3 3/8"
- LEVEL 1
100' - 0"

EAST EXTERIOR ELEVATION
1" = 30'-0"

WEST ELEVATION - OPENING %		
Material	Area	%
OPAQUE	16,167 SF	73%
WINDOW	6,124 SF	27%
	22,290 SF	100%

- CORRUGATED MTL
- GLASS BALCONY
- LAP SIDING
- BRICK #2
- BRICK #1



- ROOF BRNG
169' - 6 5/16"
- LEVEL 6
158' - 8 1/8"
- LEVEL 5
147' - 9 15/16"
- LEVEL 4
136' - 11 3/4"
- LEVEL 3
126' - 1 9/16"
- LEVEL 2
115' - 3 3/8"
- LEVEL 1
100' - 0"

WEST EXTERIOR ELEVATION
1" = 30'-0"

ELEVATIONS - COURTYARD

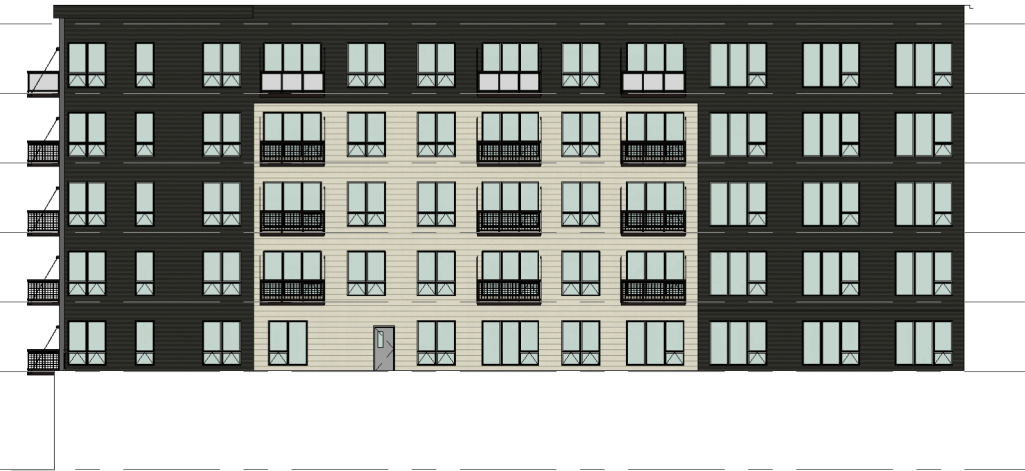


- ROOF BRNG
169' - 6 5/16"
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147' - 9 15/16"
- LEVEL 4
136' - 11 3/4"
- LEVEL 3
126' - 1 9/16"
- LEVEL 2
115' - 3 3/8"
- LEVEL 1
100' - 0"

NORTH COURTYARD (LOOKING NORTH)
1" = 30'-0"

NORTH COURTYARD (LOOKING WEST)
1" = 30'-0"

NORTH COURTYARD (LOOKING SOUTH)
1" = 30'-0"



- ROOF BRNG
169' - 6 5/16"
- LEVEL 6
158' - 8 1/8"
- LEVEL 5
147' - 9 15/16"
- LEVEL 4
136' - 11 3/4"
- LEVEL 3
126' - 1 9/16"
- LEVEL 2
115' - 3 3/8"
- LEVEL 1
100' - 0"

SOUTH COURTYARD (LOOKING NORTH)
1" = 30'-0"

SOUTH COURTYARD (LOOKING EAST)
1" = 30'-0"

SOUTH COURTYARD (LOOKING SOUTH)
1" = 30'-0"

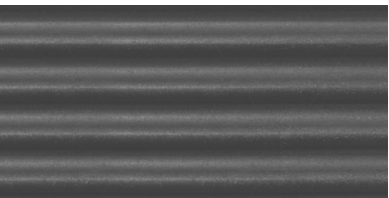
EXTERIOR MATERIALS



GL1 - LOW-E GLASS
Vendor/Supplier: Vitro or similar
Model: SN 68, Insulated, Low-E coating
Color: Starphire
Use: All glass



CP1 - Composite Panel
Vendor/Supplier: James Hardie
Model: Hardie Plank Lap Siding Colonial Smooth
Color: White
Use: Field Material

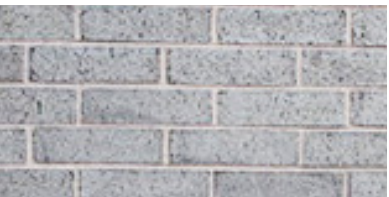


CMP1 - CORRUGATED PANEL
Vendor/Supplier: Metal Sales or Similar
Model: 1/25" corrugated or Similar
Color: Charcoal
Use: Field Material

EXPOSED FASTENERS - PUT IN LIST



BR1 - BRICK
Vendor/Supplier: Glen-Gery or similar
Model: Facebrick
Color: Ebonite Velour - Black (with dark mortar)
Use: Podium Material



BR2 - BRICK
Vendor/Supplier: Glen-Gery or similar
Model: Facebrick
Color: Light Gray (with light mortar)
Use: Podium Material

GL1

CMP1

CP1

BK2

BR1





PERSPECTIVE - FROM SE









PERSPECTIVE - NORTH RESIDENTIAL ENTRY

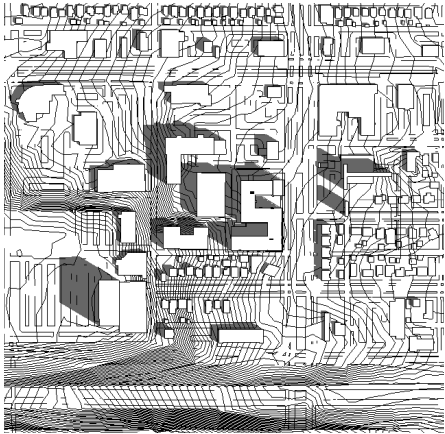


9:00 AM

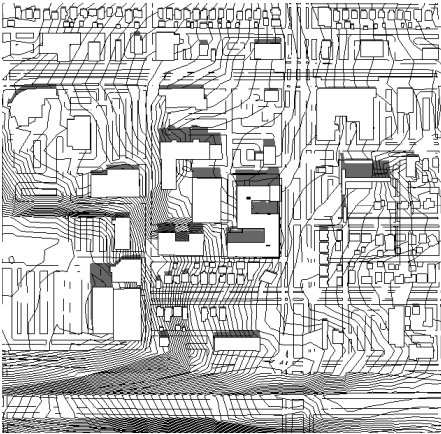
12:00 PM

3:00 PM

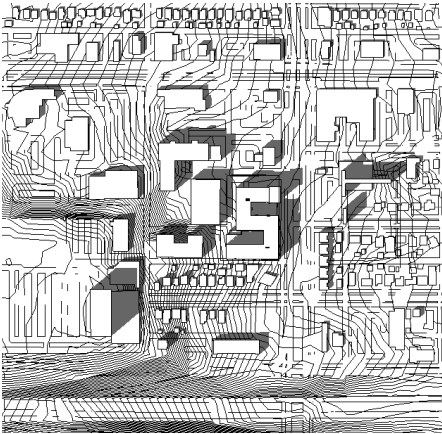
SPRING/FALL EQUINOX
MARCH 21



MARCH 21 AT 9:00 AM

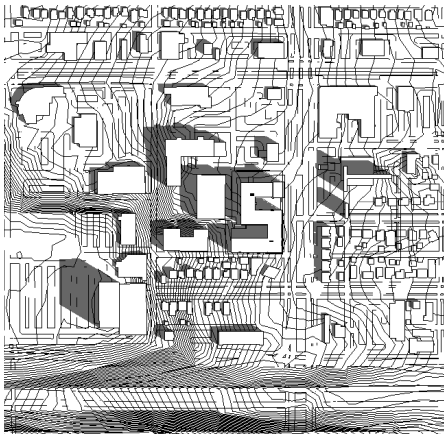


MARCH 21 AT 12:00 PM

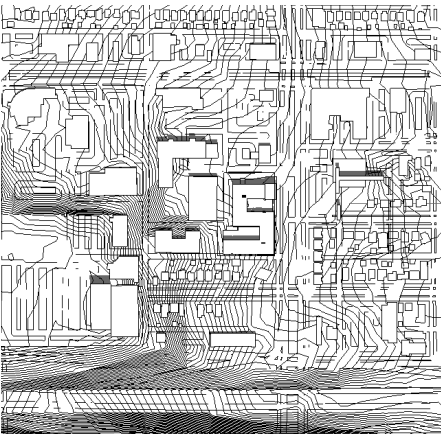


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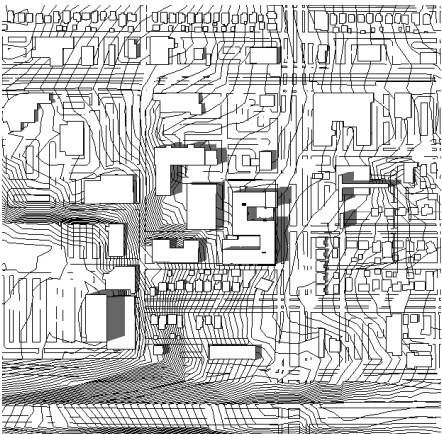
SUMMER SOLSTICE
JUNE 21



JUNE 21 AT 9:00 AM

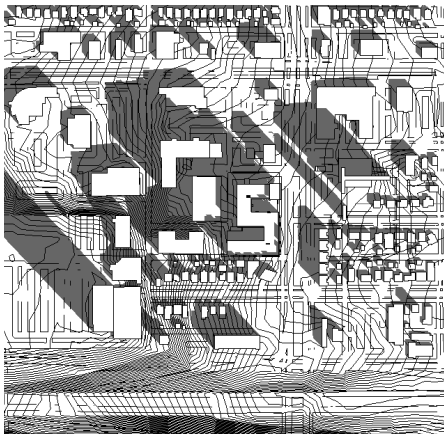


JUNE 21 AT 12:00 PM

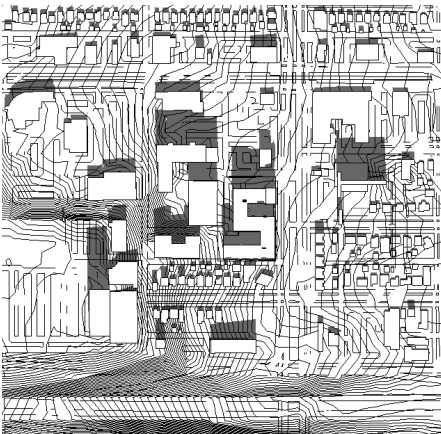


JUNE 21 AT 3:00 PM

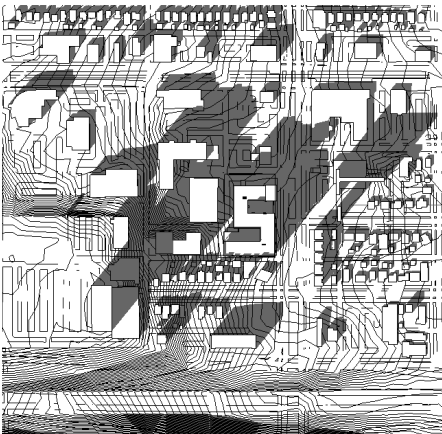
WINTER SOLSTICE
DECEMBER 22



DECEMBER 22 AT 9:00 AM



DECEMBER 22 AT 12:00 PM



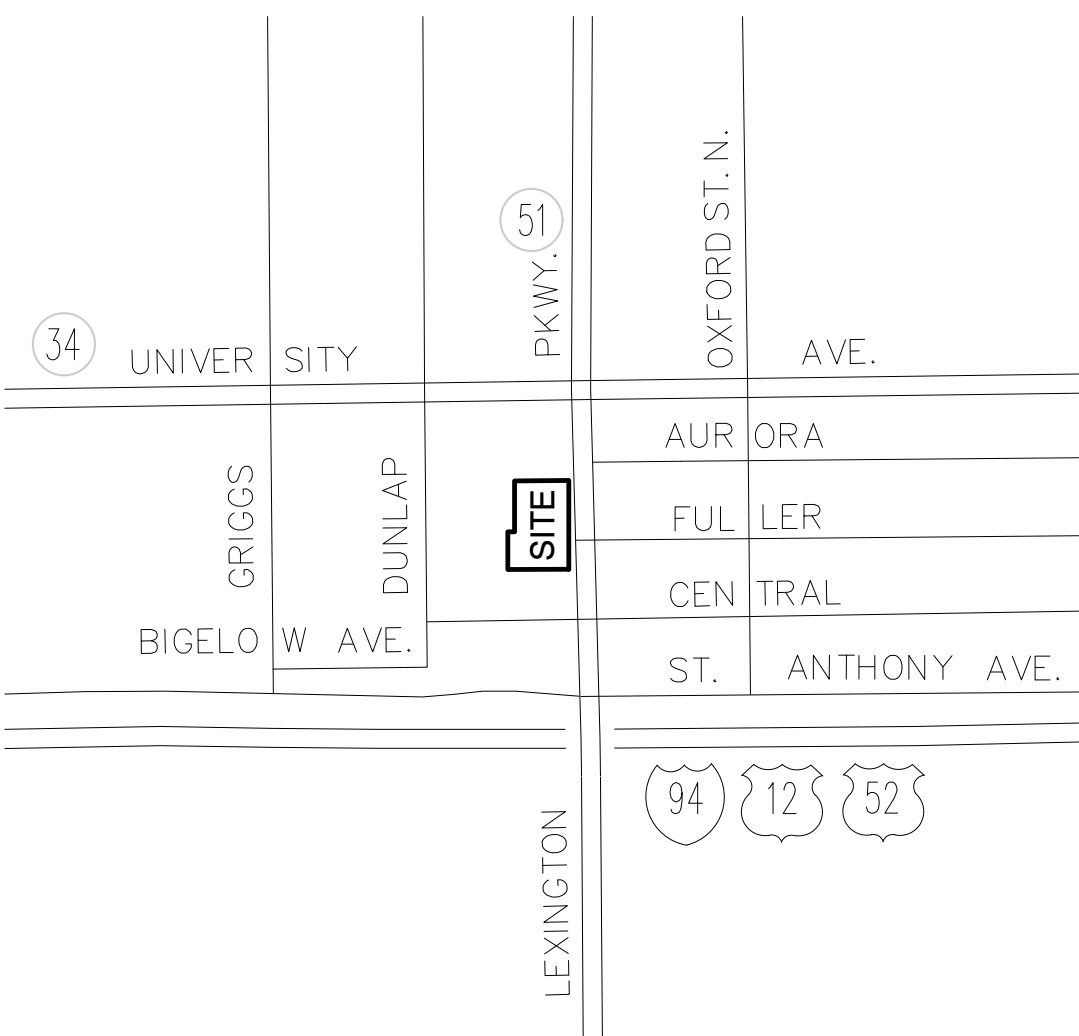
DECEMBER 22 AT 3:00 PM

LEGEND

- FOUND IRON MONUMENT
 - FOUND SCRIBED 'X'
 - ▲ FOUND NAIL
 - SET IRON MONUMENT 18425
 - ⊕ HYDRANT
 - ⊗ WATER VALVE
 - ⊙ WATER MANHOLE
 - ⊕ SANITARY MANHOLE
 - ⊙ CATCH BASIN
 - ⊕ ELECTRIC BOX
 - ⊕ LIGHT
 - ⊕ STORM MANHOLE
 - ⊕ POWER POLE
 - ⊕ BOLLARD
 - ⊕ SPOT ELEVATION
 - ⊕ SIGN
 - GUY WIRE
 - ⊕ CABLE BOX
 - ⊕ UNKNOWN MANHOLE
 - (P) PLATTED DISTANCE
 - (R) PER RECORD/AS-BUILT PLAN
- GAS
 - SANITARY SEWER
 - STORM SEWER
 - WATERMAIN
 - OVERHEAD UTILITY
 - FENCE
 - CONCRETE
 - BITUMINOUS
 - WALL
 - APPROX. LOCATION OF UNDERGROUND STORM BASIN

VICINITY MAP

NOT TO SCALE



ZONING

The following zoning information is based on a zoning letter from the City of St. Paul to Commercial Partners Title, LLC, dated June 27, 2019.

Classification: T4 - traditional neighborhood district

Setbacks:
Front: information not provided
Side: information not provided
Rear: information not provided

Max. Height: information not provided

Floor Space Area: information not provided

Parking: no minimum parking requirements

POSSIBLE ENCROACHMENTS

1. Bituminous pavement extends onto the property from the adjoining alley to the south, as shown on the survey.

BENCHMARKS

Benchmark 1: Saint Paul benchmark 0004036 is a TNH on the NE corner of Saint Anthony Ave and Lexington Parkway N and has an elevation of 892.67 feet (NGVD29).

Benchmark 2: Local benchmark is a TNH located 33 feet SW of the NW corner of Lot 4 Block 1 of Lexington and University and 12 ft E of the NE corner of the parking garage located of Lot 2 Block 1 of Lexington and University and has an elevation of 895.47 feet (NGVD29).

PROPERTY DESCRIPTION

Parcel 1:

Lot 4, Block 1, Lexington and University, according to the plat thereof, Ramsey County, Minnesota.

Abstract Property

Parcel 2:

Lot 36, except the North 111.6 feet thereof, also except the West 294.01 feet thereof, also except the East 40 feet thereof taken for Lexington Parkway, Hall and Brown's Addition to Hyde Park, according to the recorded plat thereof, and situate in Ramsey County, Minnesota, together with that part of the North Half of vacated Taylor Avenue lying between the Southerly extensions of the East line of the West 294.1 feet and the West line of the East 40 feet of said Lot 36.

Ramsey County, Minnesota
Abstract Property

CERTIFICATION

To Alatus Development LLC, A Minnesota limited liability company, Commercial Partners Title, LLC, and Old Republic National Title Insurance Company:

This is to Certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA Land Title Surveys, jointly established and adopted by ALTA and includes Items 1-5, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11, 13, 14, 16, 17, 19 and 20 of Table A thereof. The fieldwork was completed on June 14, 2019.

Date of Plat or Map: July 3, 2019

REVIEW COPY

Dennis B. Olmstead, Professional Land Surveyor
Minnesota License No. 18425

NOTES

- This survey and the property description shown here on are based upon information found in the commitment for title insurance prepared by Commercial Partners Title, LLC as agent for Old Republic National Title Insurance Company, file no. 55478, First Supplemental, dated March 26, 2019.
- The locations of underground utilities are depicted based on Gopher State One Call, available city maps, records and field locations and may not be exact. Verify critical utilities prior to construction or design.
- The basis of bearings is assumed.
- All distances are in feet.
- The area of the above described property is 89,168 square feet or 2.047 acres.
- There are 0 regular striped parking stalls and 0 handicapped parking stalls.
- The property lies within Zone X (unshaded - areas determined to be outside the 0.2% annual chance floodplain) of Federal Emergency Management Agency (FEMA) Flood Insurance Community Panel No. 27123C0085G, effective June 4, 2010.
- At time of field work, site was being used as a snow storage area approximately 15 feet in height. We were not able to survey the ground surface in this area.
- Names of adjoining owners are depicted based on Ramsey County GIS tax information.
- No party walls identified during survey.
- Per City of Saint Paul Capital Improvements plan, no proposed evidence of proposed street right of way lines are evident.
- Survey related exceptions set forth in Schedule B, Section Two of the Title Commitment.

Item no. 14 - Terms, conditions, easements, restrictions and obligations created in Reciprocal Easement Agreement dated December 28, 2004, filed December 30, 2004, as Document No. 3820140. Access and stormwater easements are blanket affecting Parcel 1. Subject property also has access and drainage rights to the ALDI property to the north. Location of parking and utility easements could not be determined.

Item no. 15 - Terms, conditions, easements, covenants and obligations created in Lexington Park Reciprocal Easement Agreement dated April 18, 2006, filed April 18, 2006, as Document No. 3953818. Access easements are depicted graphically in the document over the existing drives as shown on the survey along the north and west lines of the property. Appears to provide access rights to subject property to Dunlap St. to the west and University Ave to the north.

Item no. 16 - Terms, conditions, easements and obligations of Access and Parking Easement Agreement dated December 17, 2008, filed January 6, 2009, as Document No. 4134480. Access easements are depicted graphically in the document over the existing drive as shown on the survey along the north line of the property.

Certificate of Completion dated June 9, 2009, filed September 4, 2009, as Document No. 4180438.
(Regarding Section 6 of the above mentioned agreement)

7-03-19: Revised per site visit and zoning letter
4-30-2019: Revised per First Supplemental Commitment
2-26-2019: Review copy issued



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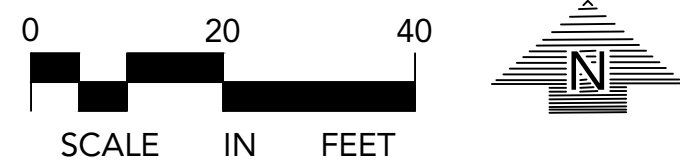
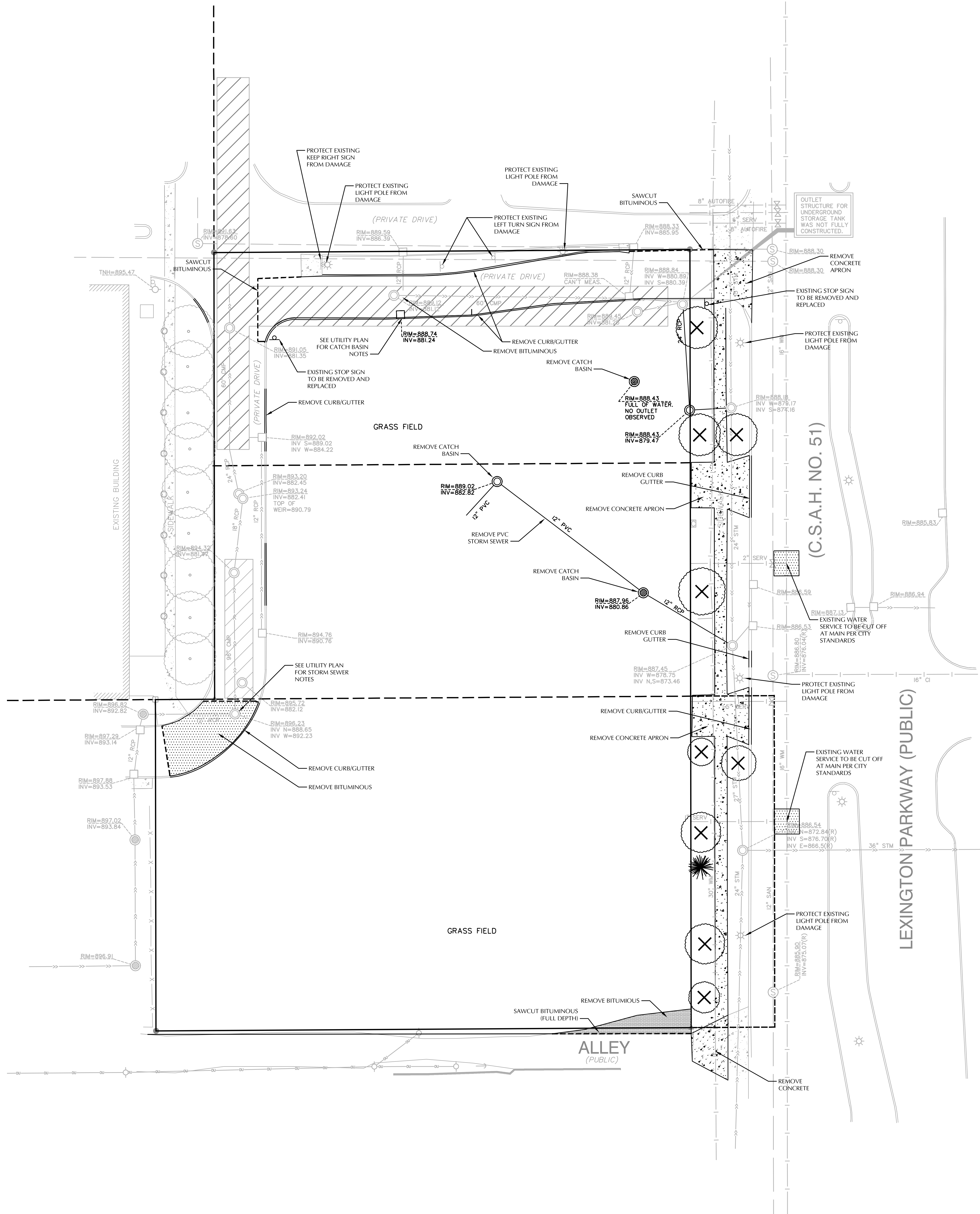
ALTA/NSPS
LAND TITLE
SURVEY

ALATUS/LEXINGTON
411-417 Lexington Parkway North
ST PAUL, MINNESOTA

DRAWN BY JDT,PG,DPE
CHECKED BY DBO
DATE ISSUED 02/26/19
SCALE 1"=30'
JOB NO. 19-0021
FIELD CREW KJ, DA

0 15 30 60
SCALE IN FEET

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SURVEY LEGEND		
AS	ASH	● CATCH BASIN
EL	ELM	○ STORM MANHOLE
LO	LOCUST	○ SANITARY MANHOLE
SP	SPRUCE	○ HYDRANT
THSD	ELEV ● THRESHOLD	⌵ GATE VALVE
TC	TOP OF CURB	⊗ POWER POLE
CC	CURB CUT	⊗ LIGHT POLE
TW	TOP OF WALL	— GUY WIRE
BW	BOTTOM OF WALL	— SIGN
972.5	SPOT ELEVATION	⊕ ELECTRIC TRANSFORMER
()	PER MAP / RECORD	⊕ HAND HOLE
		⊕ ROOF DRAIN
		⊕ ELECTRIC OUTLET
		⊕ FIRE CONNECTION
		⊕ GUARD POST
		⊕ FLAG POLE
		— STORM SEWER
		— SANITARY SEWER
		— WATERMAIN
		— ELEC — UNDERGROUND ELECTRIC
		— GAS — UNDERGROUND GAS
		— OH — OVERHEAD UTILITY
		— X — CHAIN LINK FENCE
		— GUARDRAIL
		— WALL
		— CONCRETE CURB
		— CONCRETE
		— 872 — CONTOUR
		— CONIFEROUS TREE
		— DECIDUOUS TREE
		— RESTRICTED ACCESS

DEMOLITION LEGEND:	
	REMOVE EXISTING BITUMINOUS PAVING
	REMOVE EXISTING CONCRETE PAVING, SIDEWALKS, ETC.
	REMOVE EXISTING CURB & GUTTER, RETAINING WALLS, FENCE, ETC.
	REMOVE EXISTING TREES

DEMO NOTES
SEE SHEET C0-1 FOR NOTES.

LEXINGTON APARTMENTS

St. Paul, MN

ALATUS

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SUBMITTAL/REVISIONS	
11/19/20	CITY SUBMITTAL
12/10/20	CITY SUBMITTAL

PROFESSIONAL SIGNATURE	
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.	
PJ Daub - PE	49933
License No.	Date
QUALITY CONTROL	
Loucks Project No.	19114A
Project Lead	PJD
Drawn By	DDL
Checked By	PJD
Review Date	12/10/20

SHEET INDEX	
C0-1	CIVIL NOTES
C1-1	DEMO SHEET
C2-1	SITE PLAN
C3-1	GRADING PLAN
C3-2	SWPPP
C3-3	SWPPP NOTES
C4-1	UTILITY PLAN
C8-1	CIVIL DETAILS
L1-1	LANDSCAPE PLAN
L1-2	LANDSCAPE NOTES

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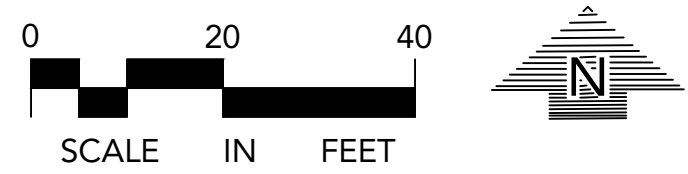
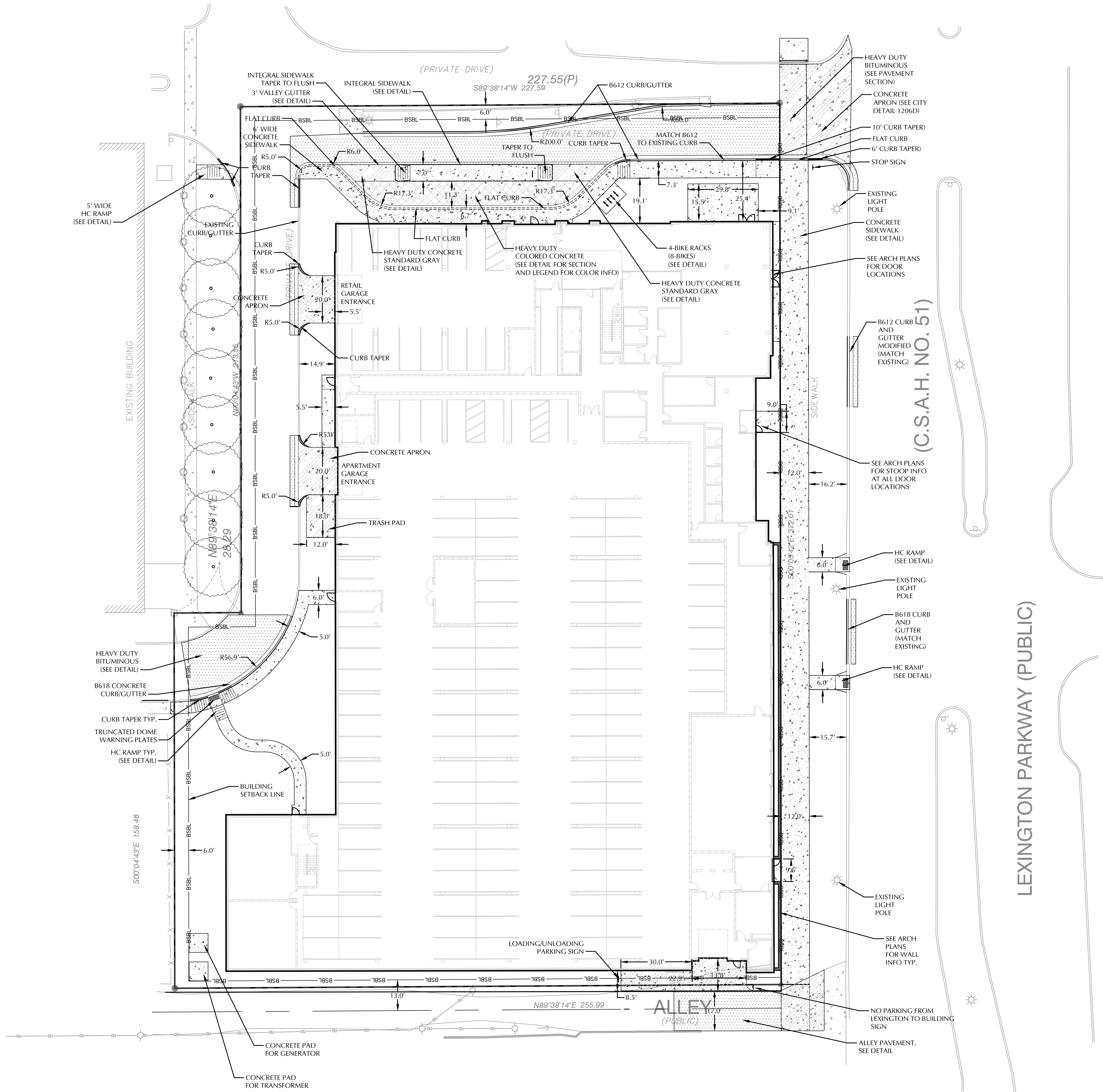
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DEMOLITION PLAN

C1-1

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LEGEND	
EXISTING	PROPOSED

PAVEMENT LEGEND	
	DENOTES LIGHT DUTY BITUMINOUS PAVEMENT
	DENOTES HEAVY DUTY BITUMINOUS PAVEMENT
	DENOTES CONCRETE PAVEMENT
	DENOTES CONCRETE PAVEMENT

SITE DATA	
CURRENT ZONING:	T4 TRADITIONAL NEIGHBORHOOD
PROPERTY AREA:	2.047 AC
DISTURBED AREA:	2.202 AC
EXISTING IMPERVIOUS AREA:	0.272 AC (13.3%)
PROPOSED IMPERVIOUS AREA:	1.786 AC (87.2%)
TOTAL PARKING: SEE ARCHITECTURE PLANS FOR PARKING INFORMATION	

SITE NOTES	
SEE SHEET C0-1 FOR NOTES.	

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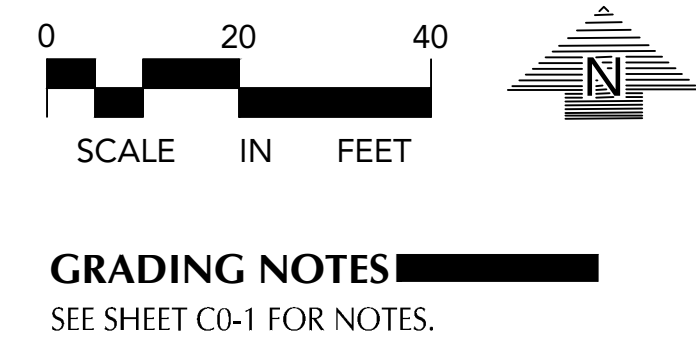
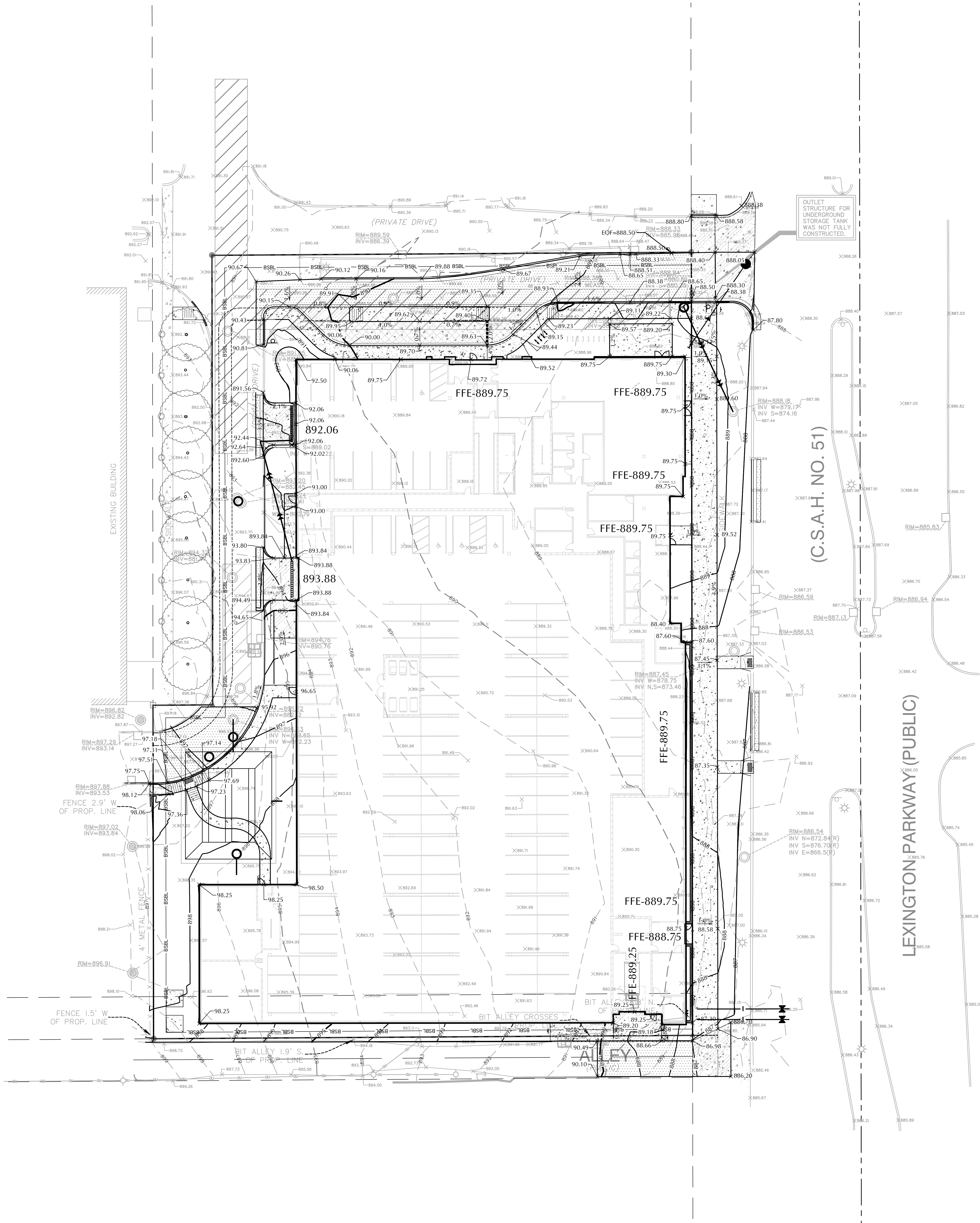
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SITE PLAN

C2-1

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LEGEND	
EXISTING	PROPOSED

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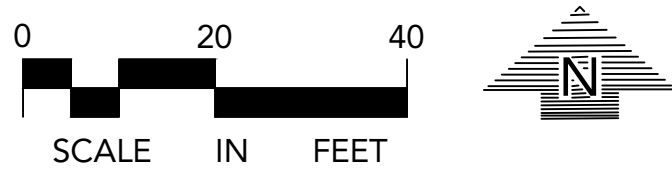
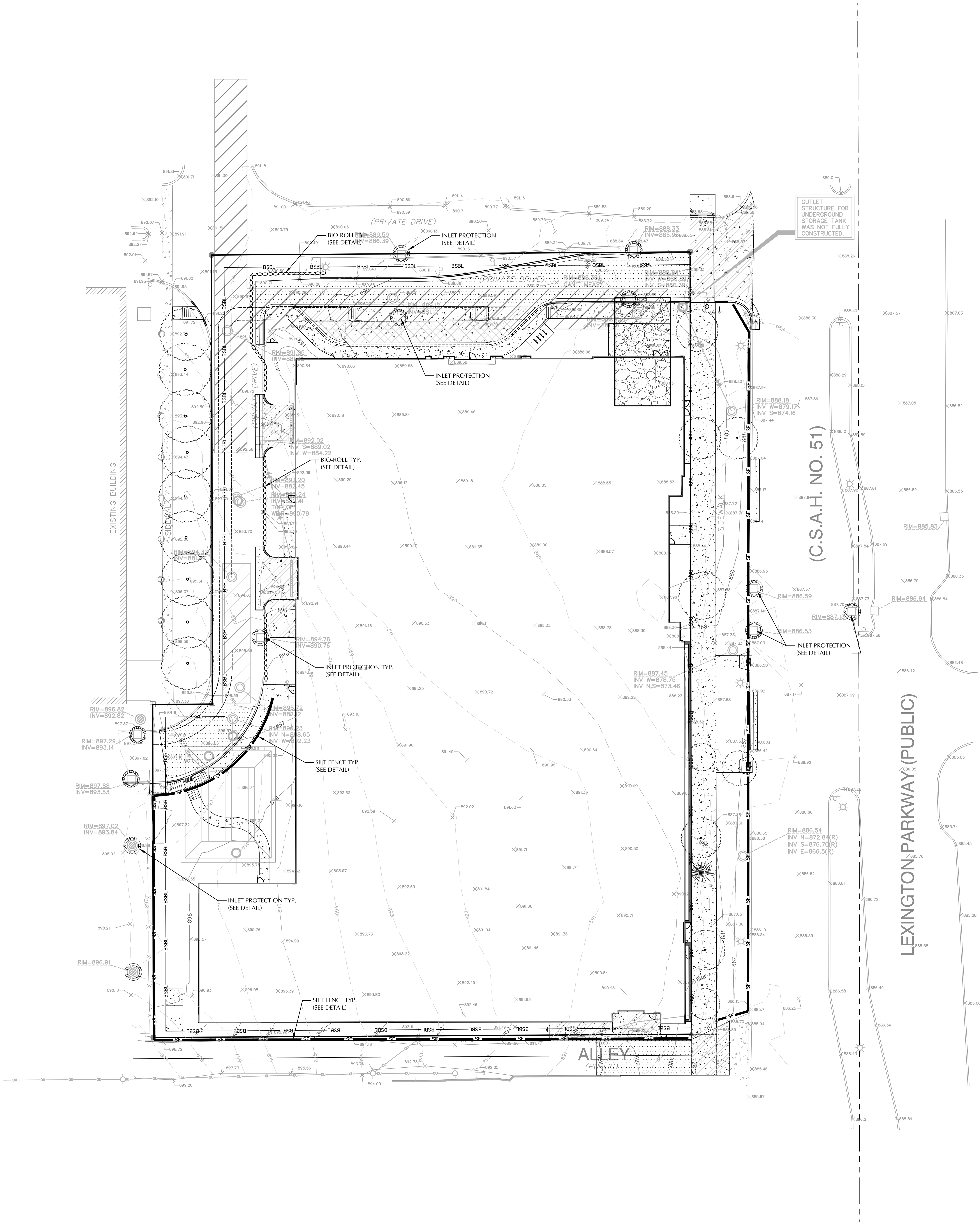
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GRADING PLAN

C3-1

Plotted: 12/10/2020 11:27 AM W:\2019\19114\ACADD\DATA\CIVIL.dwg Sheet File:C3-2 SWPPP



LEGEND	
EXISTING	PROPOSED

SWPPP LEGEND	
	SILT FENCE
	BIO-ROLL
	INLET PROTECTION
	EROSION CONTROL BLANKET
	ROCK CONSTRUCTION ENTRANCE

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SWPPP NOTES

1. THE NATURE OF THIS PROJECT WILL CONSIST OF CONSTRUCTING AN APARTMENT BUILDING, SURFACE PAVEMENTS, AND UTILITIES.

2. THE INTENDED SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES ARE AS FOLLOWS:

1. INSTALL VEHICLE TRACKING BMP

2. INSTALL PERIMETER EROSION CONTROL AROUND SITE

3. CLEAR AND GRUB SITE

4. STRIP AND STOCKPILE TOPSOIL

5. REMOVE PAVEMENTS AND UTILITIES

6. CONSTRUCT STORMWATER MANAGEMENT FACILITY/FACILITIES

7. ROUGH GRADE SITE

8. IMPORT CLEAN FILL FOR REPLACEMENT AND BALANCE

9. INSTALL UTILITIES

10. INSTALL BUILDING FOUNDATIONS

11. INSTALL CURB AND GUTTER

12. INSTALL PAVEMENTS AND WALKS

13. INSTALL MINOR UTILITIES

14. FINAL GRADE SITE

15. REMOVE ACCUMULATED SEDIMENT FROM STORMWATER SYSTEMS

16. SEED AND MULCH

17. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVAL.

3. SITE DATA:

AREA OF DISTURBANCE: ±XXX AC

PRE-CONSTRUCTION IMPERVIOUS AREA: ±XXX AC

POST-CONSTRUCTION IMPERVIOUS AREA: ±XXX AC

GENERAL SOIL TYPE: SEE GEOTECHNICAL EVALUATION REPORT

4. THE LOCATION OF AREAS NOT TO BE DISTURBED MUST BE IDENTIFIED WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC. BEFORE CONSTRUCTION BEGINS.

5. ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN (7) SHALL BE STABILIZED BY SEEDING OR SODDING (ONLY AVAILABLE PRIOR TO SEPTEMBER 15) OR BY MULCHING OR COVERING OR OTHER EQUIVALENT CONTROL MEASURE.

6. ON SLOPES 3:1 OR GREATER MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES. SLOPE LENGTHS CAN NOT BE GREATER THAN 75 FEET.

7. ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED. INLET PROTECTION WITH IN RIGHT OF WAY TO BE CONSISTANTLY MONITORED TO MAKE SURE INLET PROTECTION IS IN GOOD WORKING ORDER AND EMERGENCY OVERFLOWS ARE NOT BLOCKED BY DEBRIS.

8. TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT AMOUNT OF SILT, CLAY, OR ORGANIC COMPOUNDS ARE EXEPT EX: CLEAN AGGREGATE STOCK PILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES.

9. SEDIMENT LADEN WATER MUST BE DISCHARGED TO A SEDIMENTATION BASIN WHENEVER POSSIBLE. IF NOT POSSIBLE, IT MUST BE TREATED WITH THE APPROPRIATE BMP'S.

10. SOLID WASTE MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.

11. EXTERNAL WASHING OF CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE PROPERLY CONTAINED.

12. NO ENGINE DEGREASING IS ALLOWED ON SITE.

13. THE OWNER WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITTEE AND IS RESPONSIBLE FOR COMPLIANCE WITH ALL TERMS AND CONDITIONS OF THE PERMIT. THE OPERATOR (CONTRACTOR) WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITTEE FOR PARTS I.B., PART I.I.C., PART I.I.B-F, PART V, PART IV AND APPLICABLE CONSTRUCTION ACTIVITY REQUIREMENTS FOUND IN APPENDIX A, PART C. OF THE NPDES PERMIT AND IS JOINTLY RESPONSIBLE WITH THE OWNER FOR COMPLIANCE WITH THOSE PORTIONS OF THE PERMIT.

14. TERMINATION OF COVERAGE-PERMITTEE(S) WISHING TO TERMINATE COVERAGE MUST SUBMIT A NOTICE OF TERMINATION (NOT) TO THE MPCA. ALL PERMITTEE(S) MUST SUBMIT A NOT WITHIN 30 DAYS AFTER ONE OR MORE OF THE FOLLOWING CONDITIONS HAVE BEEN MET:

A. FINAL STABILIZATION, PER NPDES PERMIT PART IV.G. HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE.

B. TRANSFER OF OWNERSHIP AS DESCRIBED IN THE PERMIT.

15. INSPECTIONS

A. INITIAL INSPECTION FOLLOWING SILT FENCE INSTALLATION BY CITY REPRESENTATIVE IS REQUIRED.

B. EXPOSED SOIL AREAS: ONCE EVERY 7 DAYS AND WITHIN 24 HOURS FOLLOWING A 0.5" OVER 24 HOUR RAIN EVENT.

C. STABILIZED AREAS: ONCE EVERY 30 DAYS
2. FROZEN GROUND: AS SOON AS RUNOFF OCCURS OR PRIOR TO RESUMING CONSTRUCTION.

3. INSPECTION AND MAINTENANCE RECORDS MUST BE RETAINED FOR 3 YEARS AFTER FILING OF THE NOTICE OF TERMINATION AND MUST INCLUDE: DATE AND TIME OF ACTION, NAME OF PERSON(S) CONDUCTING WORK, FINDING OF INSPECTIONS AND RECOMMENDATIONS FOR CORRECTIVE ACTION, DATE AND AMOUNT OF RAINFALL EVENTS GREATER THAN 0.5 INCHES IN A 24 HOUR PERIOD.

4. MINIMUM MAINTENANCE

A. SILT FENCE TO BE REPAIRED, REPLACED, SUPPLEMENTED WHEN NONFUNCTIONAL, OR 1/3 FULL; WITHIN 24 HOURS

B. SEDIMENT BASINS DRAINED AND SEDIMENT REMOVED WHEN REACHES 1/2 STORAGE VOLUME. REMOVAL MUST BE COMPLETE WITHIN 72 HOURS OF DISCOVERY.

C. SEDIMENT REMOVED FROM SURFACE WATERS WITHIN (7)SEVEN DAYS

D. CONSTRUCTION SITE EXITS INSPECTED, TRACKED SEDIMENT REMOVED WITH 24 HOURS.

E. PROVIDE COPIES OF EROSION INSPECTION RESULTS TO CITY ENGINEER FOR ALL EVENTS GREATER THAN 1/2" IN 24 HOURS

F. STREETS TO BE SWEEP AS NECESSARY TO LIMIT DEBRIS FROM REACHING STORM INLETS WITH IN RIGHT OF WAY.

G. CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT AND MAINTAIN INLET PROTECTION PLACED WITHIN THE PUBLIC RIGHT OF WAY UNTIL FINAL STABILIZATION IS ACHIEVED. CONTRACTOR SHALL CONSISTENTLY MAKE SURE INLET PROTECTION IS IN GOOD WORKING ORDER AND EMERGENCY OVERFLOWS ARE NOT BLOCKED OF DEBRIS.

5. THE SWPPP, INCLUDING ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT AT THE SITE DURING CONSTRUCTION ACTIVITY BY THE PERMITTEE(S) WHO HAVE OPERATIONAL CONTROL OF THE SITE AS SITE CONDITIONS REQUIRE, OR AT THE DIRECTION OF THE CITY.

6. OWNER MUST KEEP RECORDS OF ALL PERMITS REQUIRED FOR THE PROJECT, THE SWPPP, ALL INSPECTIONS AND MAINTENANCE, PERMANENT OPERATION AND MAINTENANCE AGREEMENTS, AND REQUIRED CALCULATIONS FOR TEMPORARY AND PERMANENT STORM WATER MANAGEMENT SYSTEMS. THESE RECORDS MUST BE RETAINED FOR THREE YEARS AFTER FILING NPDES NOTICE OF TERMINATION.

7. SWPPP MUST BE AMENDED WHEN:

A. THERE IS A CHANCE IN DESIGN, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS THAT HAS A SIGNIFICANT EFFECT ON DISCHARGE

B. INSPECTIONS INDICATE THAT THE SWPPP IS NOT EFFECTIVE AND DISCHARGE IS EXCEEDING WATER QUALITY STANDARDS.

C. THE BMP'S IN THE SWPPP ARE NOT CONTROLLING POLLUTANTS IN DISCHARGES OR IS NOT CONSISTENT WITH THE TERMS AND CONDITIONS OF THE PERMIT.

8. CONCRETE WASHOUT AREA

A. CONTRACTOR TO PROVIDE PREFABRICATED CONCRETE WASH-OUT CONTAINER WITH RAIN PROTECTION PER PLAN.

B. CONCRETE WASH-OUT TO BE IDENTIFIED WITH SIGNAGE STATING "CONCRETE WASHOUT AREA DO NOT OVERFILL".

C. CONCRETE WASHOUT WATER NEEDS TO BE PUMPED WITHIN 24 HOURS OF STANDING WATER IN WASHOUT AREA.

9. IN THE EVENT OF ENCOUNTERING A WELL OR SPRING DURING CONSTRUCTION CONTRACTOR TO CEASE CONSTRUCTION ACTIVITY AND NOTIFY ENGINEER.

10. PIPE OULETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER.

11. FINAL STABILIZATION

FINAL STABILIZATION REQUIRES THAT ALL SOIL DISTURBING ACVTIVITIES HAVE BEEN COMPLETED AND THAT DISTURBED AREAS ARE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH 70% OF THE EXPECTED FINAL DENSITY, AND THAT ALL PERMANENT PAVEMENTS HAVE BEEN INSTALLED. ALL TEMPORARY BMP'S SHALL BE REMOVED, DITCHES STABILIZED, AND SEDIMENT SHALL BE REMOVED FROM PERMANENT CONVEYANCES AND SEDIMENTATION BASINS IN ORDER TO RETURN THE POND TO DESIGN CAPACITY.

12. RESPONSIBILITIES

A. THE OWNER MUST IDENTIFY A PERSON WHO WILL OVERSEE THE SWPPP IMPLEMENTATION AND THE PERSON RESPONSIBLE FOR INSPECTION AND MAINTENANCE:

CONTACT: _____

COMPANY: _____

PHONE: _____

B. THE CITY REQUIRES THAT WSB & ASSOCIATES TO PREFORM NPDES INSPECTIONS DURING THE CONSTRUCTION PHASE. THE COST OF THE INSPECTIONS WILL BE PAID FOR BY THE OWNER. THIS IS A REQUIREMENT FOR RELEASE OF THE BUILDING PERMIT.

CONTACT: _____

COMPANY: WSB & ASSOCIATES

PHONE: _____

13. THE WATERSHED DISTRICT OR THE CITY MAY HAVE REQUIREMENTS FOR INSPECTIONS OR AS-BUILT DRAWINGS VERIFYING PROPER CONSTRUCTION OF THE BMPS.

CONSTRUCTION STORMWATER SPECIAL WATERS SEARCH MAP

SITE VICINITY MAP

APPROXIMATE
LOCATION OF
PROJECT SITE

ESTIMATED QUANTITIES

DESCRIPTION	UNIT	QUANTITY
TEMPORARY ROCK CONSTRUCTION ENTRANCE	EA	1
EROSION CONTROL BLANKET	SF	NA
SILT FENCE	LF	805
INLET PROTECTION	EA	12
BIO-ROLLS	LF	175

UNIVERSITY OF MINNESOTA

Zachary H. Webber

Design of Construction SWPPP (May 31 2021)

NOTES:
1. PLACE BOTTOM EDGE OF FENCE INTO 6 IN DEEP TRENCH AND BACKFILL IMMEDIATELY.
2. POSTS SHALL BE:
 - 6 FT MAX. SPACING.
 - 2 IN X 2 IN HARDWOOD, OR STANDARD STEEL T-TYPE FENCE POSTS.
 - 5' MIN. LENGTH POSTS, DRIVEN 2 FT INTO THE GROUND.

3. ATTACH FABRIC TO WOOD POST WITH A MIN. OF 5, 1 INCH LONG STAPLES.
4. ATTACH FABRIC TO STEEL POST WITH A MIN. OF 3 ZIP TIES IN TOP 8 INCHES OF FABRIC.

GEOTEXTILE FABRIC PER MNDOT 3886

GEOTEXTILE FABRIC PER MNDOT 3886

6"

6"

LOUCKS

SILT FENCE
PRE-ASSEMBLED OR MACHINE SLICED

LOUCKS PLATE NO. 3000
DRAWN 2/2016

NOTES:
1. ROCK SIZE SHOULD BE 1" TO 2" IN SIZE SUCH AS MN/DOT CA-1 OR CA-2 COURSE AGGREGATE (WASHED)
2. A GEOTEXTILE FABRIC MAY BE USED UNDER THE ROCK TO PREVENT MIGRATION OF THE UNDERLYING SOIL INTO THE STONE.

HARD SURFACE PUBLIC ROAD

50' MINIMUM

6" MINIMUM

2' MINIMUM

1" TO 2" WASHED ROCK

AS REQUIRED

LOUCKS

ROCK ENTRANCE TO
CONSTRUCTION SITE

LOUCKS PLATE NO. 3004
DRAWN 2/2016

DEFLECTOR PLATE
OVERFLOW - 1-CENTER OF FILTER ASSEMBLY
OVERFLOW 2 - TOP OF CURB BOX

CURB

ROAD DRAIN HIGH-FLOW INLET PROTECTION CURB AND GUTTER MODEL

HIGH-FLOW FABRIC

2"X3' SEDIMENT CONTROL BARRIER

POLYESTER SLEEVE

FILTER ASSEMBLY

MANHOLE COVER ASSEMBLY

27" SEDIMENT CONTROL BARRIER

WIMCO ROAD DRAIN, OR APPROVED EQUAL

LOUCKS

INLET PROTECTION -
EXISTING STORM STRUCTURES

LOUCKS PLATE NO. 3011
DRAWN 2/2016

NOTES:
1. PLACE BOTTOM EDGE OF WIRE FENCE INTO 6 IN DEEP TRENCH.
2. POSTS SHALL BE:
 - 6 FT MAX. SPACING.
 - STANDARD STEEL T-TYPE POSTS.
 - 5' MIN. LENGTH POSTS, DRIVEN 2 FT INTO THE GROUND.

3. ATTACH WIRE FENCE TO STEEL POSTS WITH NO. 9 GA. ALUMINUM WIRE OR NO. 9 GALVANIZED STEEL PRE-FORMED CLIPS.
4. ATTACH FABRIC TO WIRE FENCING WITH WIRE OR ZIP TIES. A MIN. OF 3 ZIP TIES PER POST. EXTEND BOTTOM OF FABRIC INTO TRENCH.
5. BACKFILL TRENCH & COMPACT.
6. STRAW, WOOD CHIP, COMPOST OR ROCK LOGS PER MNDOT SPECS 3890, 3897.

STRAW OR WOOD FIBER 9" OR 12" DIA. SEDIMENT LOG ROLL ENCLOSED IN POLYPROPYLENE NETTING

2" X 2" X 18" LONG WOODEN STAKES AT 2'-0" SPACING. DRIVE THROUGH NETTING, NOT PENETRATING FIBER LOG.

ENDS SECURELY CLOSED TO PREVENT LOSS OF OPEN GRADED AGGREGATE FILL. SECURED WITH 50 PSI ZIP TIE.

TRENCH IF LOOSE SOILS

LOUCKS

BIO-ROLL OR
ROCK LOG

LOUCKS PLATE NO. 3002
DRAWN 11/2016

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St. Paul, MN

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SUBMITTAL/REVISIONS

11/19/20 CITY SUBMITTAL
12/10/20 CITY SUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

License No. P3/Dash - PE 49933
Date -

QUALITY CONTROL

Loecks Project No. 19114A
Project Lead PJD
Drawn By DDL
Checked By PJD
Review Date 12/10/20

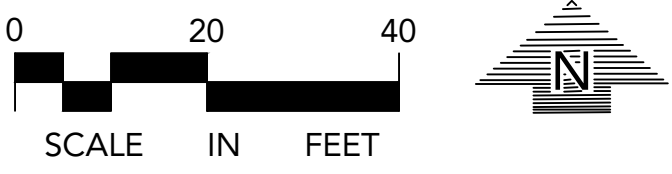
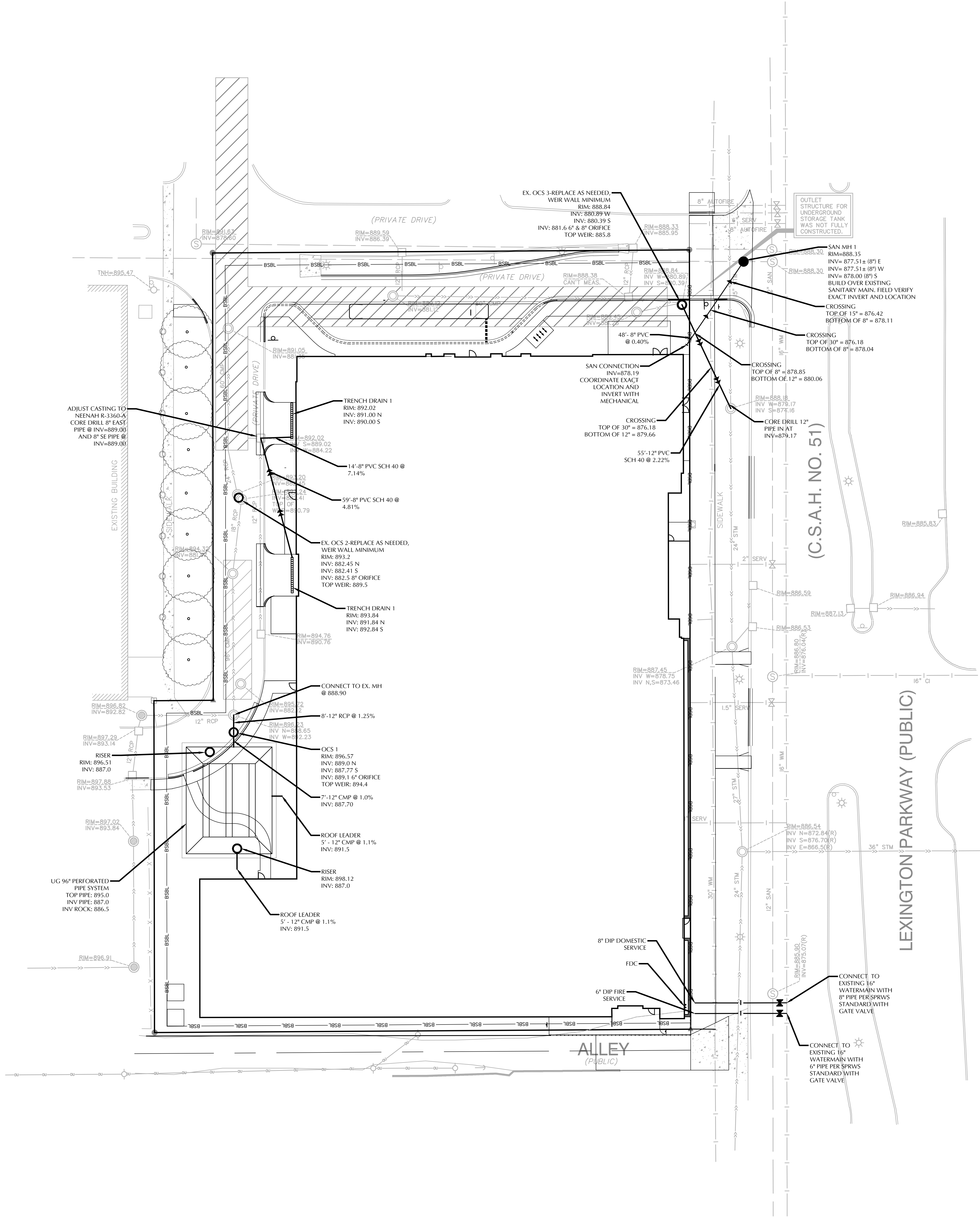
SHEET INDEX

C0-1 CIVIL NOTES
C1-1 DEMO SHEET
C2-1 SITE PLAN
C3-1 GRADING PLAN
C3-2 SWPPP
C3-3 SWPPP NOTES
C4-1 UTILITY PLAN
C8-1 CIVIL DETAILS
L1-1 LANDSCAPE PLAN
L1-2 LANDSCAPE NOTES

SWPPP

C3-3

Plotted: 12/10/2020 12:21 PM W:\2019\19114\ACADD\DATA\CIVIL.dwg Sheet File:C4-1 Utility Plan



UTILITY NOTES
SEE SHEET C0-1 FOR NOTES.

LEGEND	
EXISTING	PROPOSED

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SUBMITTAL/REVISIONS

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License No. P2 Daub - PE 49933
Date

QUALITY CONTROL

Loucks Project No.	19114A
Project Lead	PJD
Drawn By	DOL
Checked By	PJD
Review Date	12/10/20

SHEET INDEX

C0-1	CIVIL NOTES
C1-1	DEMO SHEET
C2-1	SITE PLAN
C3-1	GRADING PLAN
C3-2	SWPPP
C3-3	SWPPP NOTES
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L1-2	LANDSCAPE NOTES



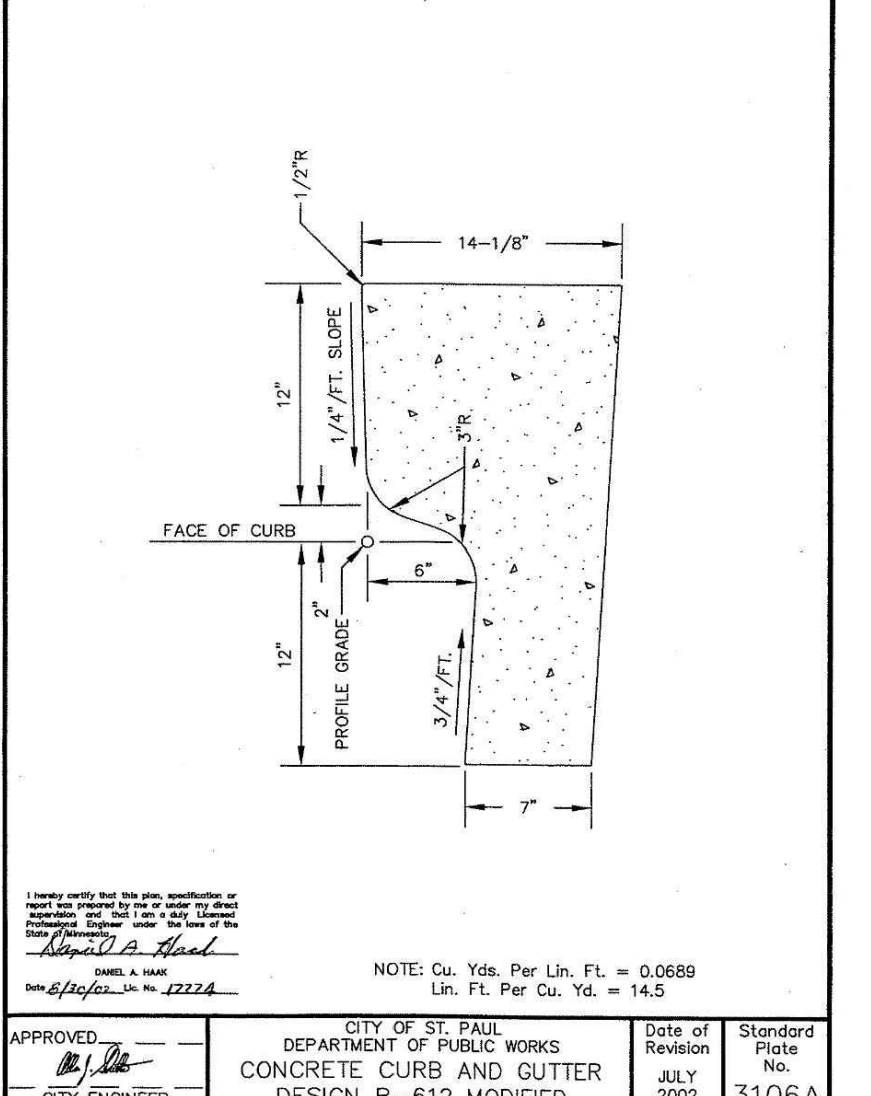
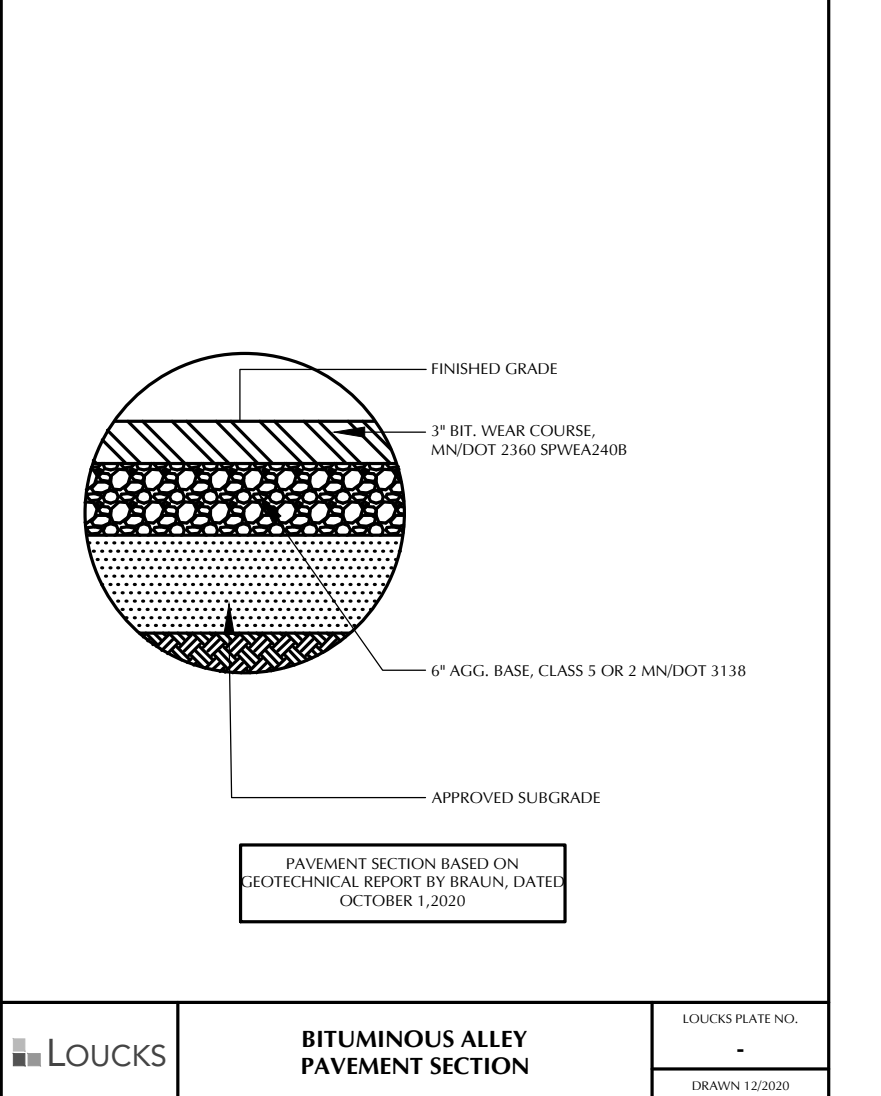
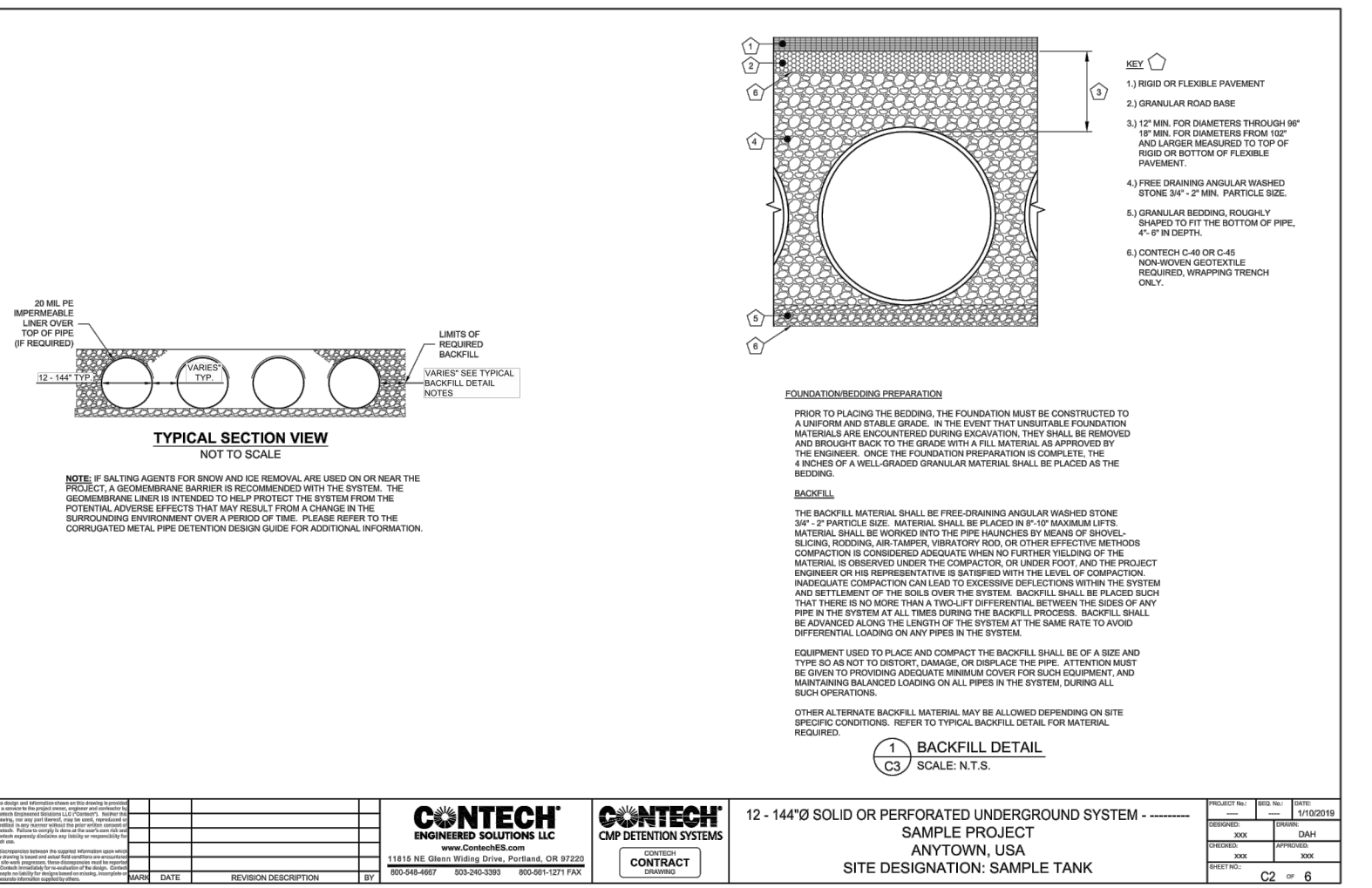
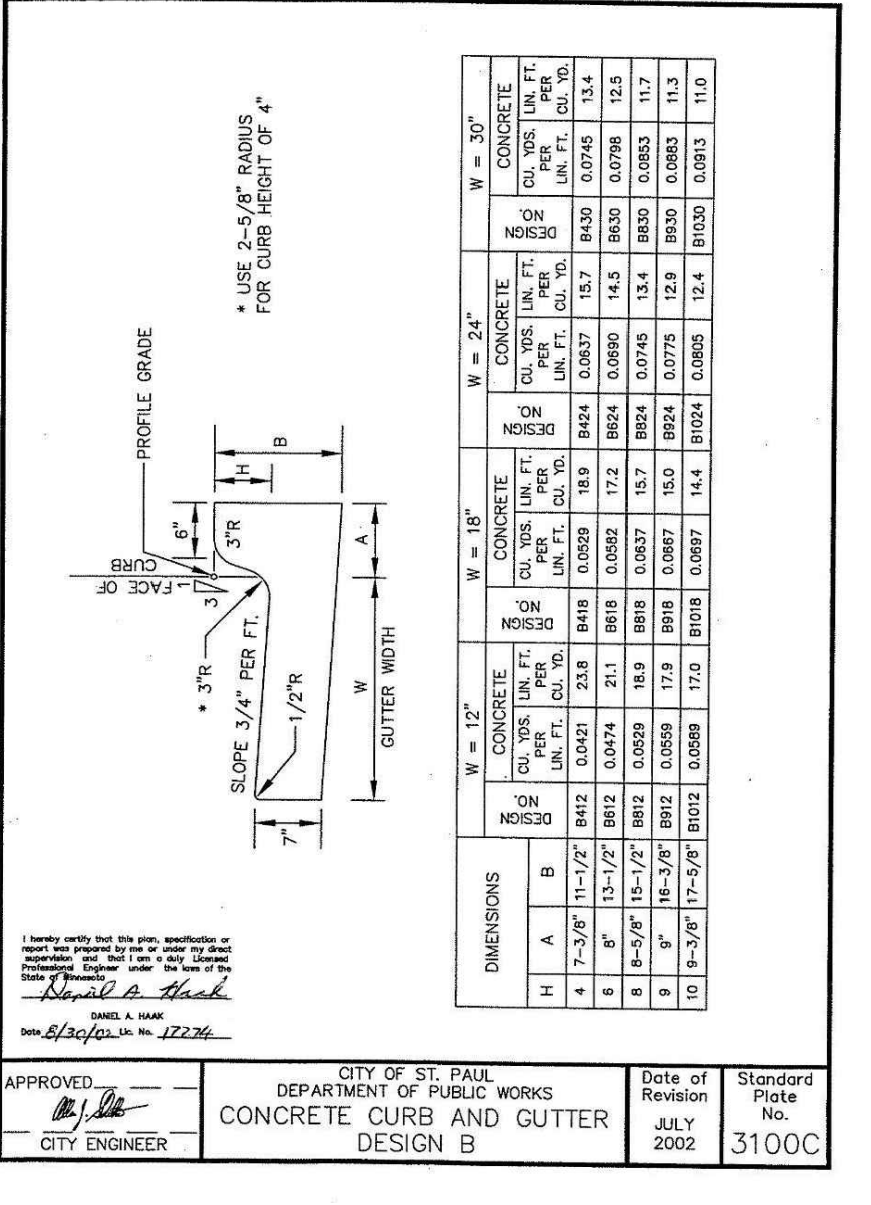
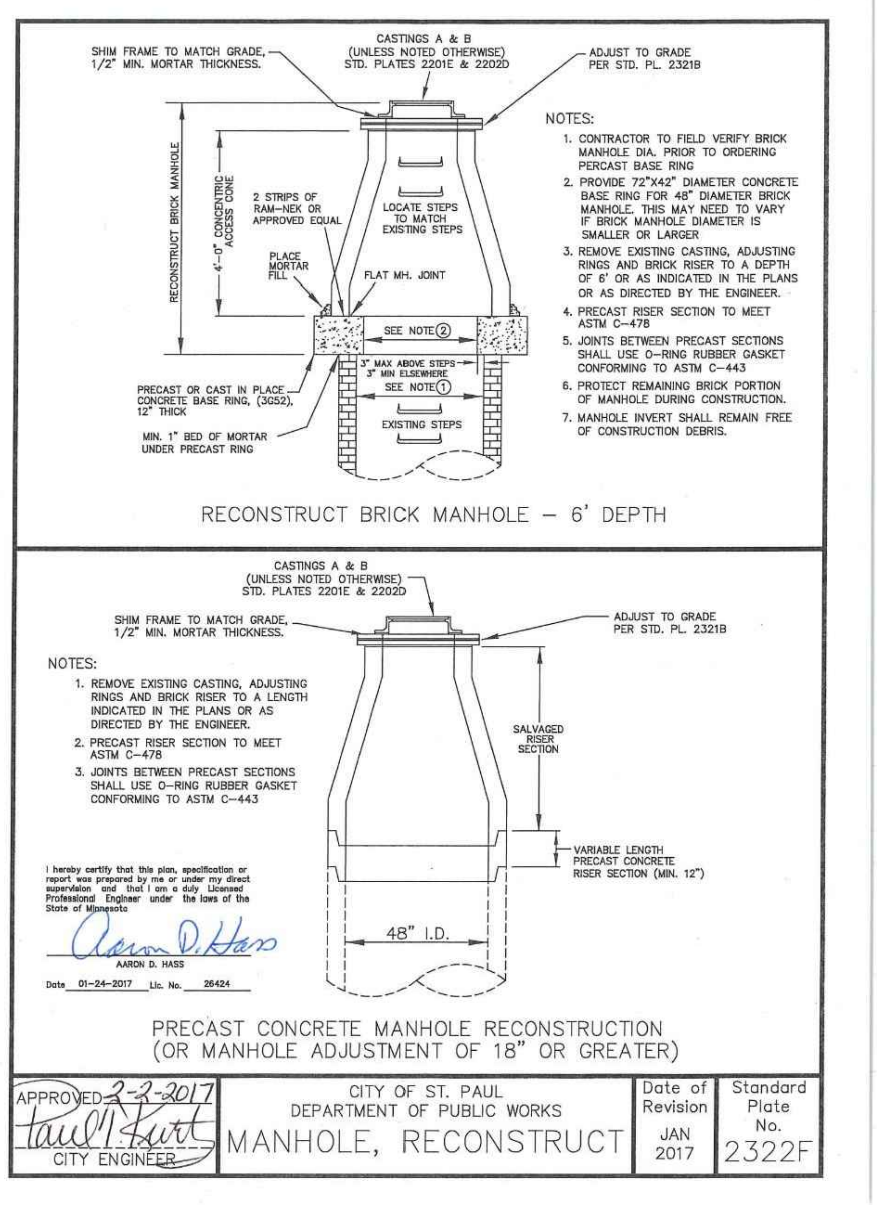
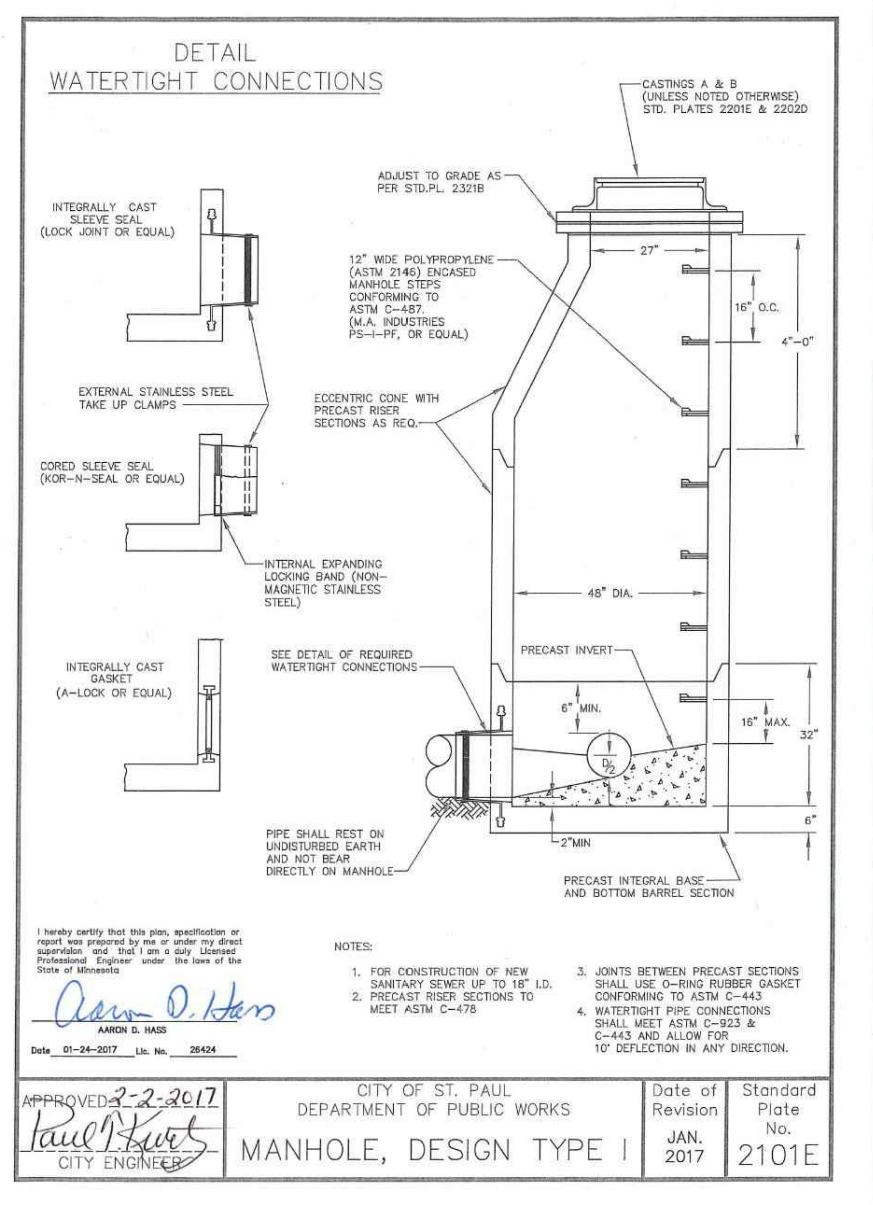
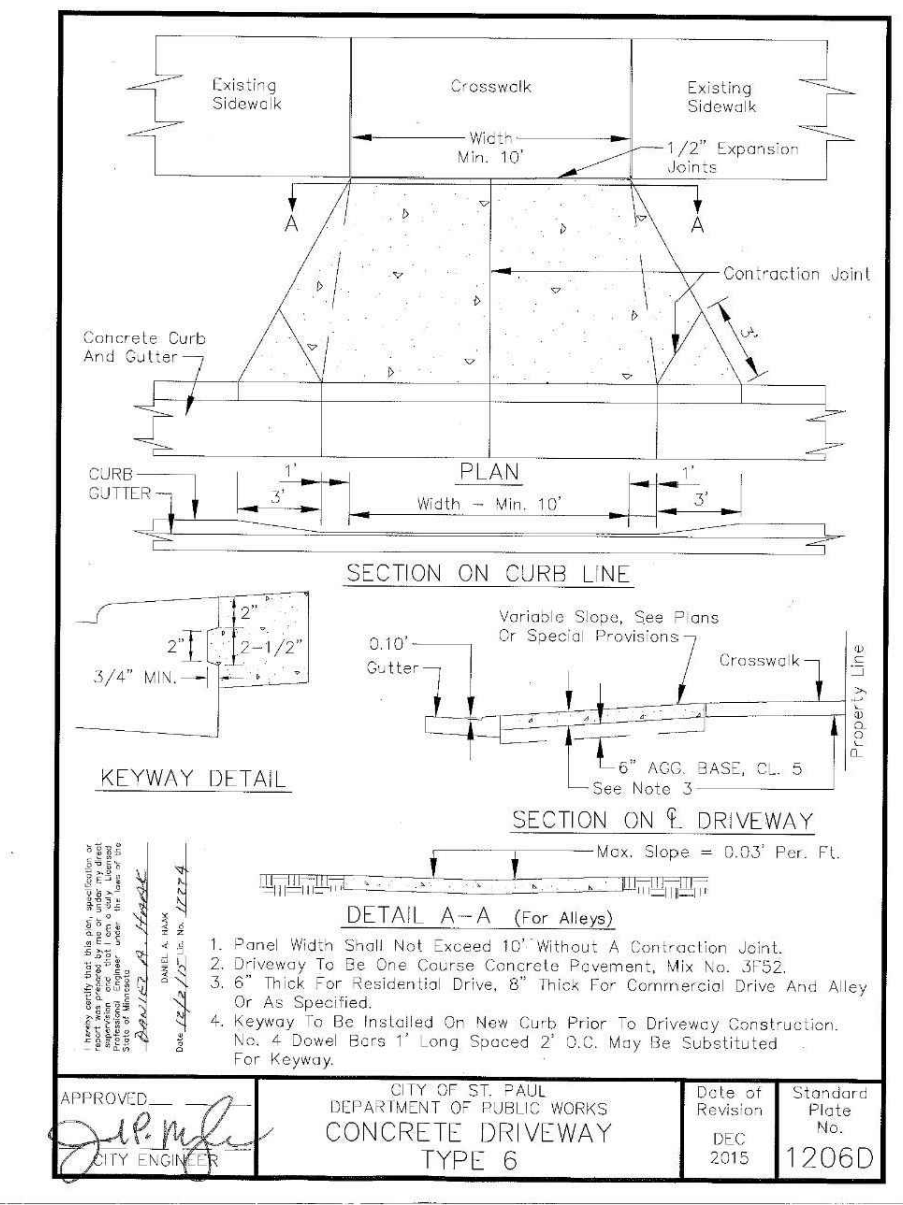
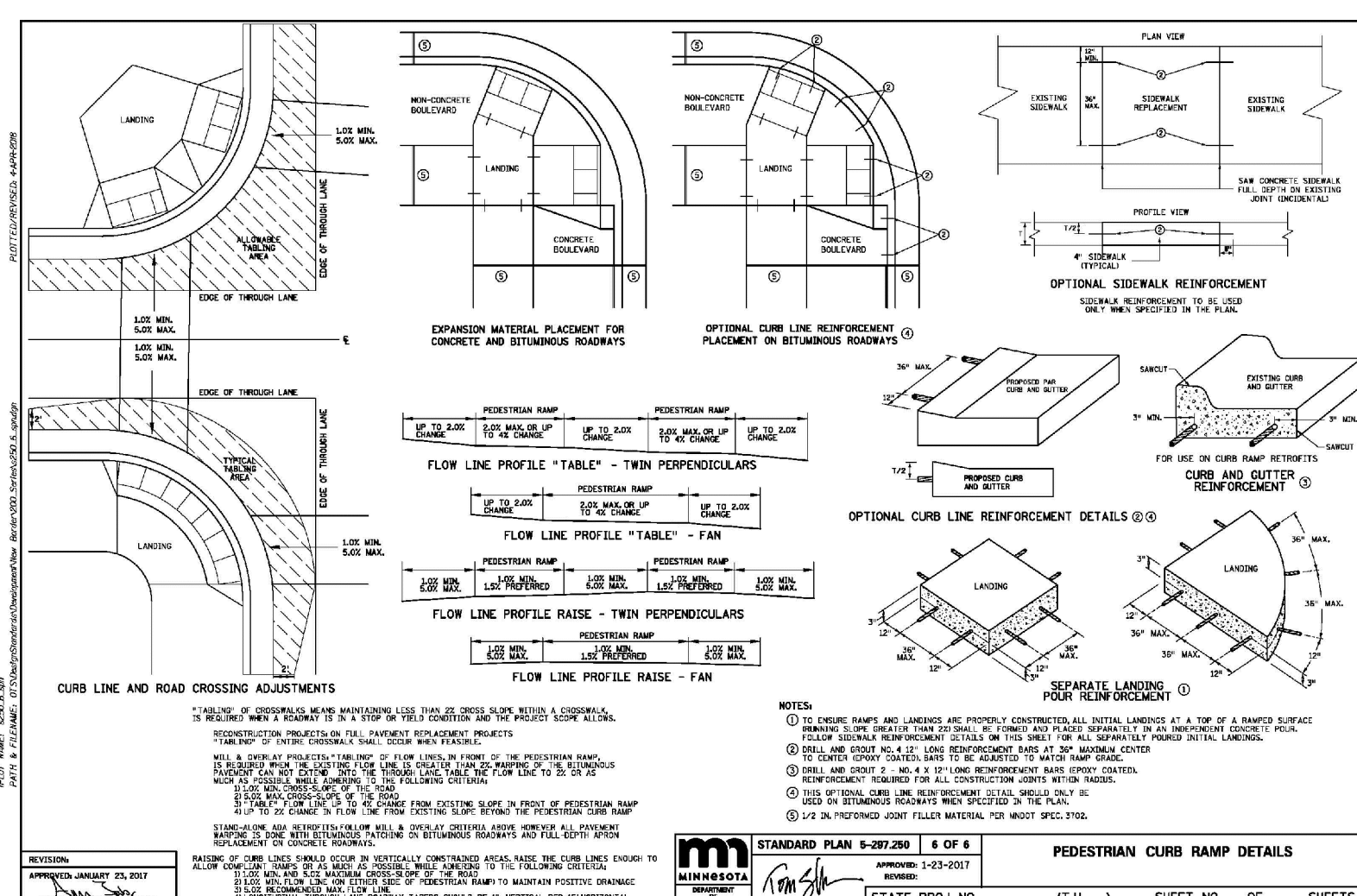
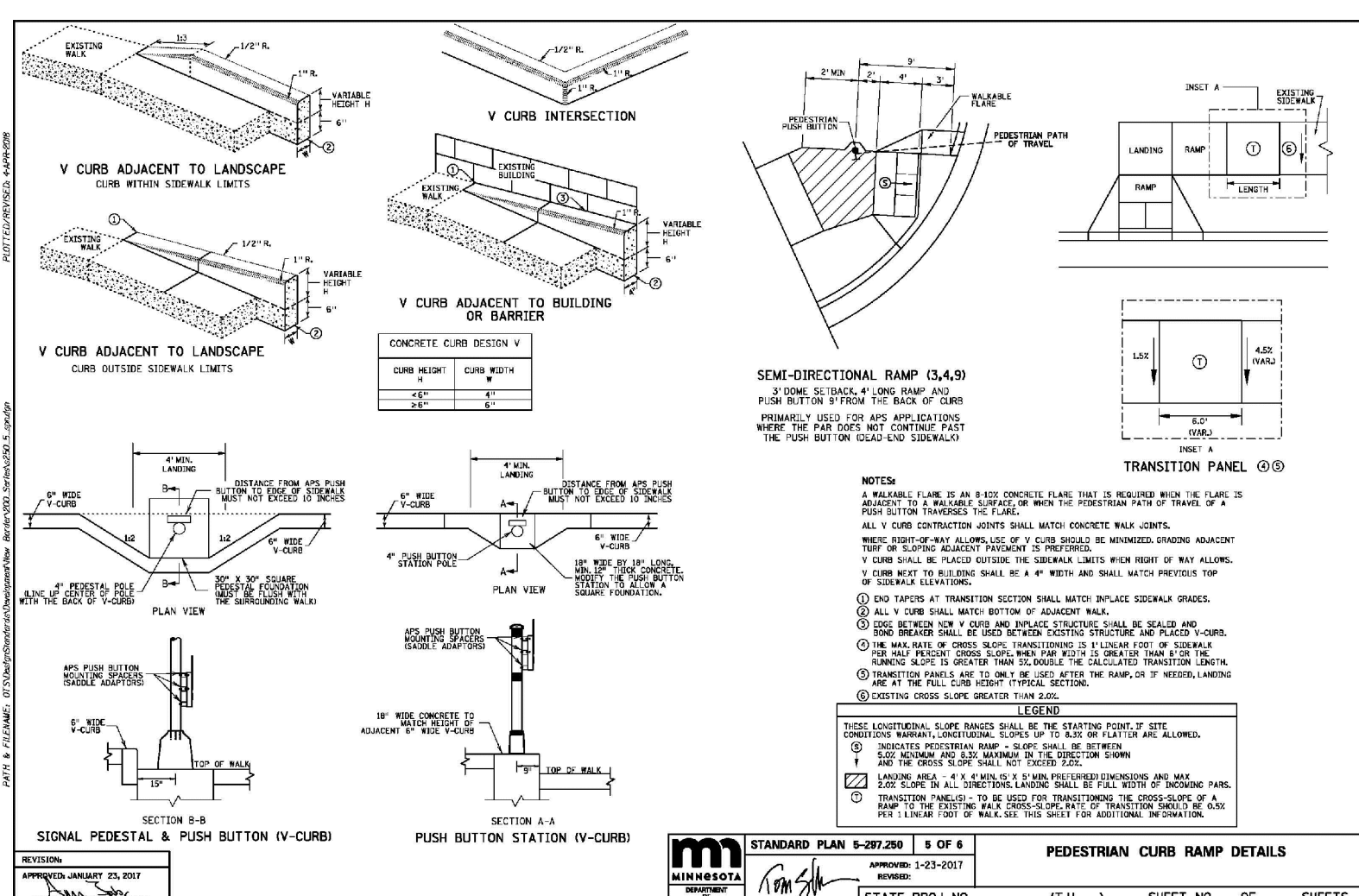
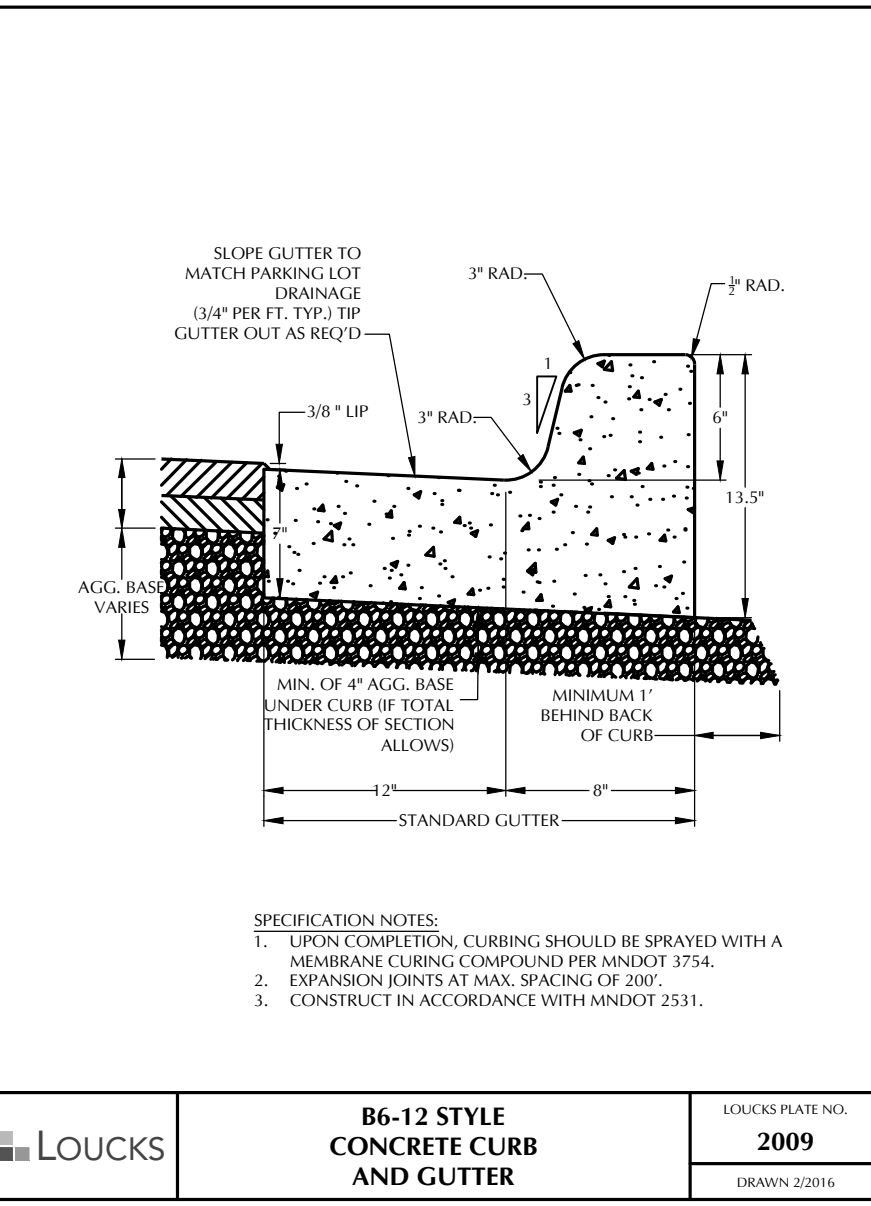
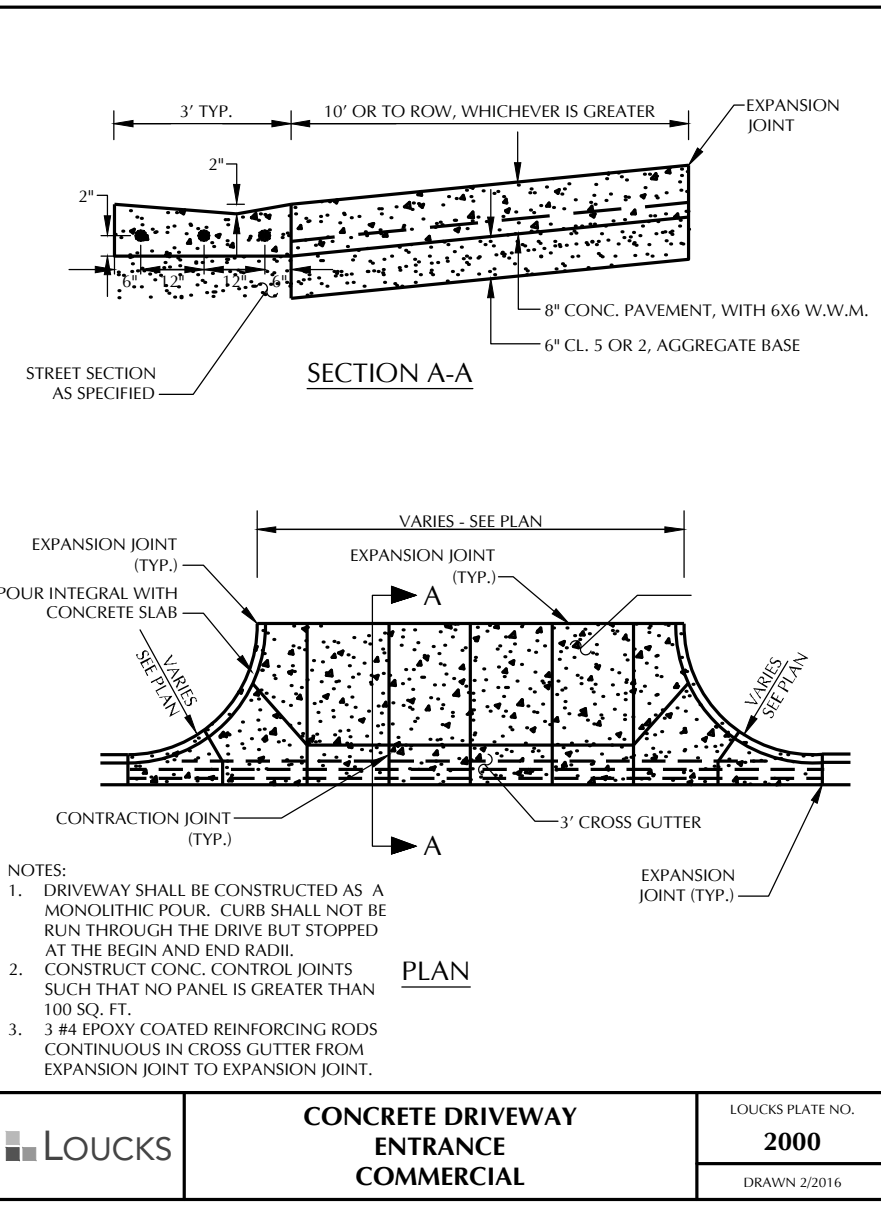
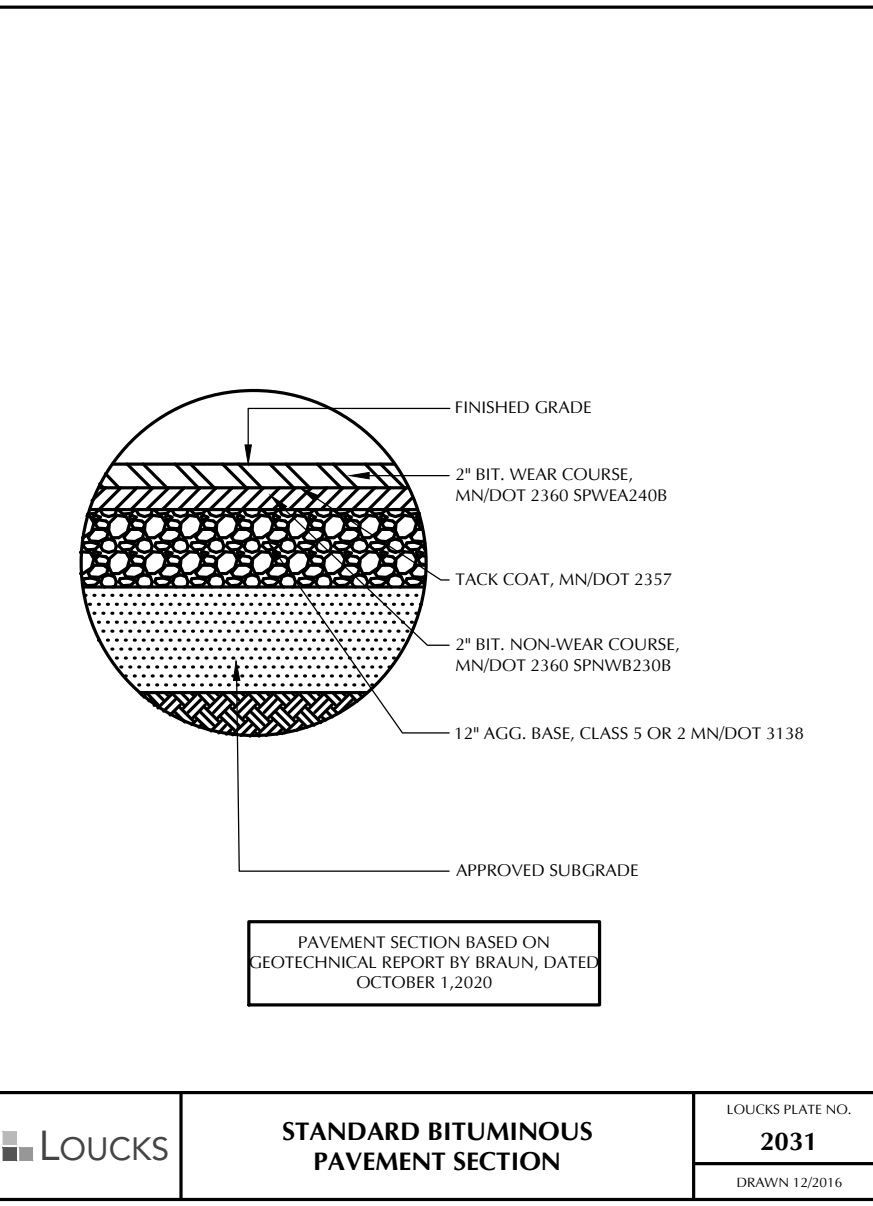
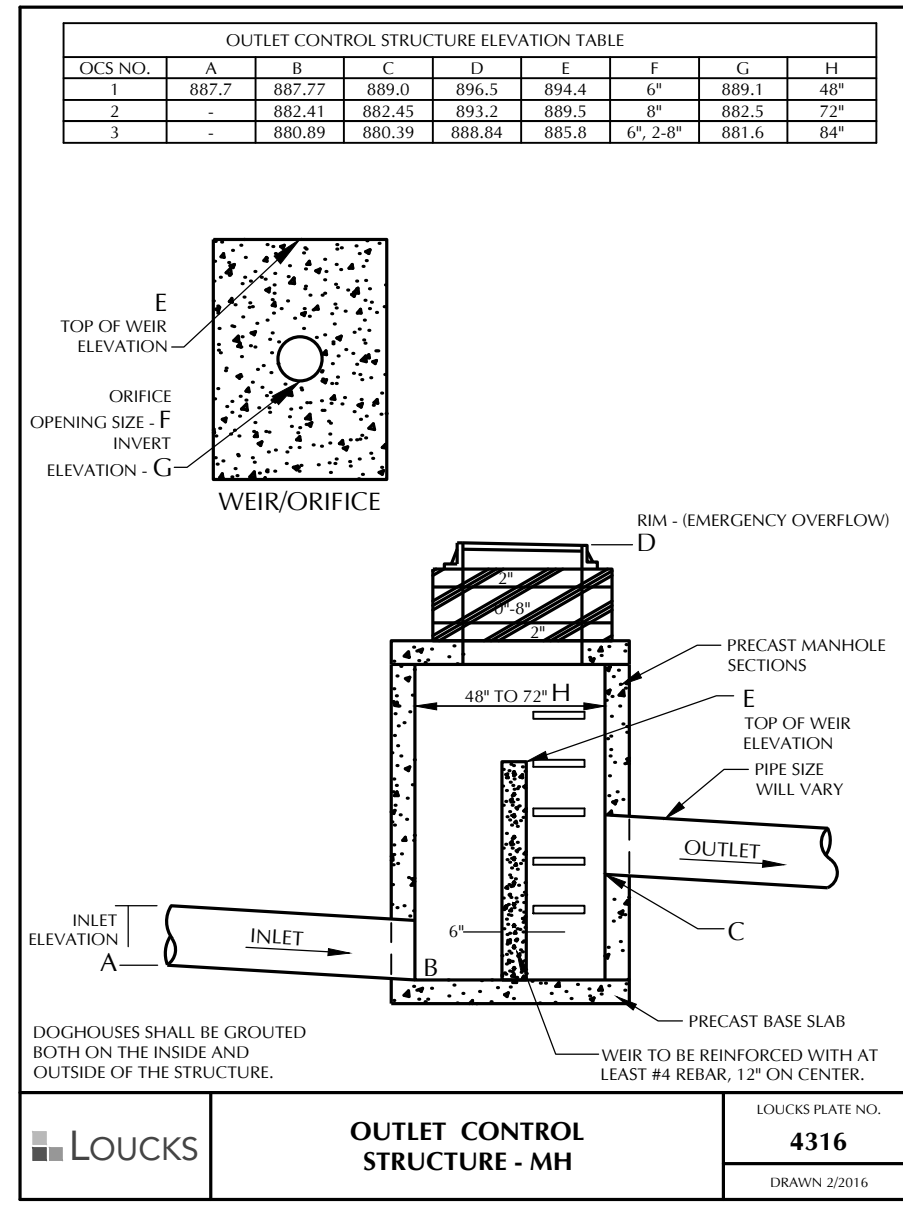
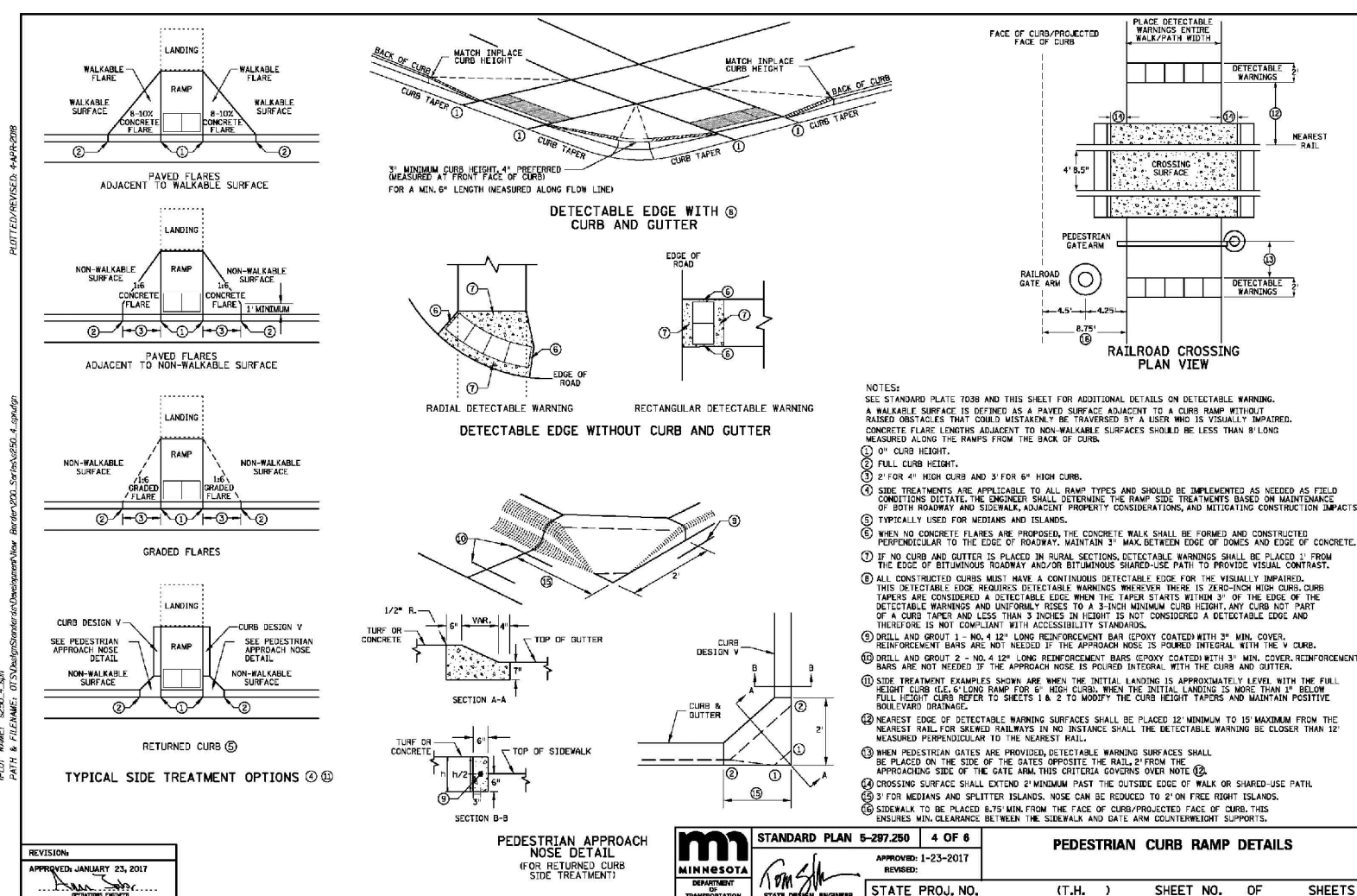
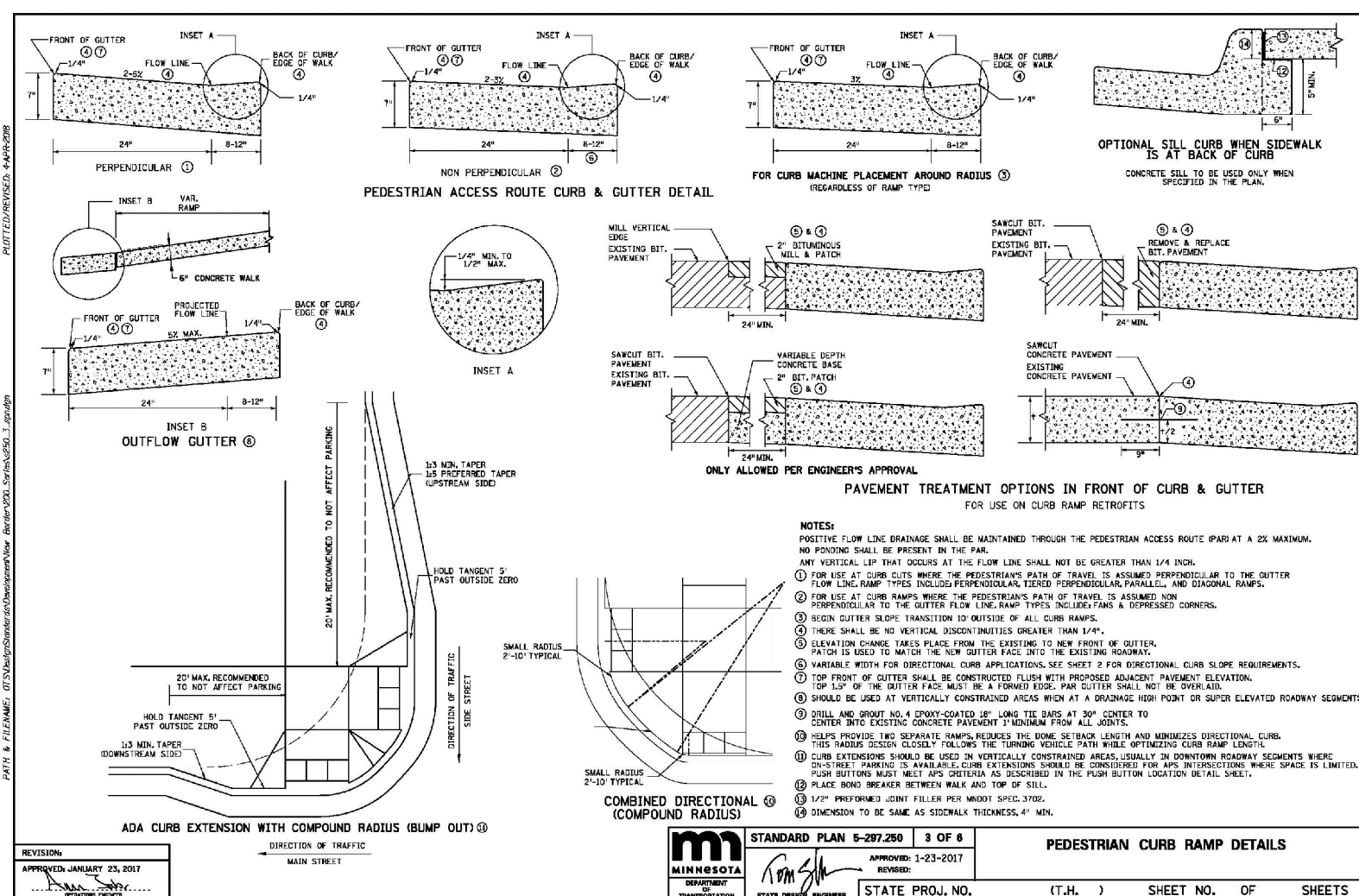
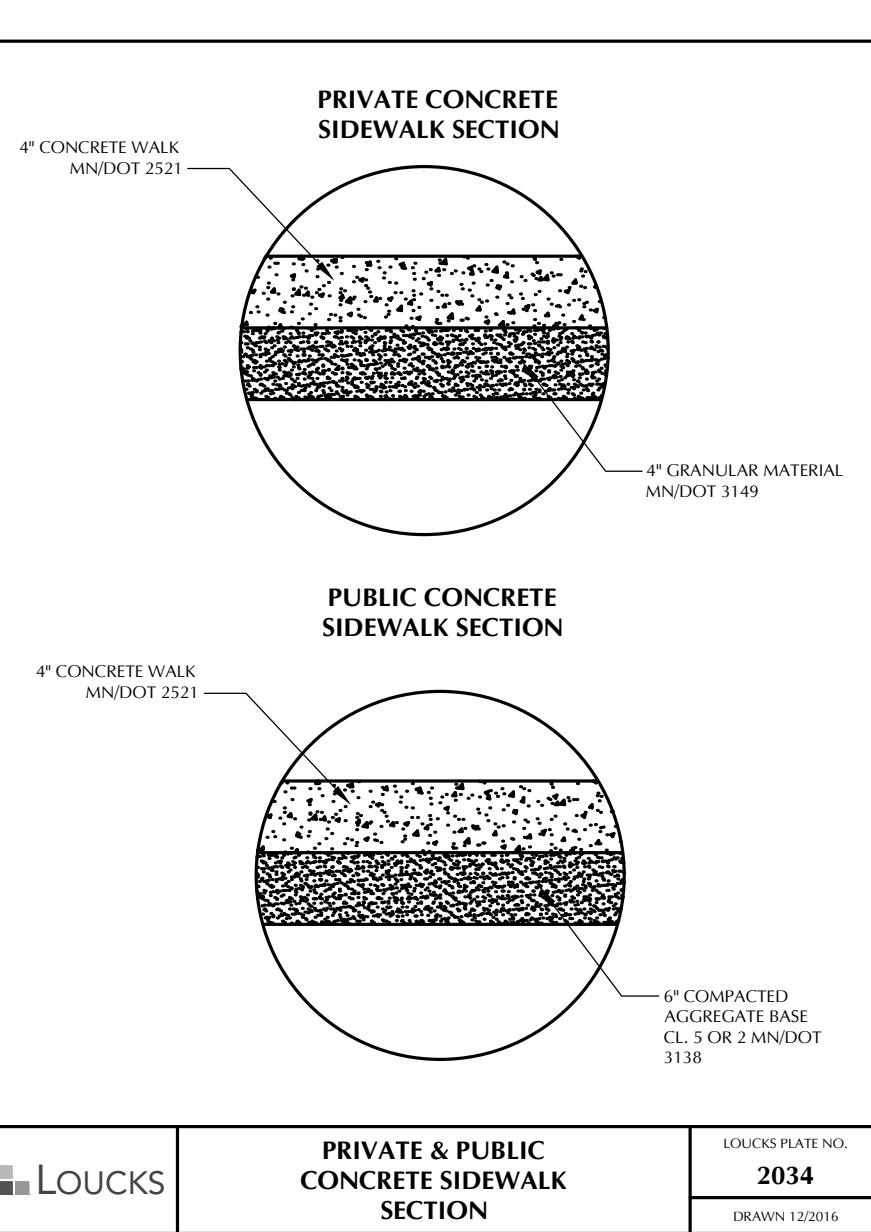
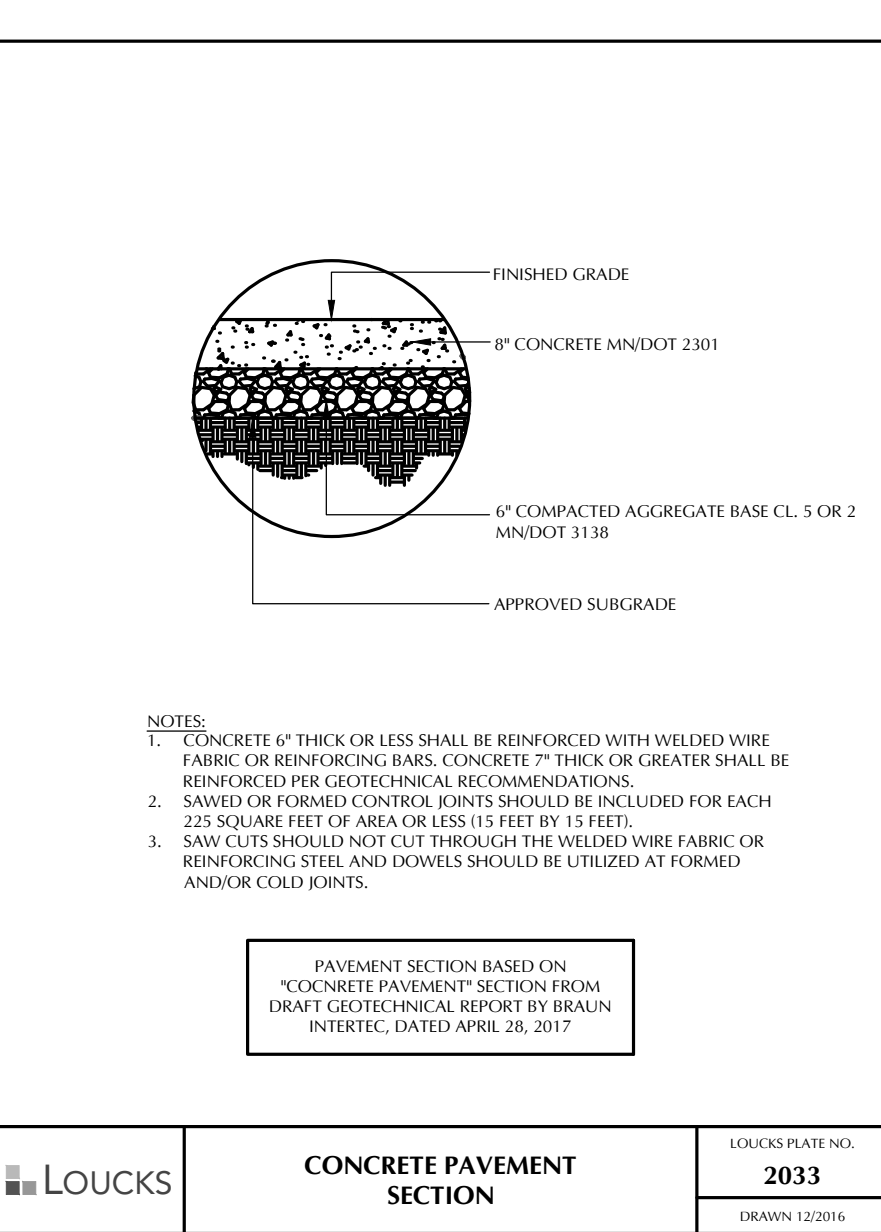
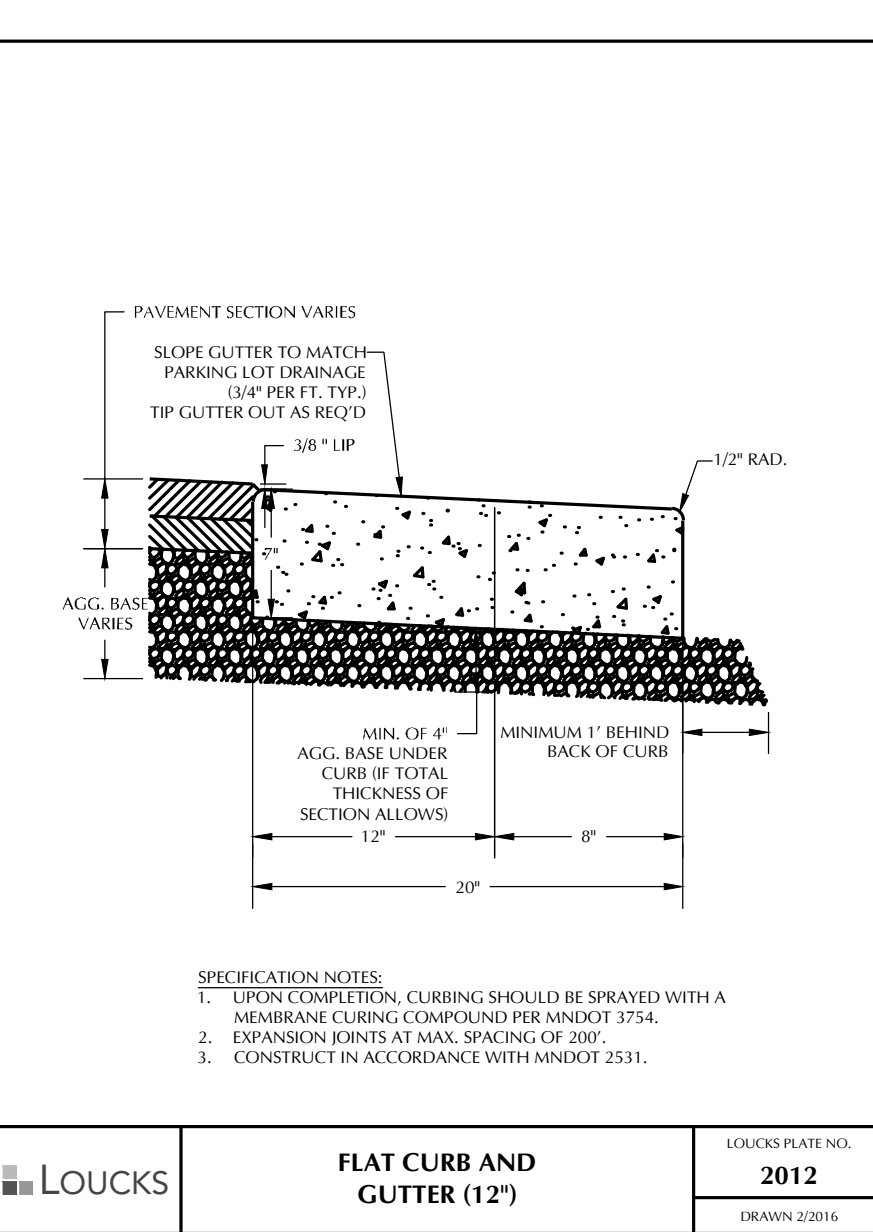
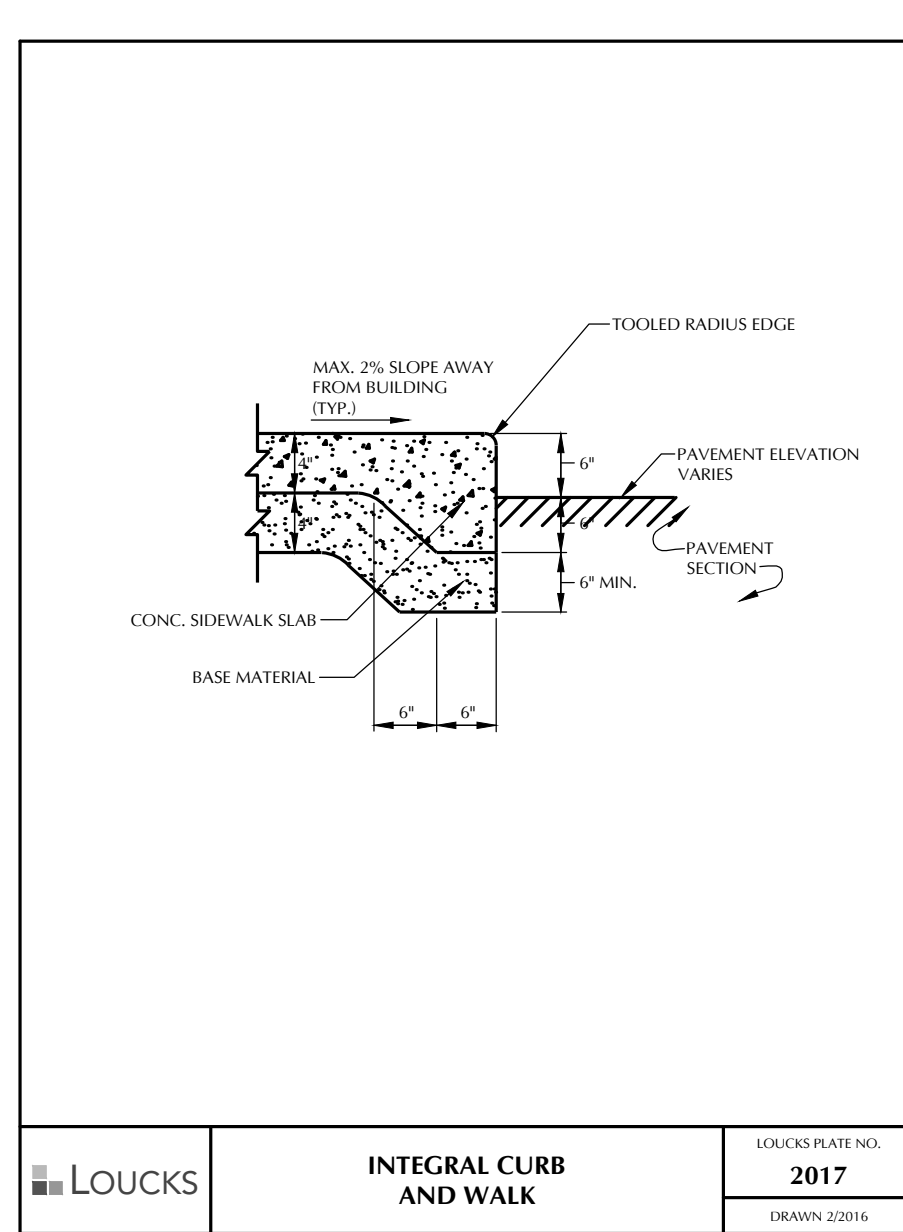
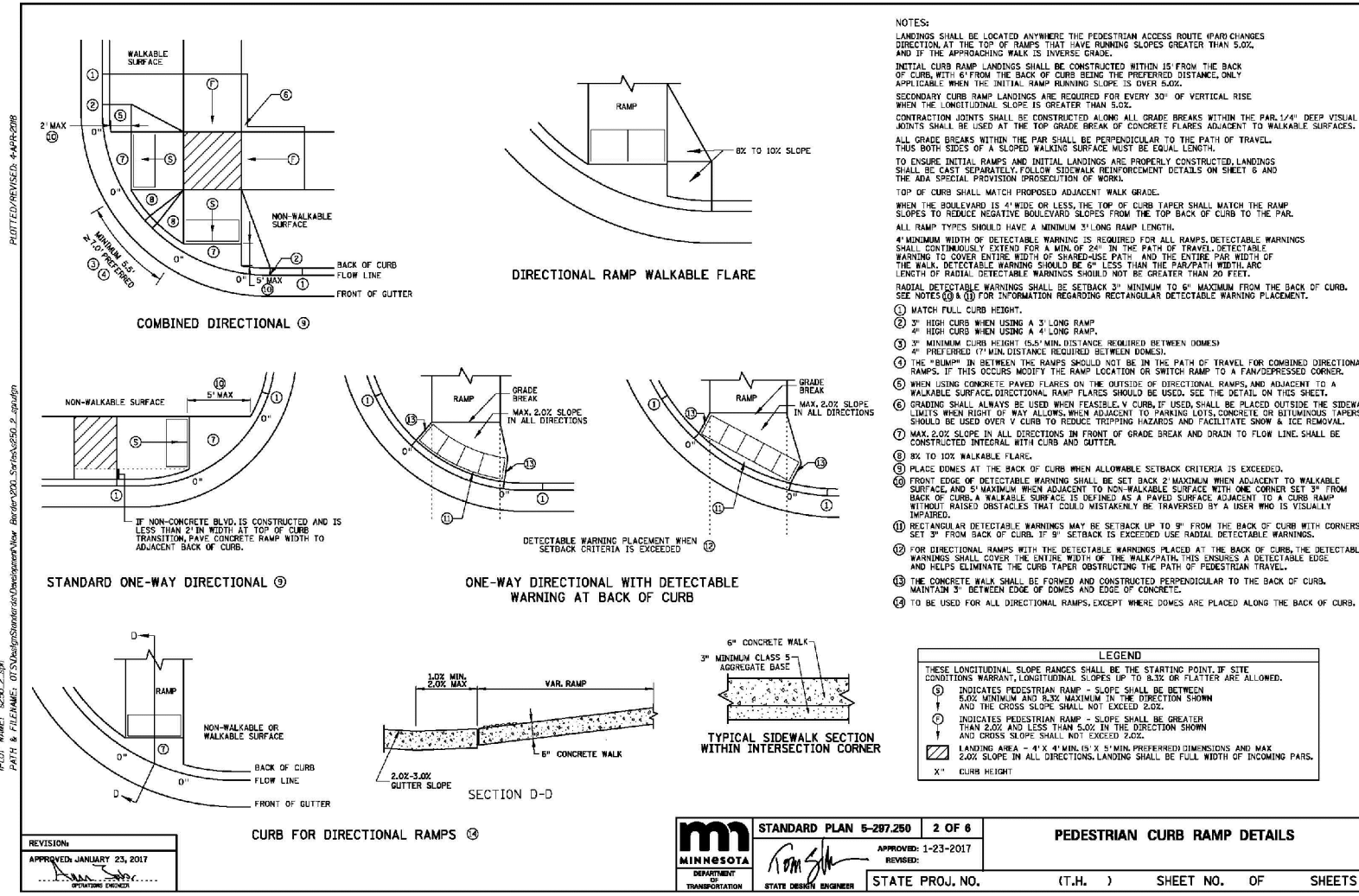
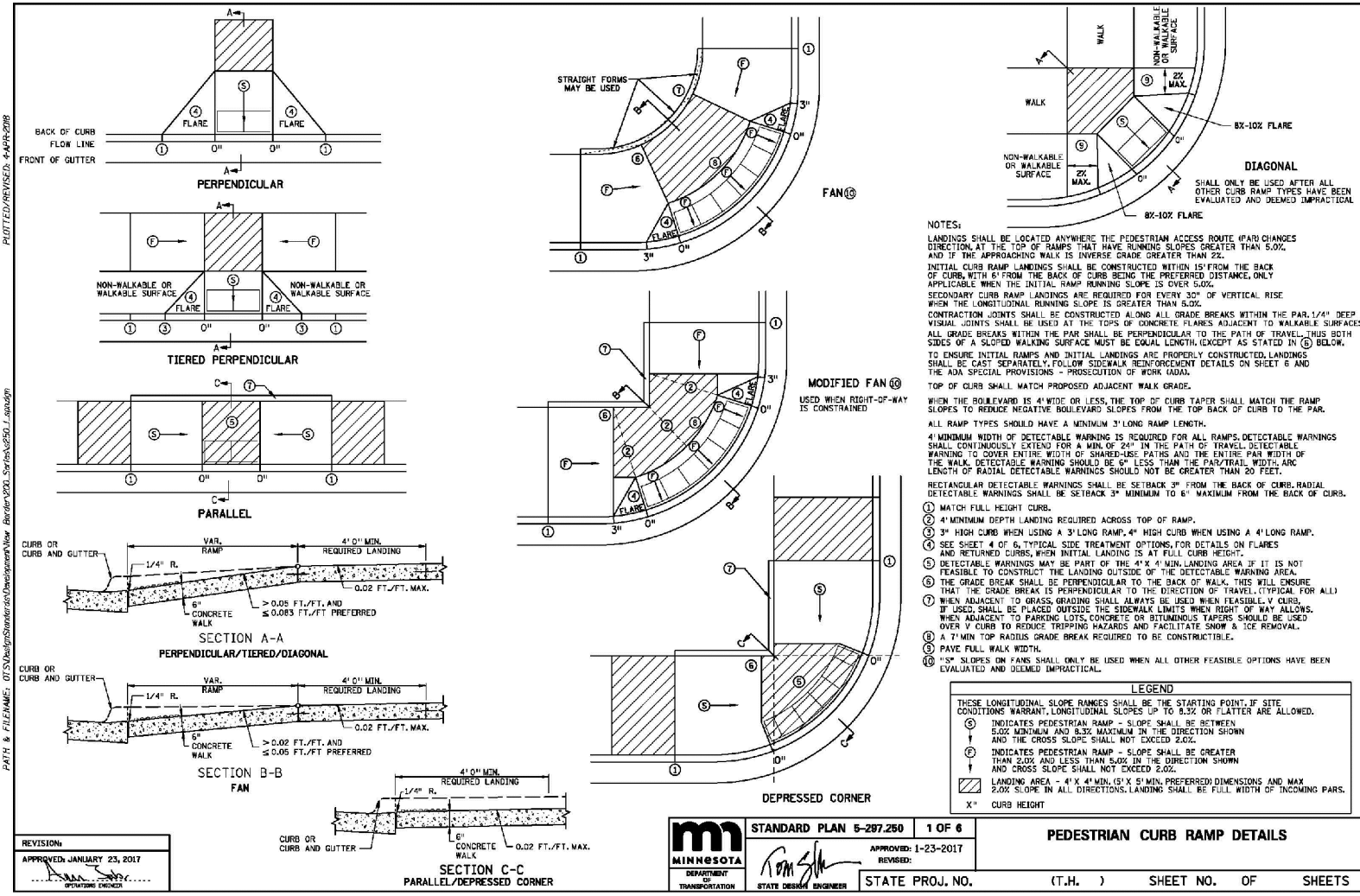
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UTILITY PLAN

C4-1



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SUBMITTAL/REVISIONS

DATE	REVISION	DESCRIPTION
11/19/20	1	CITY SUBMITTAL
12/10/20	2	CITY SUBMITTAL

PROFESSIONAL SIGNATURE

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Date

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2	2	CITY SUBMITTAL

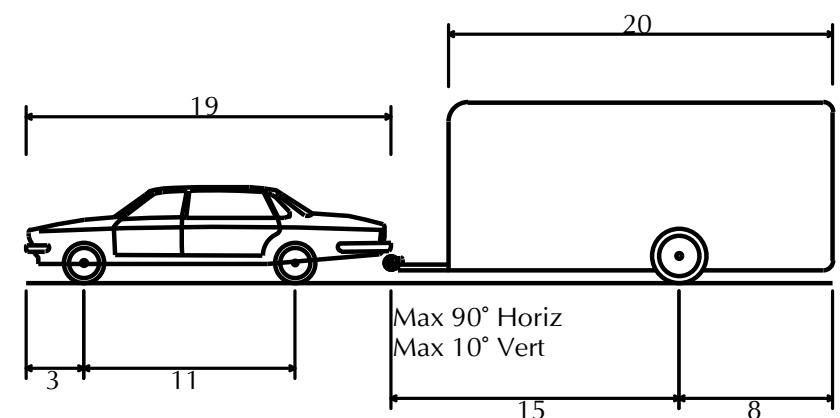
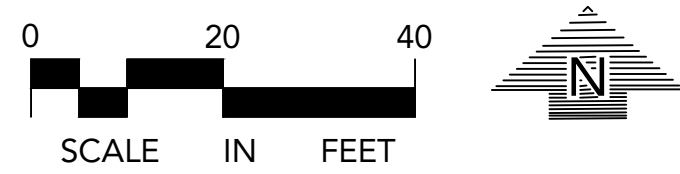
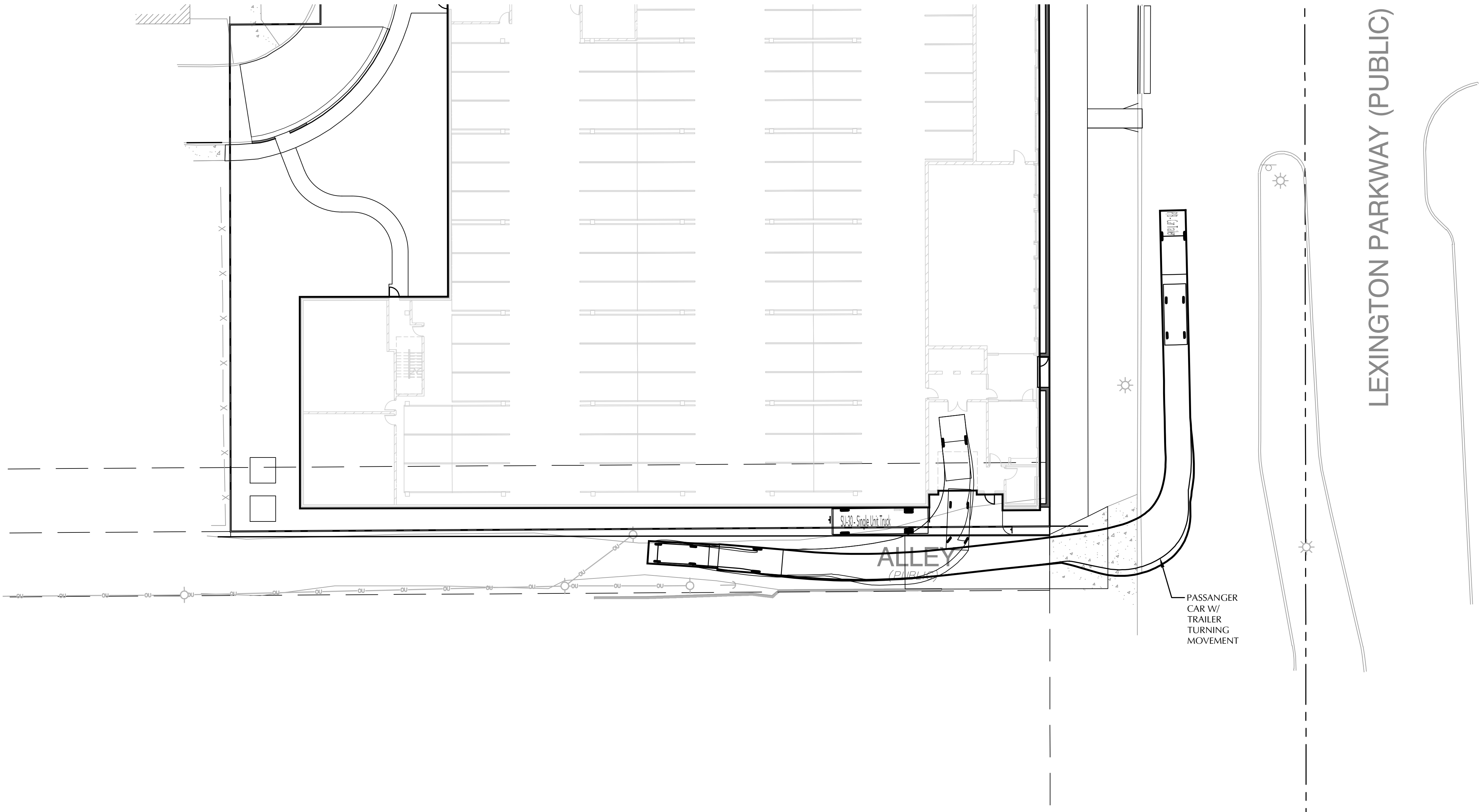
SHEET INDEX

SHEET NO.	TITLE
C0-1	CIVIL NOTES
C1-1	DEMOSHEET
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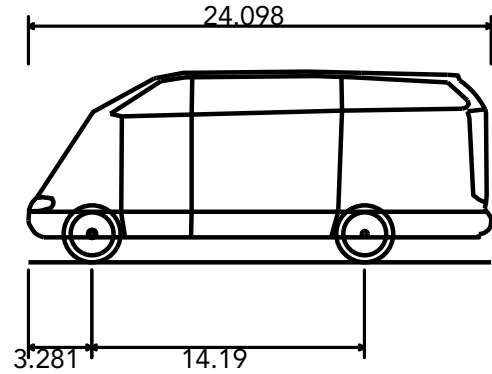
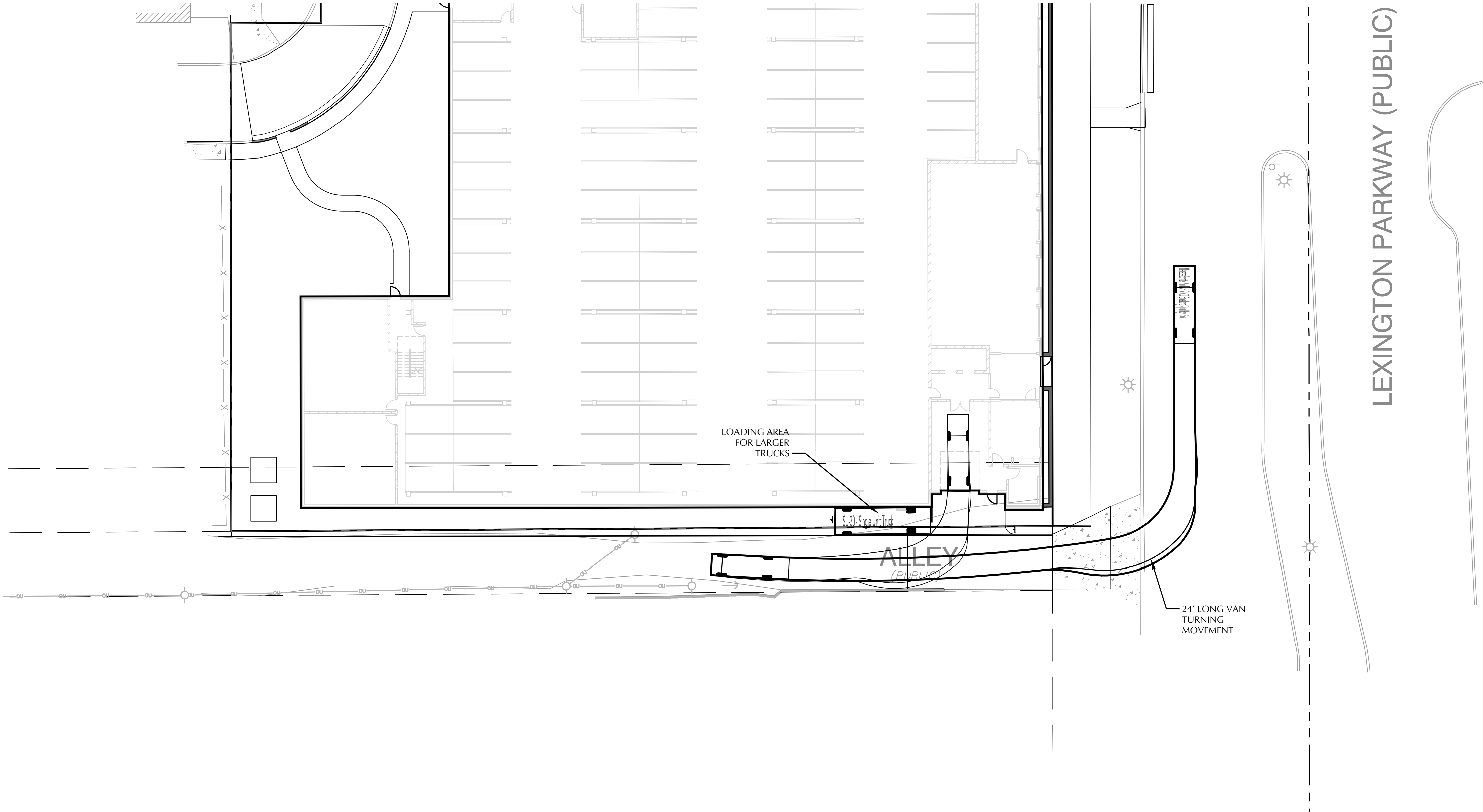
CIVIL DETAILS

C8-1

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P/B - Car and Trailer
Overall Length 42.000ft
Overall Width 8.000ft
Overall Body Height 6.305ft
Min Body Ground Clearance 0.681ft
Max Track Width 8.000ft
Lock-to-lock time 4.00s
Max Steering Angle (Virtual) 31.60°



Mercedes Sprinter Panel Van 518CDI Extra Long Super High Roof
Overall Length 24.098ft
Overall Width 6.539ft
Overall Body Height 9.942ft
Min Body Ground Clearance 1.312ft
Track Width 6.539ft
Lock-to-lock time 5.00s
Wall to Wall Turning Radius 25.591ft

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Date		-

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Drawn By	DDL
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C0-1	CIVIL NOTES
C1-1	DEMO SHEET
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C3-1	GRADING PLAN
C3-2	SWPPP
C3-3	SWPPP NOTES
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L1-1	LANDSCAPE PLAN
L1-2	LANDSCAPE NOTES

TRUCK
TURNING
EXHIBIT

EX-1

PLANT SCHEDULE						
DECIDUOUS TREES		QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE
		3	HARVEST GOLD LINDEN	Tilia mongolica 'Harvest Gold'	B & B	2.5'Cal
		3	IMPERIAL HONEYLOCUST	Gleditsia triacanthos 'Impcole' TM	B & B	2.5'Cal
		3	RIVER BIRCH CLUMP	Betula nigra	B & B	8' HGT
		8	SIENNA GLEN MAPLE	Acer freemanii 'Sienna Glen'	B & B	2.5'Cal
ORNAMENTAL TREES		QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE
		4	SPRING SNOW CRABAPPLE	Malus x 'Spring Snow'	B & B	1.5'Cal
SHRUBS		QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE
AD	16	ARCTIC FIRE DOGWOOD	Cornus sericea 'Arctic Fire'	5 gal	24" HGT	
CV	11	COMPACT AMERICAN VIBURNUM	Viburnum trilobum 'Bailey Compact'	5 gal	24" HGT	
DN	12	DIABLO PURPLE NINEBARK	Physocarpus opulifolius 'Monlo' TM	5 gal	24" HGT	
GAC	61	GREEN MOUND ALPINE CURRANT	Ribes alpinum 'Green Mound'	5 gal	24" HGT	
LPS	5	LITTLE PRINCESS SPIREA	Spiraea japonica 'Little Princess'	5 gal	24" HGT	
ML	28	MISS KIM LILAC	Syringa patula 'Miss Kim'	5 gal	24" HGT	
GRASSES		QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE
FG	38	FEATHER REED GRASS	Calamagrostis x acutiflora 'Karl Foerster'	1 gal		
CONIFEROUS SHRUBS		QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE
AJ	14	ANDORRA COMPACT JUNIPER	Juniperus horizontalis 'Plumosa Compacta'	5 gal	18" SPRD	
MJJ	5	MINT JULEP JUNIPER	Juniperus chinensis 'Monlep'	5 gal	18" SPRD	
NY	6	NOVA YEW	Taxus cuspidata 'Nova'	5 gal	36" HGT	
TY	10	TAUNTON YEW	Taxus x media 'Taunton'	5 gal	18" SPRD	
TA	2	TECHNY ARBORVITAE	Thuja occidentalis 'Techny'	10 gal	36" HGT	
PERENNIALS		QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE
AUH	23	AUREOMARGINATA HOSTA	Hosta montana 'Aureomarginata'	1 gal		
BAD	44	BAJA DAYLILY	Hemerocallis x 'Baja'	1 gal		
CCB	44	CARAMEL CORAL BELLS	Heuchera x 'Caramel'	1 gal		
LS	13	LITTLE SPIRE RUSSIAN SAGE	Perovskia x 'Little Spire'	1 gal		
PHO	25	PATRIOT HOSTA	Hosta x 'Patriot'	1 gal		

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SUBMITTAL/REVISIONS

11/19/20	CITY SUBMITTAL
12/10/20	CITY SUBMITTAL

GENERAL NOTES

CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. HE SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.

VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.

ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE
WORK OR MATERIALS SUPPLIED.

CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER.

CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10' - 0" CLEARANCE).

ALL UNDERGROUND UTILITIES SHALL BE LAID SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.

EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.

THE ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. ANY CHANGE IN ALIGNMENT MUST BE APPROVED BY LANDSCAPE ARCHITECT.

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

IRRIGATION NOTES: _____

QUALITY CONTROL

Locucks Project No.	19114A
Project Lead	PJD
Drawn By	DDI
Checked By	DDI
Review Date	12/10/20

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C0-1	CIVIL NOTES
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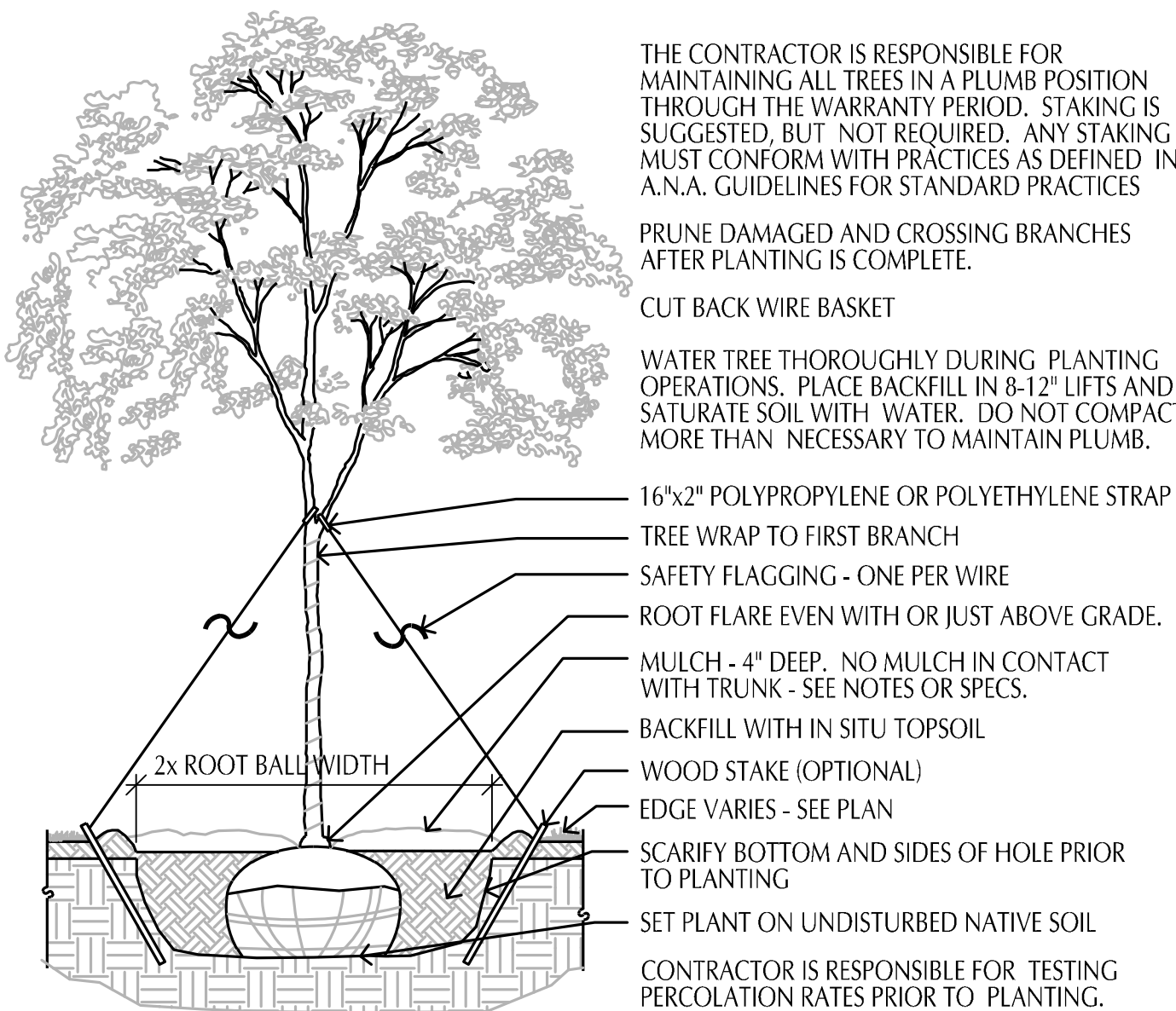
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LANDSCAPE
PLAN

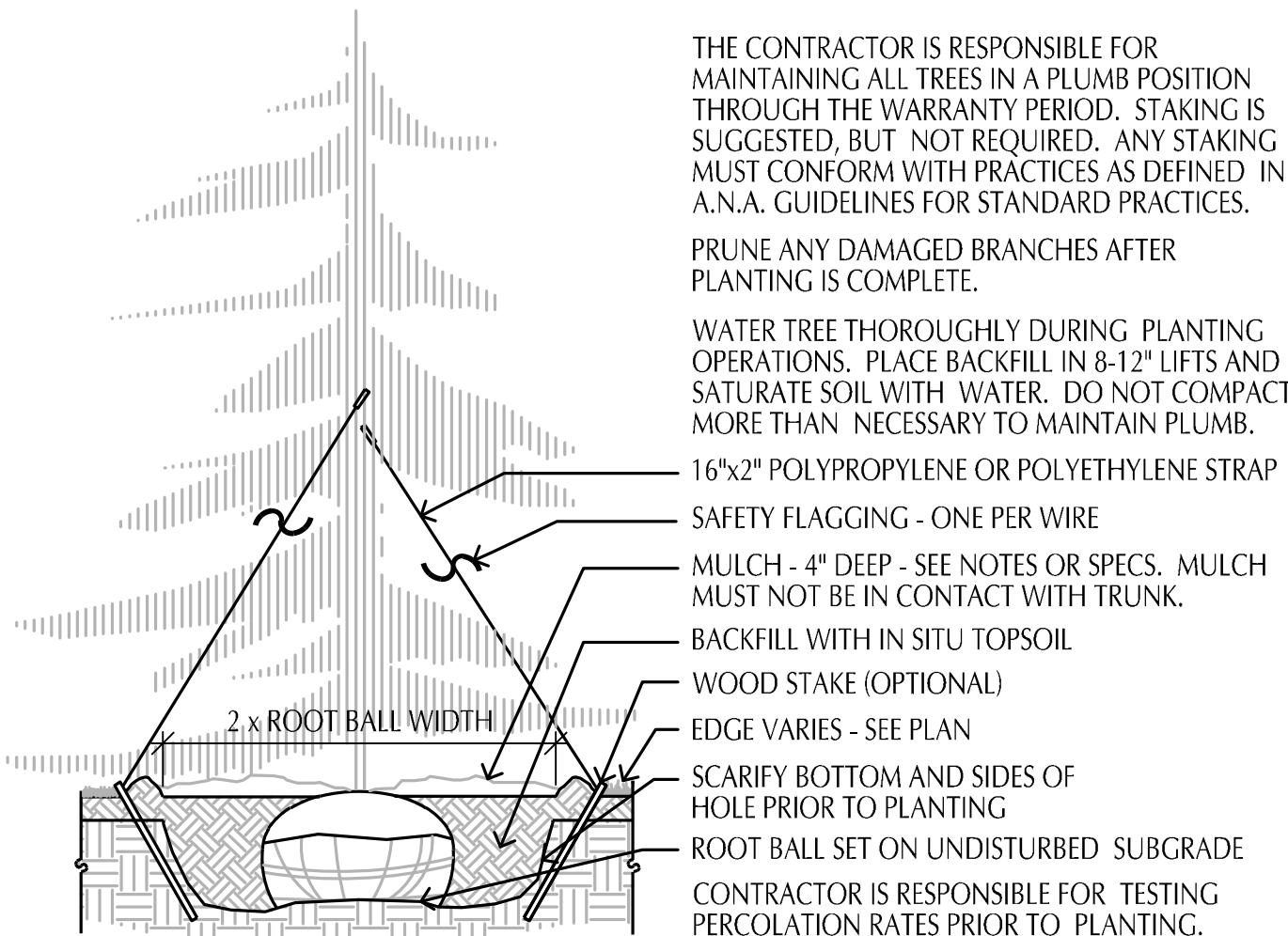
L1-1



DECIDUOUS TREE PLANTING DETAIL

SCALE: 1/2" = 1'-0"

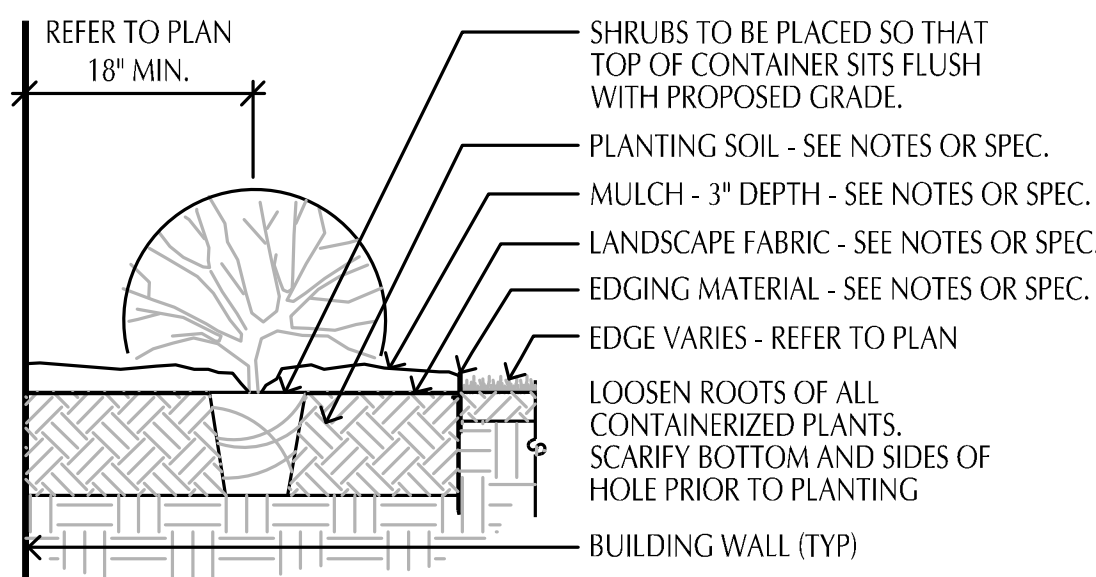
Deciduous Tree (DWG)



CONIFEROUS TREE PLANTING DETAIL

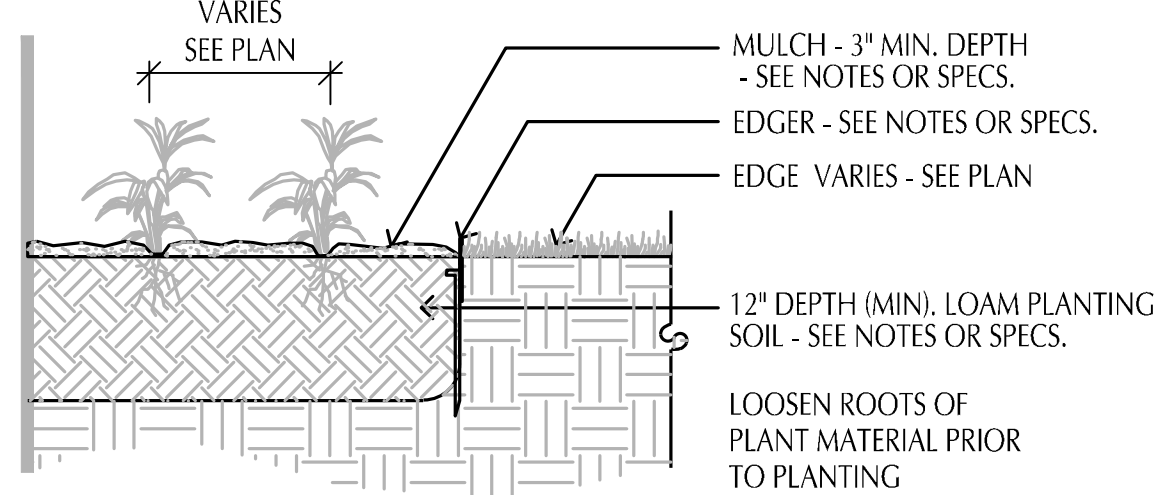
SCALE: 1/2" = 1'-0"

Coniferous Tree (DWG)



SHRUB PLANTING DETAIL

SCALE: 3/4" = 1'-0"



PERENNIAL PLANTING

SCALE: 3/4" = 1'-0"

Perennial (DWG)

LANDSCAPE INSTALLATION:

COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.

NO PLANTING WILL BE INSTALLED UNTIL COMPLETE GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

WHERE SOD/SEED ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.

SEED ALL AREAS DISTURBED DUE TO GRADING OTHER THAN THOSE AREAS NOTED TO RECEIVE SOD. SEED SHALL BE INSTALLED AND MULCHED AS PER MNDOT SPECS.

SOD ALL DESIGNATED AREAS DISTURBED DUE TO GRADING. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS, ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND.

ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN. UNLESS NOTED OTHERWISE, ALL SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED MINIMUM SHRUB HEIGHT OR WIDTH. ORNAMENTAL TREES SHALL HAVE NO V CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3" ABOVE ROOT BALL, STREET AND BOULEVARD. TREES SHALL BEGIN BRANCHING NO LOWER THAN 5' ABOVE FINISHED GRADE.

ANY CONIFEROUS TREE PREVIOUSLY PRUNED FOR CHRISTMAS TREE SALES SHALL NOT BE USED. ALL CONIFEROUS TREES SHALL BE FULL FORM, NATURAL TO THE SPECIES, WITHOUT PRUNING.

PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.

NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND/OR QUOTATION.

ALL PROPOSED PLANTS SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN. ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED.

ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH A 27-3-3 SLOW RELEASE FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS. PLANTS MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 27-3-3 AT 6 OZ PER 2.5' CALIPER PER TREE AND 3 OZ PER SHRUB WITH AN ADDITIONAL APPLICATION OF 27-3-3 THE FOLLOWING SPRING IN THE TREE SALICER.

ALL PLANTING AREAS RECEIVING GROUND COVER, PERENNIALS, ANNUALS, AND/OR VINES SHALL RECEIVE A MINIMUM OF 12" DEPTH OF PLANTING SOIL CONSISTING OF AT LEAST 45 PARTS TOPSOIL, 45 PARTS PEAT OR MANURE AND 10 PARTS SAND.

ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. REMOVE ALL FLAGGING AND LABELS FROM PLANTS.

WRAPPING MATERIAL SHALL BE CORRUGATED PVC PIPING 1" GREATER IN CALIPER THAN THE TREE BEING PROTECTED OR QUALITY HEAVY WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.

BLACK POLY EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS, AND ANNUALS WHERE BED MEETS SOD/SEED UNLESS NOTED OTHERWISE.

ALL ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH WITH NO WEED BARRIER.

ALL SHRUB BED MASSINGS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH AND FIBER MAT WEED BARRIER.

ALL TREES TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.

SPREAD GRANULAR PRE EMERGENT HERBICIDE (PREEN OR EQUAL) PER MANUFACTURER'S RECOMMENDATIONS UNDER ALL MULCHED AREAS.

MAINTENANCE STRIPS TO HAVE EDGER AND MULCH AS SPECIFIED INDICATED ON DRAWING OR IN SPECIFICATION.

IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE MUST BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND/OR INSTALLATION.

CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF ALL LANDSCAPE AND SITE IMPROVEMENTS.

CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE PROGRAM INCLUDING, BUT NOT NECESSARILY LIMITED TO, PRUNING, FERTILIZATION AND DISEASE/PEST CONTROL.

CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE.

WARRANTY (ONE FULL GROWING SEASON) FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

UNLESS NOTED OTHERWISE THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEED/SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.

FALL SODDING IS GENERALLY ACCEPTABLE FROM AUGUST 15 - NOVEMBER 1. FALL SEEDING FROM AUGUST 15 - SEPTEMBER 15. DORMANT SEEDING IN THE FALL SHALL NOT OCCUR PRIOR TO NOVEMBER 1. FALL CONIFEROUS PLANTING MAY OCCUR FROM AUGUST 15 - OCTOBER 1 AND DECIDUOUS PLANTING FROM THE FIRST FROST UNTIL NOVEMBER 15. PLANTING OUTSIDE THESE DATES IS NOT RECOMMENDED. ANY ADJUSTMENT MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

PROTECT ALL EXISTING OAKS ON SITE SCHEDULED TO REMAIN. IF EXISTING OAKS ARE DAMAGED IN ANY MANNER, ABOVE OR BELOW GROUND IN THE ROOT SYSTEM, AN ASPHALTIC TREE PRUNING PAINT SHOULD BE APPLIED IMMEDIATELY AFTER WOUNDING. OAKS ARE NOT TO BE PRUNED, REMOVED OR TRANSPLANTED BETWEEN APRIL 15 AND JULY 1. NOTIFY LANDSCAPE ARCHITECT IF THESE DATES ARE UNAVOIDABLE.

LANDSCAPE CONTRACTOR SHALL ESTABLISH TO HIS SATISFACTION THAT SOIL AND COMPACTION CONDITIONS ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AT AND AROUND THE BUILDING SITE.

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CADD QUALIFICATION

CADD files prepared by the Consultant for this project are instruments of the Consultant professional service for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made in the full file of the party making such revisions, additions or deletions and that party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

SUBMITTAL/REVISIONS

11/19/20 CITY SUBMITTAL
12/10/20 CITY SUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

License No. Douglas D. Loken - LA 45591
Date -

QUALITY CONTROL

Loucks Project No. 19114A
Project Lead PJD
Drawn By DDL
Checked By DDL
Review Date 12/10/20

SHEET INDEX

C0-1 CIVIL NOTES
C1-1 DEMO SHEET
C2-1 SITE PLAN
C3-1 GRADING PLAN
C3-2 SWPPP
C3-3 SWPPP NOTES
C4-1 UTILITY PLAN
C8-1 CIVIL DETAILS
L1-1 LANDSCAPE PLAN
L1-2 LANDSCAPE NOTES

LANDSCAPE DETAILS

L1-2