







Prepared for: Site Plan Review 12.22.2020

Project:

417 & 411 Lexington Pkwy N, St. Paul 20-053.00







Project Narrative

Alatus, LLC submits this narrative in support of the site plan application for Lexington Project (the "Project"), a 6-story, mixed-use residential building featuring 285 apartment homes, street-level retail, active ground-floor amenity spaces, and structured parking. Located just one-half block south of Metro Transit's Green Line Lexington Parkway Station (a 3-minute walk), the Project will promote public transit use and multi-modal forms of transportation, support the City's density goals and provide a development that aligns with the City's long-term vision for this area.

The Project supports the City's goals as stated in the Transit-Corridor plans as well as the applicable neighborhood Small Area Plans. Specifically, it will enhance the existing community's density and mixed-use character through new right-sized, transit-oriented development. The Project is designed to support this vibrant, mixed-use corridor though the construction of a landmark building that draws upon Lexington Parkway's processional potential yet respects the history and context of the area. The Project will strengthen the streetscape edge, give definition to the block that will improve safety, and, perhaps most importantly, provide connections to the single-family neighborhood (East of Lexington Pkwy) which will improve the porosity and legibility of the area (in alignment with the City's long-term vision for this area). Lastly, considering that this site has long been vacant and tremendously unattractive for neighbors in all directions, The Project will transform an under-utilized location into its highest and best use for the local community and larger region.

The Lexington Project also implements the community's stated goals through design choices and thoughtful use of quality building materials. For example, multiple "front doors" are visible from/oriented toward the intersection of Lexington Parkway and University Avenue, and from Lexington and Fuller Avenue. The building's prominent architectural features and public frontages line Lexington Avenue in an undulating manner with varying setbacks and cut-outs to break up massing. A multi-modal grand entrance provides clear wayfinding and site circulation.

The Project creatively supports the desire of area stakeholders to see a wider range in rents within new privately-financed developments, including more units at deeper levels of affordability. Specifically, the Project seeks to reduce construction costs and use new, efficient unit configurations (including affordable co-living suites) in an effort to achieve overall rent levels that will be appealing and attainable to both existing and new community members. In addition, the Project reduces overall housing cost burdens for its residents due to proximity to multiple public transit options, as well as carefully selected operational strategies including transit subsidies, bulking internet and cable, the building's use of efficient heating and cooling systems to reduce resident utility burdens, and pooling of insurance deposits to reduce up-front resident costs.

In summary, over the past 18+ months, the Lexington Project team has invested significant time and energy in engagement with area stakeholders in order to fully understand and explore the specific and varied needs, wants, and opportunities that are presented at this significant and nuanced location. In response to these discussions, the Project has evolved over time. The Project's program and design reflect community values and leverage the tools and resources available. As a result, the Project will (1) introduce a needed diversity of quality attainable housing options into the area, (2) create a connected, walkable, active streetscape, (3) provide economic opportunity through retail oriented to transit, and (4) help balance the various land uses, cultural backgrounds, and income levels in the community.

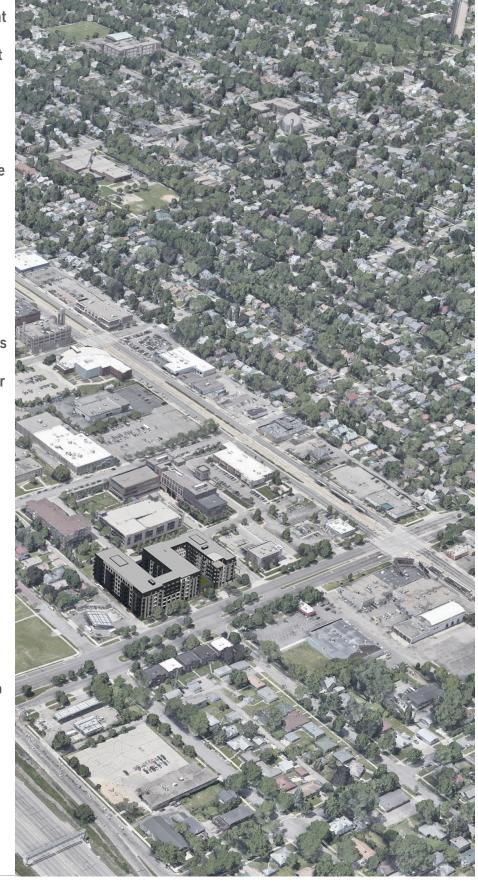
Importantly, the Project meets all of the Code requirements that are necessary for site plan approval and, based on this, and for all of the reasons stated above, we ask that Staff support the Project and approve the site plan.

Parking Narrative

Applicant will be providing 234 structured and enclosed parking stalls between grade level and one level of underground parking for an approximately 0.81 parking stalls to units ratio. Additional necessary parking for building residents will be accommodated by surrounding on-street parking locations in all directions. Applicant is also looking to establish temporary parking locations in adjacent under-utilized surface parking lots which surround the redevelopment parcels.

Trash Narrative

Trash and waste management will occur within the confines of the property's boundary. Waste bins will be held internally on the first floor within the enclosed parking structure. It is estimated that trash removal will occur on Mondays and Thursdays in the morning hours. Containers will be moved from their interior location outside to a concrete pad on the western side of the building via the resident-entry garage door. The 3-cubic-yard containers would be moved to this location, picked up, and emptied by a private trash collection service. Once they have been emptied, on-site management staff will move the dumpster bins back to the interior of the building.







411 & 417 Lexington Parkway N

INTRODUCTION - CONTENTS & DESCRIPTION

CONTENTS

Introduction table of contents & project information Site Analysis site aerials zoning and adjacent uses surrounding buildings street panoramas Proposed Project site plan floor plans 10 13 elevations 16 materials 17 perspectives 23 shadow study Civil C0-1 civil notes C1-1 demo sheet site plan C2-1 grading plan C3-1 C3-2 swppp C3-3 swpp notes utility notes C4-1 civil details C8-1 landscape plan L1-1 landscape notes L1-2

PROJECT TEAM

Real Estate Developer 800 Nicollet Mall, Ste 2850, Minneapolis, MN, 55402

Architect

DJR Architecture, Inc.

333 N Washington Ave #210, Minneapolis, MN, 55401

Civil Engineer & Landscape Architect

Loucks

7200 Hemlock Lane, Ste 300, Maple Grove, MN 55396

General Contractor

Rise Modular

222 S 9th St, Ste 3700, Minneapolis, MN 55402

Traffic

Swing Traffic Solution, LLC

4290 Norwood Ln, N. Plymouth, MN 55442

Address

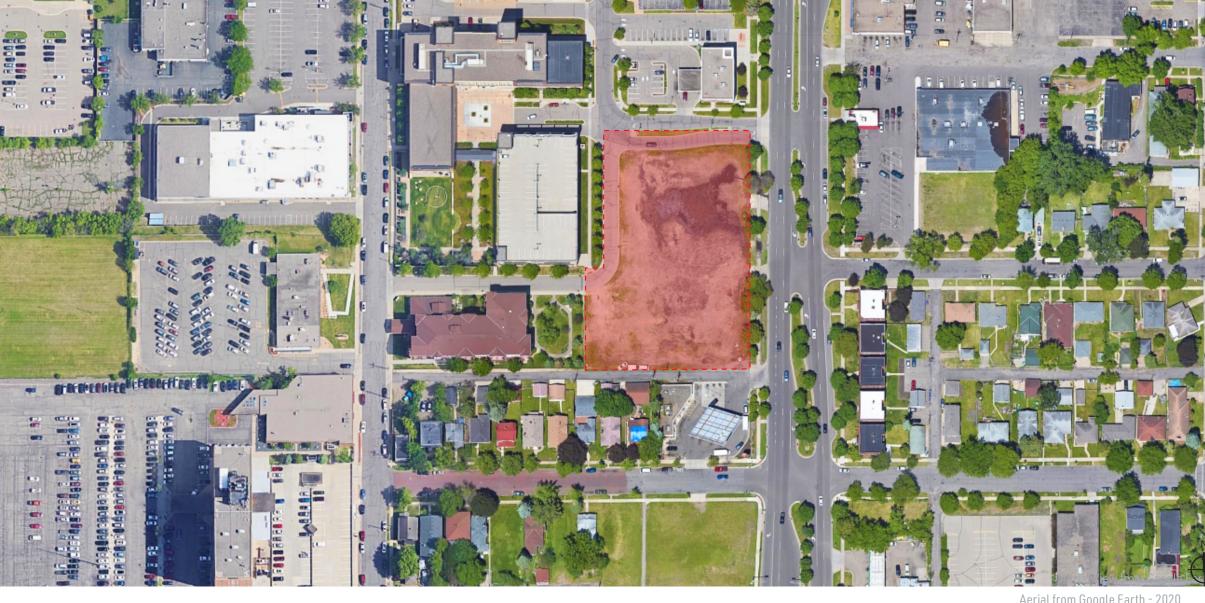
417 & 411 Lexington Pkwy N, St. Paul, MN 55104

Area

2.05 acres (89,298 sq. ft.) existing

Legal Description

Parcel Number for 417: 342923410067 & Parcel Number for 411: 342923410069



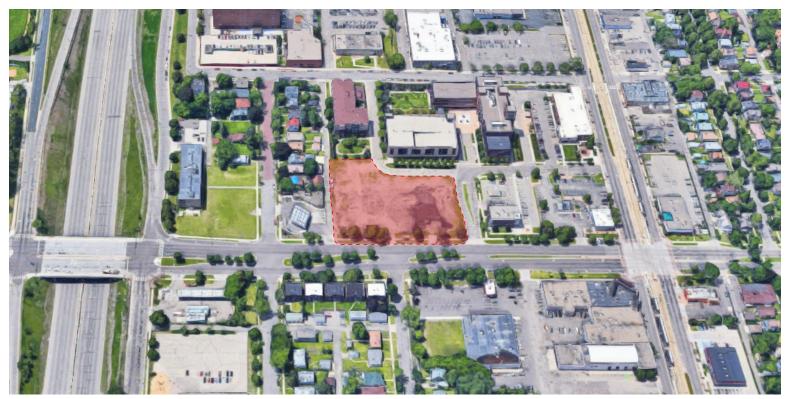






411 & 417 Lexington Parkway N

SITE ANALYSIS - AERIALS



Aerial Photo Looking West



Aerial Photo Looking East



Aerial Photo Looking North

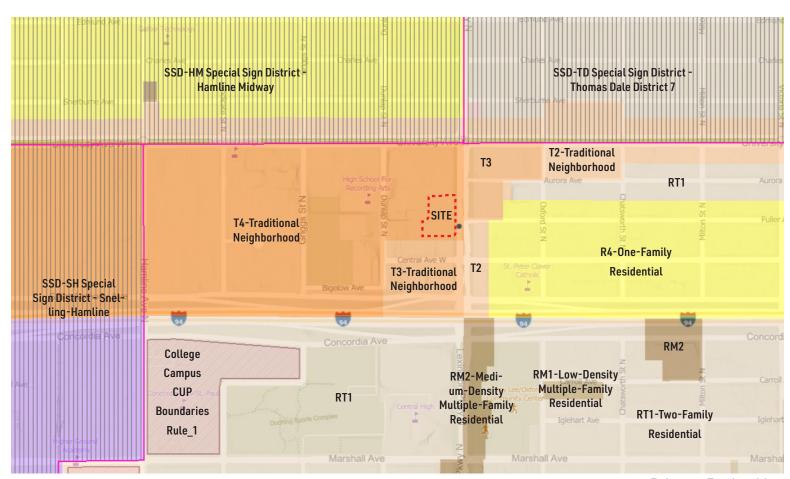


Aerial Photo Looking South









Primary Zoning Map





























8. Super America Gas Station

9. Carty Heights Apartment Building

10. Whistler Creek Printed Music Publisher

11. Single Family Housing





STREET PANORAMA



































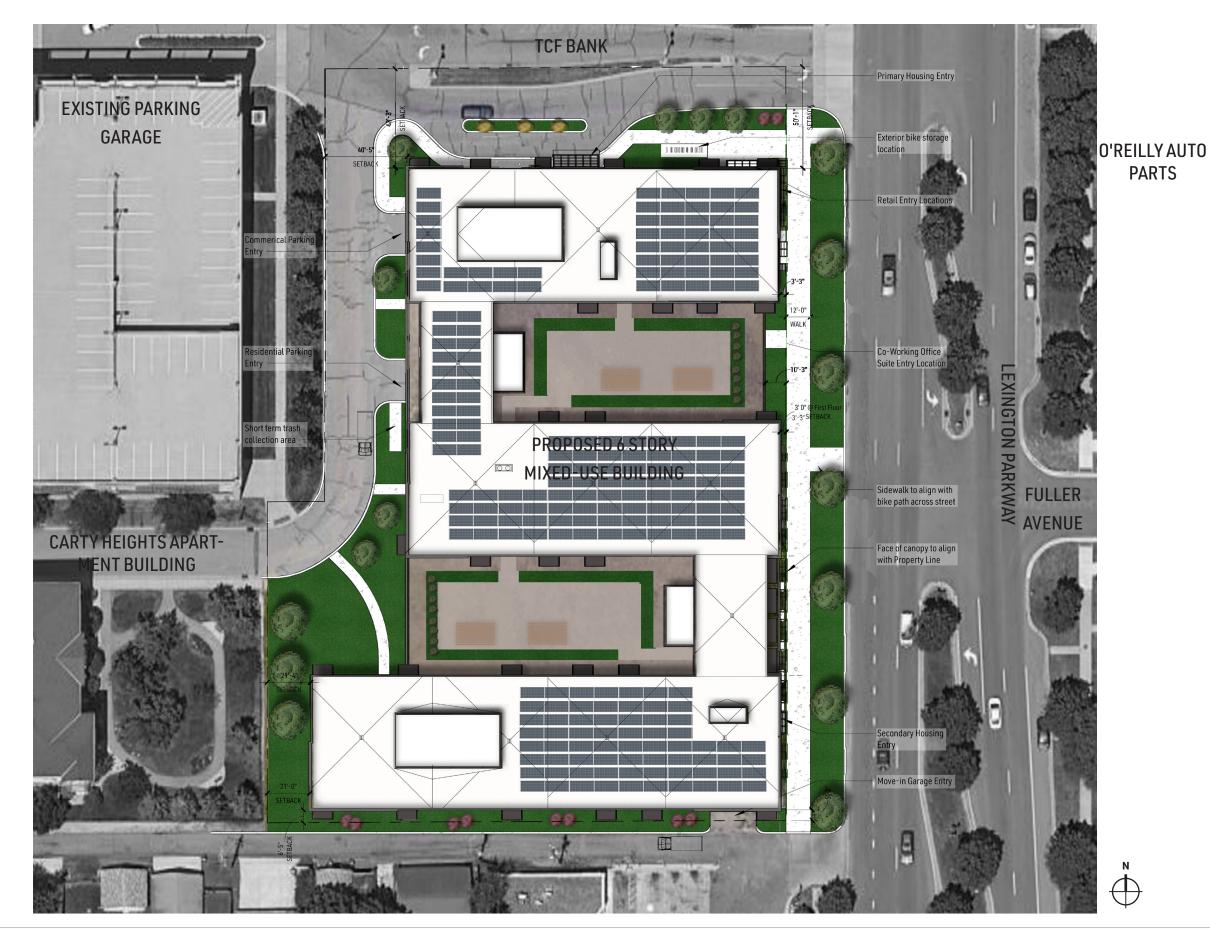
















PROJECT INFORMATION

Area Schedule - Gross (Summary)			
Level	Area		
LEVEL P1	46,597 SF		
LEVEL 1	60,718 SF		
LEVEL 2	44,750 SF		
LEVEL 3	44,676 SF		
LEVEL 4	44,321 SF		
LEVEL 5	44,326 SF		
LEVEL 6	44,312 SF		
Grand total	329,700 SF		

Level	Name	Area
LEVEL D1	DOLL	1 071 05
LEVEL P1	BOH	1,071 SF
LEVEL P1	CIRCULATION	1,079 SF
LEVEL P1	PARKING	44,446 SF
		46,597 SF
LEVEL 1	AMENITY	7,419 SF
LEVEL 1	ВОН	3,049 SF
LEVEL 1	CIRCULATION	4,980 SF
LEVEL 1	COMMERCIAL	3,004 SF
LEVEL 1	PARKING	42,285 SF
		60,737 SF
LEVEL 2	AMENITY	1,368 SF
LEVEL 2	вон	110 SF
LEVEL 2	CIRCULATION	5,104 SF
LEVEL 2	RESIDENTIAL	37,391 SF
LEVEL 2	WORK SUITE RENTABLE	814 SF
		44,787 SF
LEVEL 3	ВОН	110 SF
LEVEL 3	CIRCULATION	4,780 SF
LEVEL 3	RESIDENTIAL	39,006 SF
LEVEL 3	WORK SUITE RENTABLE	925 SF
		44,821 SF
LEVEL 4	ВОН	110 SF
LEVEL 4	CIRCULATION	4,780 SF
LEVEL 4	RESIDENTIAL	39,006 SF
LEVEL 4	WORK SUITE RENTABLE	925 SF
		44,821 SF
LEVEL 5	ВОН	110 SF
LEVEL 5	CIRCULATION	4,780 SF
LEVEL 5	RESIDENTIAL	39,006 SF
LEVEL 5	WORK SUITE RENTABLE	925 SF
		44,821 SF
LEVEL 6	ВОН	110 SF
LEVEL 6	CIRCULATION	4,717 SF
LEVEL 6	COMMON / AMENITY	1,636 SF
LEVEL 6	RESIDENTIAL	36,953 SF
		43,416 SF

Area Schedule - Gross (Summary)		
Level	Area	
LEVEL P1	46,597 SF	
LEVEL 1	60,718 SF	
LEVEL 2	44,750 SF	
LEVEL 3	44,676 SF	
LEVEL 4	44,321 SF	
LEVEL 5	44,326 SF	
LEVEL 6	44,312 SF	

	Parking Schedule	
Stall Type	Size	Count
ADA 2	8' x 18' (ADA)	6
Compact 2	9' x 16' (Compact 2)	71
Compact 3	8' x 18' (Compact 3)	19
Standard 1	9' x 18' (Standard 1)	140
Tandem	9' x 16' (Tandem)	18
		254

CURRENT PRIMARY ZONING

CURRENT OVERLAY ZONING SP 2030 COMPREHENSIVE PLAN

<u>FAR</u> FLOOR AREA RATIO = 2.72

*Site area estimated from Ramsey County Property Map

TOTAL AREA

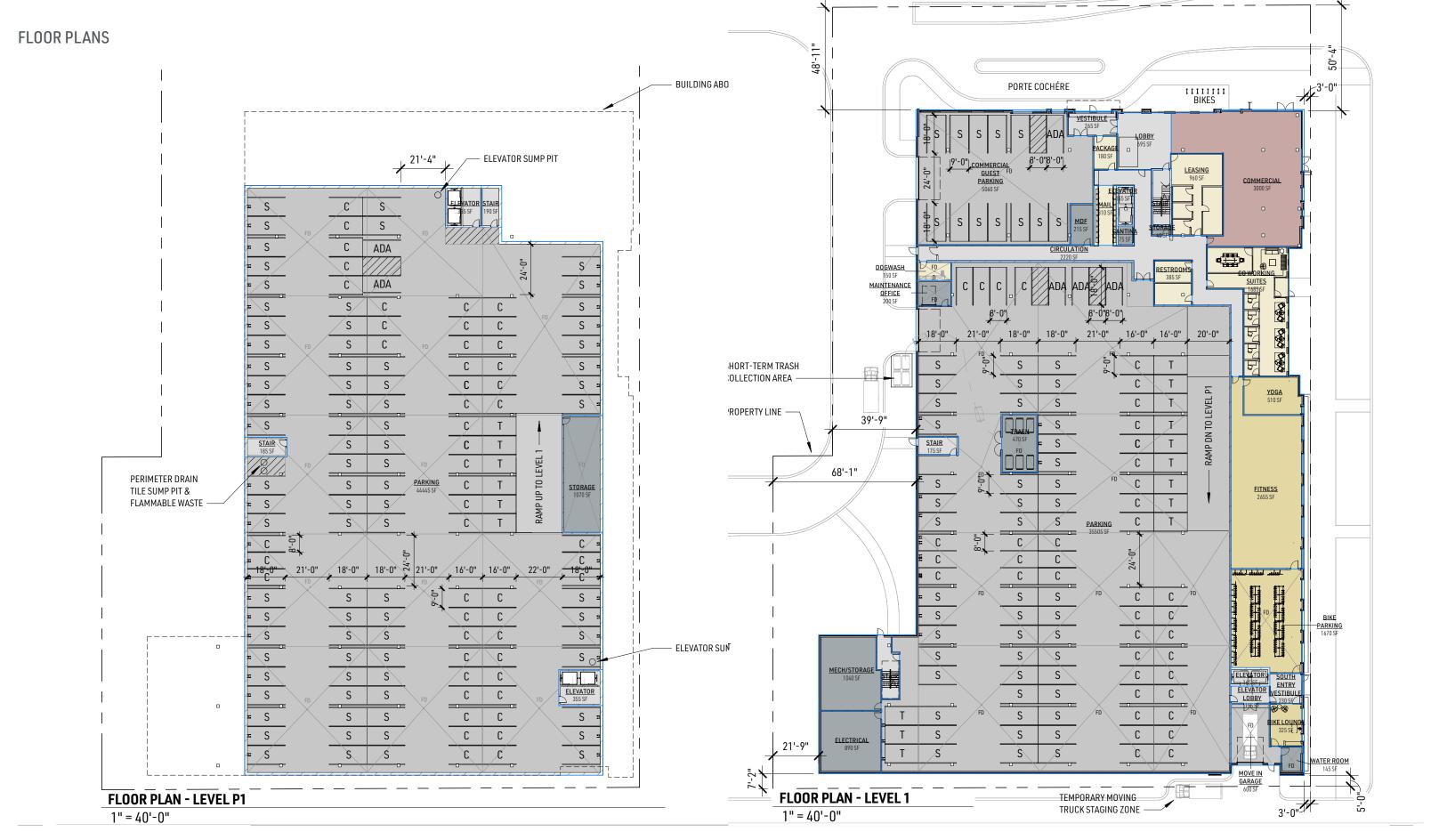
Bike Racks	
Bike Rack Type	Counts
Exterior Freestanding Bike Rack	8
Interior Dero Bike Rack "Bike File" (floor mounted)	144
Interior Dero Bike Rack "Bike File" (wall mounted)	72
Interior Dero Bike Rack "Wall Rack"	64
	288

		_				
T4 - TRADITIONAL NEIGHBORHOOD			Unit Rentable Area (SF)			
N/A			Name	Level	Count	Area
MIXED USE	CORRIDOR	F		20101		7.00
		1	1BR	LEVEL 2	14	9,520 SF
89,168SF*		H.	IBR DEN	LEVEL 2	1	795 SF
y Property Ma		-	2BR	LEVEL 2	7	6,674 SF
, , ,	•	-	4BR	LEVEL 2	3	5,475 SF
		-	ALCOVE	LEVEL 2	10	5,456 SF
		-	STUDIO	LEVEL 2	21	9,474 SF
		į	56			37,395 SF
		1	1BR	LEVEL 3	15	10,269 SF
		1	1BR DEN	LEVEL 3	1	795 SF
		2	2BR	LEVEL 3	8	7,459 SF
		4	4BR	LEVEL 3	3	5,475 SF
		_ 7	ALCOVE	LEVEL 3	10	5,453 SF
		9	STUDIO	LEVEL 3	21	9,479 SF
edule		[58			38,930 SF
ize	Count] [1BR	LEVEL 4	15	10,262 SF
			IBR DEN	LEVEL 4	1	796 SF
	6		2BR	LEVEL 4	8	7,459 SF
2)	71		4BR	LEVEL 4	3	5,475 SF
3)	19	1	ALCOVE	LEVEL 4	6	3,300 SF
1)	140		STUDIO	LEVEL 4	25	11,279 SF
	18 254	-	58			38,570 SF
	201	-	1BR	LEVEL 5	15	10,271 SF
		-	IBR DEN	LEVEL 5	1	796 SF
		-	2BR	LEVEL 5	8	7,459 SF
		_	4BR	LEVEL 5	3	5,475 SF
		-	ALCOVE	LEVEL 5	6	3,300 SF
		I –	STUDIO	LEVEL 5	25	11,279 SF
ks			58			38,580 SF
			1BR	LEVEL 6	15	10,271 SF
	Counts		IBR DEN	LEVEL 6	1	796 SF
	•		2BR	LEVEL 6	8	7,511 SF
	8	1	4BR	LEVEL 6	3	5,475 SF
mounted)	144	7	ALCOVE	LEVEL 6	6	3,295 SF
nounted)	72		STUDIO	LEVEL 6	25	11,279 SF
	64	[58			38,626 SF





38,626 SF 192,101 SF



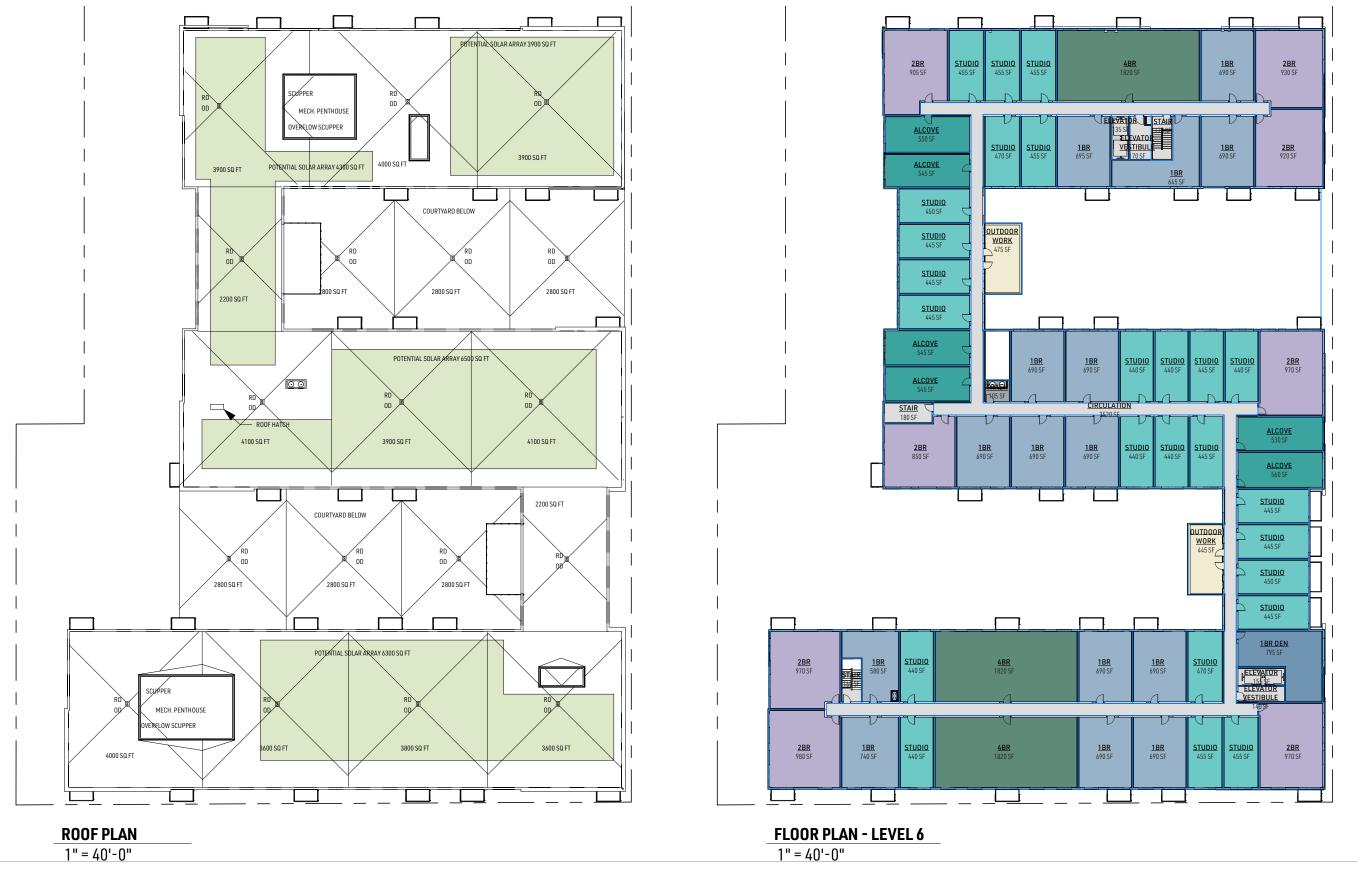


















SOUTH ELEVATIO	N - OPENING	i %
Material	Area	%

OPAQUE	11,886 SF	70%
WINDOW	5,027 SF	30%
	16,913 SF	100%

SOUTH EXTERIOR ELEVATION

1" = 30'-0"



NORTH ELEVATION - OPENING %

Material Area %

OPAQUE	8,247 SF	61%
WINDOW	5,199 SF	39%
	13,446 SF	100%

NORTH EXTERIOR ELEVATION

1" = 30'-0"







EAST EXTERIOR ELEVATION

1" = 30'-0"



 OPAQUE
 16,167 SF
 73%

 WINDOW
 6,124 SF
 27%

 22,290 SF
 100%

23,196 SF 100%

WEST EXTERIOR ELEVATION

1" = 30'-0"





411 & 417 Lexington Parkway N

ELEVATIONS - COURTYARD







NORTH COURTYARD (LOOKING SOUTH)

1" = 30'-0"

NORTH COURTYARD (LOOKING NORTH)

1" = 30'-0"

NORTH COURTYARD (LOOKING WEST)

1" = 30'-0"



ROOF BRNG
169' - 6 5/16"

LEVEL 6
158' - 8 1/8"

LEVEL 5
147' - 9 15/16"

LEVEL 4
136' - 11 3/4"

LEVEL 3
126' - 1 9/16"

LEVEL 2
115' - 3 3/8"

SOUTH COURTYARD (LOOKING NORTH)

1" = 30'-0"

SOUTH COURTYARD (LOOKING EAST)

1" = 30'-0"

SOUTH COURTYARD (LOOKING SOUTH)

1" = 30'-0"





411 & 417 Lexington Parkway N

EXTERIOR MATERIALS



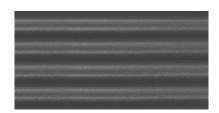
GL1 - LOW-E GLASS Vendor/Supplier: Vitro or similar Model: SN 68, Insulated, Low-E coating Color: Starphire

Color: Starphire Use: All glass



Model: Hardie Plank Lap Siding Colonial Smooth

Color: White Use: Field Material



CMP1 - CORRUGATED PANEL

Vendor/Supplier: Metal Sales or Similar Model: 1/25" corrugated or Similar

Color: Charcoal Use: Field Material





BR1 - BRICK

Vendor/Supplier: Glen-Gery or similar

Model: Facebrick

Color: Ebonite Velour - Black (with dark mortar)

Use: Podium Material



BR2 - BRICK

Vendor/Supplier: Glen-Gery or similar

Model: Facebrick

Color: Light Gray (with light mortar)

Use: Podium Material







































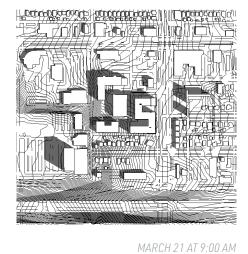


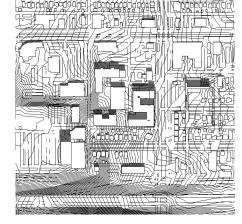


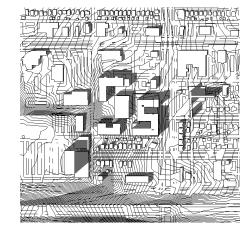


SHADOW STUDY 9:00 AM 12:00 PM 3:00 PM

SPRING/FALL EQUINOX MARCH 21







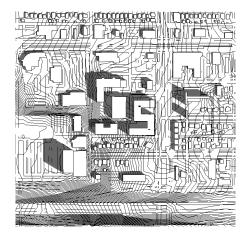
MARCH 21 AT 12:00 PM

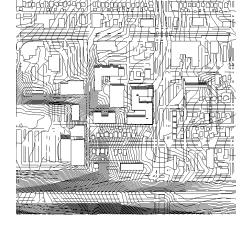
MARCH 21 AT 3:00 PM

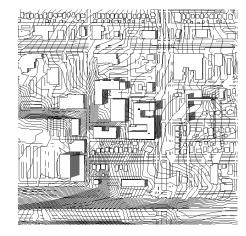
SUMMER SOLSTICE
JUNE 21

WINTER SOLSTICE

DECEMBER 22



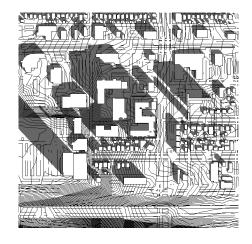


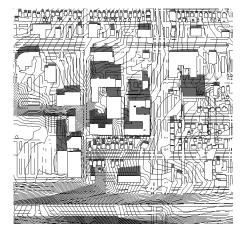


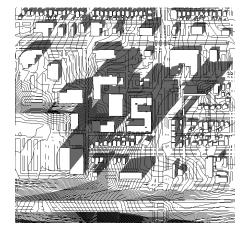
JUNE 21 AT 9:00 AM

JUNE 21 AT 12:00 PM

JUNE 21 AT 3:00 PM







DECEMBER 22 AT 9:00 AM

DECEMBER 22 AT 12:00 PM

DECEMBER 22 AT 3:00 PM





ZONING

The following zoning information is based on a zoning letter from the City of St. Paul to Commercial Partners Title, LLC, dated June 27, 2019.

Classification: T4 - traditional neighborhood district

no minimum parking requirements

Setbacks: Front:

Front: information not provided
Side: information not provided
Rear: information not provided

Max. Height: information not provided

Floor Space Area: information not provided

POSSIBLE ENCROACHMENTS

1. Bituminous pavement extends onto the property from the adjoining alley to the south, as shown on the survey.

BENCHMARKS

Benchmark 1: Saint Paul benchmark 0004036 is a TNH on the NE corner of Saint Anthony Ave and Lexington Parkway N and has an elevation of 892.67 feet (NGVD29).

Parkway N and has an elevation of 892.67 feet (NGVD29),

Benchmark 2: Local benchmark is a TNH located 33 feet SW of the NW corner of Lot 4 Block 1 of Lexington and University and 12 ft E of the NE corner of the parking garage located of Lot 2 Block 1 of Lexington and University and has an elevation of 895.47 feet (NGVD29).

0 15 30 60 SCALE IN FEET

PROPERTY DESCRIPTION

Parcel 1:

Lot 4, Block 1, Lexington and University, according to the plat thereof, Ramsey County, Minnesota.

Abstract Property

Parcel 2:

Lot 36, except the North 111.6 feet thereof, also except the West 294.01 feet thereof, also except the East 40 feet thereof taken for Lexington Parkway, Hall and Brown's Addition to Hyde Park, according to the recorded plat thereof, and situate in Ramsey County, Minnesota, together with that part of the North Half of vacated Taylor Avenue lying between the Southerly extensions of the East line of the West 294.1 feet and the West line of the East 40 feet of said Lot 36.

CERTIFICATION

Ramsey County, Minnesota Abstract Property

To Alatus Development LLC, A Minnesota limited liability company, Commercial Partners Title, LLC, and Old Republic National Title Insurance Company:

This is to Certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA Land Title Surveys, jointly established and adopted by ALTA and includes Items 1-5, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11,13, 14, 16, 17, 19 and 20 of Table A thereof. The fieldwork was completed on June 14,

Date of Plat or Map: July 3, 2019

REVIEW COPY

Dennis B. Olmstead, Professional Land Surveyor Minnesota License No. 18425

NOTES

1. This survey and the property description shown here on are based upon information found in the commitment for title insurance prepared by Commercial Partners Title, LLC as agent for Old Republic National Title Insurance Company, file no. 55478, First Supplemental, dated March 26, 2019.

2. The locations of underground utilities are depicted based on Gopher State One Call, available city maps, records and field locations and may not be exact. Verify critical utilities prior to construction or design.

3. The basis of bearings is assumed.

4. All distances are in feet.

5. The area of the above described property is 89,168 square feet or 2.047 acres.

6. There are 0 regular striped parking stalls and 0 handicapped parking stalls.

7. The property lies within Zone X (unshaded - areas determined to be outside the 0.2% annual chance floodplain) of Federal Emergency Management Agency (FEMA) Flood Insurance Community Panel No. 27123C0085G, effective June 4, 2010.

8. At time of field work, site was being used as a snow storage area approximately 15 feet in height. We were not able to survey the ground surface in this area.

9. Names of adjoining owners are depicted based on Ramsey County GIS tax information.

10. No party walls identified during survey.

11. Per City of Saint Paul Capital Improvements plan, no proposed evidence of proposed street right of way lines are evident.

12. Survey related exceptions set forth in Schedule B, Section Two of the Title Commitment:

Item no. 14 - Terms, conditions, easements, restrictions and obligations created in Reciprocal Easement Agreement dated December 28, 2004, filed December 30, 2004, as Document No. 3820140. Access and stormwater easements are blanket affecting Parcel 1. Subject property also has access and drainage rights to the ALDI property to the north. Location of parking and utility easements could not be determined.

Item no. 15 - Terms, conditions, easements, covenants and obligations created in Lexington Park Reciprocal Easement Agreement dated April 18, 2006, filed April 18, 2006, as Document No. 3953818. Access easements are depicted graphically in the document over the existing drives as shown on the survey along the north and west lines of the property. Appears to provide access rights to subject property to Dunlap St. to the west and University Ave to the north.

Item no. 16 - Terms, conditions, easements and obligations of Access and Parking Easement Agreement dated December 17, 2008, filed January 6, 2009, as Document No. 4134460. Access easements are depicted graphically in the document over the existing drive as shown on the survey along the north line of the property.

Certificate of Completion dated June 9, 2009, filed September 4, 2009, as Document No. 4180438. (Regarding Section 6 of the above mentioned agreement)

7-03-19: Revised per site visit and zoning letter 4-30-2019: Revised per First Supplemental Commitment 2-26-2019: Review copy issued



733 Marquette Ave, Ste 700
Minneapolis, MN 55402
612.758.3080 MAIN
612.758.3099 FAX
www.alliant-inc.com

ALTA/NSPS LAND TITLE SURVEY

ALATUS/LEXINGTON

411-417 Lexington Parkway North

ST PAUL, MINNESOTA

DRAWN BY

CHECKED BY

DBO

DATE ISSUED

SCALE

JOB NO.

19-0021

FIELD CREW

JDT,PG,DPE

DBO

12/26/19

11/=30'

19-0021

KJ, DA

- 1. SIGNING: SIGNS REGULATING PARKING AND/OR TRAFFIC ON PRIVATE PROPERTY (OUTSIDE OF THE PUBLIC RIGHT-OF-WAY "ROW") SHALL BE FURNISHED AND INSTALLED BY THE PROPERTY OWNER OR CONTRACTOR AT NO COST TO THE CITY OF ST. PAUL DEPARTMENT OF PUBLIC WORKS. REMOVAL OF EXISTING SIGNS WITHIN THE PUBLIC ROW THAT REGULATE TRAFFIC AND OR PARKING SHALL BE COMPLETED BY THE CITY AT THE EXPENSE OF THE DEVELOPMENT. NEW SIGNS OR THE REINSTALLATION OF EXISTING SIGNS, AS APPROVED BY PUBLIC WORKS TRAFFIC ENGINEERING, REGULATING PARKING AND/OR TRAFFIC IN THE PUBLIC ROW SHALL BE FURNISHED AND INSTALLED BY THE CITY AT THE EXPENSE OF THE DEVELOPMENT. ALL EQUIPMENT, MATERIALS, AND LABOR COSTS ASSOCIATED WITH THE CITY AFFECTING A COMPLETE SIGN INSTALLATION SHALL BE THE RESPONSIBILITY OF THE DEVELOPMENT. CONTACT CHRIS GULDEN OF PUBLIC WORKS 651-266-9778 TWO WEEKS IN ADVANCE OF NEEDED SIGN WORK.
- THE CONTRACTOR SHALL CONTACT MIKE LUSIAN, SUPERVISOR, LIGHTING SIGNAL MAINTENANCE (651-266-9780) FOR THE ADDITION OF STREET LIGHTING OR IN THE EVENT OF DAMAGE TO THE LIGHTING OR SIGNAL UTILITIES. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY (AND RELATED COSTS) FOR ANY DAMAGE OR RELOCATIONS.
- 3. CARE MUST BE TAKEN DURING CONSTRUCTION AND EXCAVATION TO PROTECT ANY SURVEY MONUMENTS AND/OR PROPERTY IRONS. CALL SAM GIBSON OF PUBLIC WORKS SURVEYING (651-266-6075) IF YOU HAVE
- 4. PIPE WORK INSIDE PROPERTY TO BE PERFORMED BY A PLUMBER LICENSED BY THE STATE OF MINNESOTA AND CERTIFIED BY THE CITY OF SAINT PAUL. PIPE WORK WITHIN THE PUBLIC RIGHT OF WAY TO BE PERFORMED BY
- ABANDONING EXISTING SEWER SERVICE OR MAKING NEW CONNECTIONS TO CITY SEWER MUST BE DONE TO CITY STANDARDS BY A LICENSED HOUSE DRAIN CONTRACTOR UNDER A PERMIT FROM PUBLIC WORKS SEWER SECTION (651-266-6234).
- INSPECTION CONTACT: THE DEVELOPER SHALL CONTACT THE RIGHT OF WAY INSPECTOR, JENNIFER ZIEMER AT 651-485-4263(ONE WEEK PRIOR TO BEGINNING WORK) TO DISCUSS TRAFFIC CONTROL, PEDESTRIAN SAFETY AND COORDINATION OF ALL WORK IN THE PUBLIC RIGHT OF WAY. NOTE: IF ONE WEEK NOTICE IS NOT PROVIDED TO THE CITY, ANY RESULTING DELAYS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. AS PART OF THE ROW PERMITTING PROCESS, TWO WEEKS BEFORE ANY WORK BEGINS THAT IMPACTS THE ROW IN ANY WAY THE DEVELOPER SHALL PROVIDE TO THE ROW INSPECTOR THE NAME AND CONTACT INFORMATION OF THE CONSTRUCTION PROJECT MANAGER OR CONSTRUCTION PROJECT SUPERINTENDENT. IF THIS INFORMATION IS NOT PROVIDED THERE MAY BE A DELAY IN OBTAINING PERMITS FOR THE WORK IN THE ROW. SAID DELAYS WILL BE THE SOLE RESPONSIBILITY OF THE DEVELOPER.
- SAFE WORK SITE REQUIREMENTS: THE CONTRACTOR SHALL PROVIDE A CONTINUOUS, ACCESSIBLE AND SAFE PEDESTRIAN WALKWAY THAT MEETS ADA AND MN MUTCD STANDARDS IF WORKING IN A SIDEWALK AREA, AND TRAFFIC CONTROL PER MN MUTCD REQUIREMENTS FOR WORK IN THE PUBLIC RIGHT OF WAY.
- NO PRIVATE FACILITIES IN THE RIGHT OF WAY: THE DEVELOPER IS STRICTLY PROHIBITED FROM INSTALLING PRIVATE ELECTRICAL WIRING, CONDUIT, RECEPTACLES AND/OR LIGHTING IN THE CITY'S RIGHT OF WAY. THIS INCLUDES STUBBING CONDUIT OR CABLE INTO THE PUBLIC RIGHT OF WAY TO ACCOMMODATE UTILITY FEEDS TO THE SITE. COORDINATE WITH EACH UTILITY PRIOR TO CONSTRUCTION TO DETERMINE FEED POINTS INTO THE PROPERTY. UTILITIES ARE RESPONSIBLE FOR SECURING EXCAVATION PERMITS TO RUN THEIR SERVICE INTO A SITE, AND (WHERE REQUIRED) SUBMITTING PLANS FOR REVIEW BY THE PUBLIC WORKS UTILITY REVIEW COMMITTEE. THE CONTRACTOR SHALL CONTACT MIKE LUSIAN, GENERAL FOREMAN, LIGHTING - SIGNAL MAINTENANCE, (651-266-9780), IF REMOVAL OR RELOCATION OF EXISTING FACILITIES IS REQUIRED OR IN THE EVENT OF DAMAGE TO THE LIGHTING OR SIGNAL UTILITIES. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY (AND RELATED COSTS) FOR ANY DAMAGE OR RELOCATIONS.
- ACCESS TO SIGNAL CONTROLLER AND LIGHTING CABINETS MUST BE MAINTAINED AT ALL TIMES. IF FENCING IS REQUIRED FOR A JOB SITE, A KEY OR OTHER MEANS OF ACCESS MUST BE PROVIDED TO THE CITY OF ST. PAUL'S TRAFFIC OPERATIONS DEPARTMENT. CONTACT MIKE LUSIAN, SUPERVISOR SIGNALS AND LIGHTING AT 651,266,9780 FOR MORE INFORMATION.
- 10. AN OBSTRUCTION PERMIT MUST BE OBTAINED FROM PUBLIC WORKS (651-266-6151) IF THERE WILL BE ANY EXCAVATION IN CITY R.O.W. OR IF TRUCKS/EQUIPMENT WILL BE DRIVING OVER CURBS OR IF CONSTRUCTION
- 11. CONSTRUCTION MATERIALS AND EQUIPMENT SHALL NOT BE STORED ON THE PUBLIC BOULEVARD. CONSTRUCTION EQUIPMENT AND VEHICLES SHALL NOT BE OPERATED OR PARKED ON TURF BOULEVARDS.
- 12. STRIPING: ROADWAY STRIPING IMPACTED BY THE WORK ZONE SHALL BE REPLACED IN-KIND AT NO COST TO THE CITY. IF THERE ARE QUESTIONS AS TO THE TYPE OF MATERIAL TO BE USED, CONTACT CHRIS GULDEN (651,266,9778) IN THE CITY'S' TRAFFIC OPERATIONS SECTION. STRIPING RESTORATION SHALL BE COMPLETED IMMEDIATELY FOLLOWING FINAL PAVEMENT RESTORATION. IF THERE IS A DESIRE FOR THE CITY OF ST. PAUL PUBLIC WORKS DEPARTMENT TO COMPLETE PAVEMENT MARKING RESTORATION WORK, CONTACT CHRIS GULDEN OF PUBLIC WORKS TRAFFIC OPERATIONS FOR AN ESTIMATE. AT A MINIMUM, TWO WEEK'S ADVANCE NOTICE SHALL BE PROVIDED TO CHRIS GULDEN FOR ANY STRIPING WORK. IF ADVANCE NOTICE IS NOT PROVIDED, ANY ASSOCIATED PROJECT DELAYS, AND COSTS INCURRED RESULTING FROM SAID DELAYS, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 13. THE REMOVAL, PRUNING AND/OR PLANTING OF TREES ON THE PUBLIC BOULEVARD REQUIRES A PERMIT FROM THE CITY FORESTER (651-632-5129).
- 14. ENCROACHMENTS: PER CHAPTER 134 OF THE LEGISLATIVE CODE, NO PERSON SHALL CONSTRUCT AND MAINTAIN ANY PROJECTION OR ENCROACHMENT WITHIN THE PUBLIC RIGHT-OF-WAY, CONSTRUCTION OF THE DEVELOPMENT THAT NECESSITATES TEMPORARY USE OF THE RIGHT-OF-WAY (ROW) FOR CONSTRUCTION PURPOSES SHALL BE LIMITED TO EQUIPMENT, PERSONNEL, DEVICES AND APPURTENANCES THAT ARE REMOVABLE FOLLOWING CONSTRUCTION. ENCROACHMENT PERMITS WILL NOT BE GRANTED FOR DEVICES SUCH AS TIE BACKS, ROCK BOLTS, H-PILES, LAGGING, TIMBERS, SHEET PILING, ETC. THAT THE OWNER IS SEEKING TO ABANDON IN THE ROW. SECTION 3201.3 OF THE MINNESOTA BUILDING CODE DEFERS FINAL AUTHORITY OF ENCROACHMENTS INTO PUBLIC RIGHTS-OF-WAY/PUBLIC PROPERTY TO THE LOCAL AUTHORITY. CITY LEGISLATIVE CODE GOVERNS MANAGEMENT OF THE PUBLIC RIGHTS-OF-WAY. PROVIDED SUCH INSTALLATIONS ARE APPROVED BY PUBLIC WORKS, FOOTINGS MAY BE ALLOWED TO ENCROACH INTO CITY ROW NO MORE THAN TWELVE (12) INCHES AT DEPTHS BELOW EIGHT (8) FEET AS PROVIDED FOR IN MINNESOTA BUILDING CODE SECTION 3202.1. SAID ENCROACHMENTS WOULD REQUIRE AN ENCROACHMENT PERMIT FROM THE CITY PER CHAPTER 134 OF THE LEGISLATIVE CODE. ENCROACHMENTS INSTALLED IN THE ROW WITHOUT AUTHORIZATION WILL BE REMOVED AT NO EXPENSE TO THE
- 15. CONSTRUCTION IN RIGHT OF WAY: ALL WORK ON CURBS, DRIVEWAYS, AND SIDEWALKS WITHIN THE PUBLIC RIGHT OF WAY MUST BE DONE TO CITY STANDARDS AND SPECIFICATIONS BY A LICENSED AND BONDED CONTRACTOR UNDER A PERMIT FROM PUBLIC WORKS SIDEWALK SECTION (651-266-6120). SIDEWALK GRADES MUST BE CARRIED

DEMOLITION NOTES

1. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASE OF THIS PROJECT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGES TO ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASE OF THIS PROJECT.

- 2. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
- 3. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- 4. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTORS PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTORS SAFETY MEASURES IN, OR NEAR THE CONSTRUCTION SITE.
- 5. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO THE MAININE SIDEWALK, CURB, DRIVE ACCESS AND BOULEVARD LANDSCAPING CAUSED DURING THE CONSTRUCTION. CONTRACTOR ADVISED TO DOCUMENT PRE-EXISTING CONDITION OF THE RIGHT OF WAY PRIOR TO COMMENCEMENT OF THE CONSTRUCTION.L
- 6. THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- 7. MINNESOTA STATE STATUTE REQUIRES NOTIFICATION PER "GOPHER STATE ONE CALL" PRIOR TO COMMENCING ANY GRADING, EXCAVATION OR UNDERGROUND WORK.

- 16. RIGHT OF WAY RESTORATION: RESTORATION OF ASPHALT AND CONCRETE PAVEMENTS ARE PERFORMED BY 1. SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, THE PUBLIC WORKS STREET MAINTENANCE DIVISION. THE CONTRACTOR IS RESPONSIBLE FOR PAYMENT TO THE CITY FOR THE COST OF THESE RESTORATIONS. THE CONTRACTOR SHALL CONTACT PUBLIC WORKS STREET MAINTENANCE TO SET UP A WORK ORDER PRIOR TO BEGINNING ANY REMOVALS IN THE STREET AT 651-266-9700. PROCEDURES AND UNIT COSTS ARE FOUND IN STREET MAINTENANCE'S "GENERAL REQUIREMENTS - ALL RESTORATIONS" AND ARE AVAILABLE AT THE PERMIT OFFICE.
- 17. ROADWAY RESTORATION: AS PER THE CITY'S "STANDARD SPECIFICATION FOR STREET OPENINGS" POLICY, RESTORATION ON ROADWAY SURFACES LESS THAN 5 YEARS OLD WILL REQUIRE FULL WIDTH MILL AND OVERLAY OR ADDITIONAL DEGRADATION FEES. DEGRADATION FEES ARE DETERMINED BY CONTACTING THE RIGHT OF WAY SERVICE DESK AT (651) 266-6151. PAVEMENT RESTORATION SHALL BE COMPLETED BY THE ST. PAUL PUBLIC WORKS STREET MAINTENANCE DIVISION. ALL RELATED COSTS ARE THE RESPONSIBILITY OF THE DEVELOPER/CONTRACTOR. CONTACT STREET MAINTENANCE AT (651) 266-9700 FOR ESTIMATE OF COSTS FOR PAVEMENT RESTORATION.
- 18. STREET SWEEPING: STREET SWEEPING IS AN IMPORTANT TEMPORARY EROSION CONTROL BEST MANAGEMENT PRACTICE AND SHALL BE PERFORMED WITH THE USE OF WATER. DRY SWEEPING IS PROHIBITED. ADDITIONALLY, TRUCKS HAULING IN AND OUT OF THE SITE, FOR ANY ACTIVITY INCLUDING BUT NOT NECESSARILY LIMITED TO PAVING, EXCAVATION, ETC., NEEDS TO ENSURE CLEAN OFF ALL MUD FLAPS TO AVOID ANY BUILDUP ON THE STREET PAVEMENT.
- 19. MISCELLANEOUS: ANY INFRASTRUCTURE DAMAGE RESULTING FROM THE CONTRACTORS ACTIVITIES, INCIDENTAL OR OTHERWISE, SHALL BE REPAIRED/REPLACED TO THE SATISFACTION OF THE CITY AT NO COST TO THE CITY.

- 1. ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEET(S) AND STATE/LOCAL JURISDICTION REQUIREMENTS.
- ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA
- STANDARDS AND LOCAL/STATE REQUIREMENTS. 3. ALL CURB DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- 4. ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL UNLESS OTHERWISE NOTED.
- 5. ALL CURB RADII SHALL BE 3.0' UNLESS OTHERWISE NOTED.
- 6. BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.
- 7. SEE SITE ELECTRICAL PLAN FOR SITE LIGHTING.

LANDSCAPE SITE PLANS.

- 8. PLEASE COORDINATE ANY NEEDED SHORT TERM LANE CLOSURES WITH METRO TRANSIT STREET OPERATIONS, GREG TUVESON (612-349-5407 / GREG.TUVESON@METROTRANSIT.ORG)
- 9. MINNESOTA STATE STATUTE REQUIRES NOTIFICATION PER "GOPHER STATE ONE CALL" PRIOR TO
- 10. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL PERMITS FROM THE CITY AS REQUIRED FOR
- ALL WORK WITH THE STREET AND PUBLIC RIGHT OF WAY. 11. A SIGNIFICANT PORTION OF SITE IMPROVEMENTS NOT SHOWN ON THIS SHEET ARE DESCRIBED
- AND PROVIDED IN FURTHER DETAIL ON THE ARCHITECTURAL AND LANDSCAPE PLANS. THIS INCLUDES LANDSCAPING, LIGHTING AND OTHER FIXTURES.

COMMENCING ANY GRADING, EXCAVATION OR UNDERGROUND WORK.

- 12. CONSTRUCTION NOTES: A. PEDESTRIAN RAMPS SHALL BE PROVIDED AT THE LOCATIONS SHOWN AND AS SHOWN PER THE
- B. THE CONTRACTOR SHALL SAW-CUT BITUMINOUS AND CONCRETE PAVEMENTS AS REQUIRED PER THE SPECIFICATIONS. REMOVE EXISTING CURB AND GUTTER AND INSTALL B618 CONCRETE CURB AND GUTTER.
- 13. THE INTENT OF THE PROPOSED CONSTRUCTION IS TO PRESERVE AS MUCH OF THE EXISTING STREET PAVEMENT AS POSSIBLE, AND TO MILL AND OVERLAY. REMOVED PAVEMENT AREAS AND PATCHING SHALL BE INSTALLED PER PAVEMENT SECTION PROVIDED PER DETAIL SHEET.
- 14. CONTRACTOR TO MAINTAIN ACCESS TO THE FIRE DEPARTMENT CONNECTION FOR FIRE DEPARTMENT PERSONNEL AT ALL TIMES DURING THE CONSTRUCTION PERIOD.

GRADING, DRAINAGE & EROSION CONTROL NOTES **EXECUTION** UTILITY PLAN NOTES

- OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.16 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SUMPED ELEVATIONS.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF TOP SOIL AND SEED/MULCH OR SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED.
- 4. FOR SITE RETAINING WALLS "TW" EQUALS SURFACE GRADE AT TOP FACE OF WALL (NOT TOP OF WALL), "GW" EQUALS SURFACE GRADE AT BOTTOM FACE OF WALL (NOT BOTTOM OF BURIED WALL COURSES).
- 5. STREETS MUST BE CLEANED AND SWEPT WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
- 6. DUST MUST BE ADEQUATELY CONTROLLED.
- 7. SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS
- 8. SEE UTILITY PLANS FOR WATER, STORM AND SANITARY SEWER INFORMATION.
- 10. SEE LANDSCAPE PLAN FOR FINAL SITE STABILIZATION.

9. SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.

CITY OF ST. PAUL PERMIT REQUIREMENTS

- 1. ORDERING OBSTRUCTION AND EXCAVATION PERMITS: CONTACT PUBLIC WORKS RIGHT OF WAY SERVICE DESK AT (651) 266-6151. IT IS STRONGLY RECOMMENDED THAT CONTRACTORS CALL FOR COST ESTIMATES PRIOR TO BIDDING TO OBTAIN ACCURATE COST ESTIMATES.
- 2. OBSTRUCTION PERMITS: THE CONTRACTOR MUST OBTAIN AN OBSTRUCTION PERMIT IF CONSTRUCTION (INCLUDING SILT FENCES) WILL BLOCK CITY STREETS, SIDEWALKS OR ALLEYS, OR IF DRIVING OVER CURBS.
- 3. EXCAVATION PERMITS: ALL DIGGING IN THE PUBLIC RIGHT OF WAY REQUIRES AN EXCAVATION PERMIT. IF THE PROPOSED BUILDING IS CLOSE TO THE RIGHT OF WAY, AND EXCAVATING INTO THE RIGHT OF WAY IS NEEDED TO FACILITATE CONSTRUCTION, CONTACT THE UTILITY INSPECTOR.
- 4. FAILURE TO SECURE PERMITS: FAILURE TO SECURE OBSTRUCTION PERMITS OR EXCAVATION PERMITS WILL RESULT IN A DOUBLE-PERMIT FEE AND OTHER FEES REQUIRED UNDER CITY OF ST. PAUL LEGISLATIVE CODES.
- WORKING IN THE PUBLIC RIGHT OF WAY MUST TO BE REGISTERED, INSURED AND BONDED, AS RECOGNIZED BY THE PUBLIC WORKS SERVICE DESK. (651-266-6151) 6. SEWER REPAIR PERMIT: PLUMBING CONTRACTOR TO OBTAIN "REPAIR PERMITS" FROM PUBLIC

REQUIREMENTS TO WORK IN THE PUBLIC RIGHT OF WAY: ALL UTILITIES AND CONTRACTORS

- WORKS FOR PROPOSED MODIFICATION TO THE EXISTING STORM SEWER CONNECTIONS. CALL ST PAUL PW PERMIT DESK (651-266-6234) FOR INFORMATION ON OBTAINING THIS PERMIT. 7. SEWER REMOVAL/ABANDONMENT PERMIT: PLUMBING CONTRACTOR TO OBTAIN "REMOVAL
- PERMITS" FROM PUBLIC WORKS TO CUT OFF EXISTING SEWER CONNECTIONS SERVICES TO THE PROPERTY. CALL ST PAUL PW PERMIT DESK (651-266-6234) FOR INFORMATION ON OBTAINING THIS PERMIT.
- 8. SEWER CONNECTION PERMIT: LICENSE HOUSE DRAIN CONTRACTOR TO OBTAIN (SEWER CONNECTION PERMIT) TO CONSTRUCT NEW SANITARY AND STORM CONNECTION IN STREET FROM MAIN TO THE PROPERTY. CALL ST PAUL PW PERMIT DESK (651-266-6234) FOR INFORMATION ON OBTAINING THIS PERMIT.

CITY OF ST. PAUL FORESTRY NOTES

- 1. THE REMOVAL, PRUNING, AND/OR PLANTING OF TREES ON THE PUBLIC BOULEVARD REQUIRES AN APPROVED PERMIT FROM THE CITY FORESTER (651-632-2437). ANY WORK MUST BE COMPLETED BY A LICENSED TREE CONTRACTOR.
- 2. CONSTRUCTION SUPPLIES, MATERIALS, SPOILS, EQUIPMENT, AND VEHICLES SHALL NOT BE STORED OR OPERATED WITHIN THE DRIP LINE OF ANY PUBLIC STREET TREE OR ON TURF BOULEVARDS WITHOUT PRIOR WRITTEN APPROVAL FROM THE CITY FORESTER, IF THE BOULEVARD MUST BE USED FOR CONSTRUCTION ACTIVITIES, SITE ACCESS ROUTES, MATERIAL STORAGE OR OTHER RELATED ACTIVITIES, PROTECTIVE MEASURES APPROVED BY THE CITY FORESTER SHALL BE TAKEN TO REDUCE SOIL COMPACTION AND PROTECT TREE(S) FROM
- 3. STREET TREES SHALL BE PROTECTED BY ESTABLISHING A TREE PROTECTION ZONE USING 4' TALL FENCING INSTALLED AT THE DRIP LINE OF THE TREE. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE WORK AND MAINTAINED FOR THE DURATION OF THE PROJECT. PROPOSED WORK WITHIN, OR CHANGES TO THE LOCATION OF TREE PROTECTION FENCING SHALL BE REVIEWED BY THE CITY FORESTER PRIOR TO ALTERATION.
- 4. THE LOCATION OF TREE PROTECTION FENCES SHALL BE SHOWN ON THE PLAN.
- 5. A TREE PROTECTION FENCE DETAIL SHALL BE INCLUDED IN THE PLAN SET (SEE ATTACHED).
- 6. CONTRACTOR SHALL CONTACT THE CITY FORESTER (651-632-2437), PRIOR TO DEMOLITION OR OTHER LAND DISTURBANCE ASSOCIATED WITH SITE CONSTRUCTION, TO VERIFY TREE PROTECTION MEASURES.
- 7. TREE PLANTING DETAILS SHALL INCLUDE THE FOLLOWING:

TRENCHES WILL NEED TO BE PROVIDED TO CITY FORESTER.

- 8. EXPOSE ROOT FLARE AND SET AT GRADE.
- 9. REMOVE BURLAP AND ROPES FROM TOP 1/3RD OF ROOT BALL, CUT WIRE BASKET DOWN TO SECOND HORIZONTAL WIRE FROM THE BOTTOM, AND DISPOSE OF OFF-SITE.
- 10. CONTRACTOR IS RESPONSIBLE TO MAINTAIN TREES IN A PLUMB POSITION THROUGHOUT THE
- 11. AN AS-BUILT SHEET SHOWING THE LOCATION AND FINAL CONSTRUCTION DETAIL OF THE TREE
- 12. WHERE DRIVEWAYS, SIDEWALKS OR OTHER SURFACE PAVING ARE REMOVED, ALL CONCRETE, ASPHALT, AND BASE MATERIALS SHALL BE REMOVED.
- 13. BOULEVARD SOILS ARE TO BE PROTECTED DURING CONSTRUCTION. SOIL COMPACTION DUT TO CONSTRUCTION ACTIVITIES SHALL BE MITIGATED AND SUBSOILS LOOSENED PRIOR TO FINAL
- 14. BOULEVARDS SHALL BE RESTORED WITH A MINIMUM OF 6" OF TOPSOIL

- 1. ALL SANITARY SEWER, STORM SEWER AND WATERMAIN UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REOUIREMENTS OF THE SPECIFICATIONS, THE CITY AND THE STANDARD UTILITIES SPECIFICATION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), 1999 EDITION.
- 2. SEE DETAIL SHEET AND THE CONTRACT SPECIFICATIONS FOR SPECIFIC UTILITY DETAILS.
- 3. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. THE CITY DEPARTMENT OF ENGINEERING AND BUILDING INSPECTIONS DEPARTMENT AND THE CONSTRUCTION ENGINEER MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, OR WORK IMPACTING PUBLIC UTILITIES.
- 4. THE CONTRACTOR SHALL NOTIFY GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION OR UNDERGROUND WORK.
- 5. THE CONTRACTOR SHALL FIELD ADJUST WATERMAIN TO AVOID CONFLICTS WITH SANITARY SEWER, STORM SEWER, AND SERVICES AS REQUIRED.
- 6. ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. ALL TRAFFIC CONTROL SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE ALL SIGNAGE, BARRICADES, FLASHERS AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL BE OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT THE EXPRESSED AUTHORITY OF
- 7. ALL UTILITY PIPE BEDDING SHALL BE COMPACTED SAND OR FINE GRANULAR MATERIAL PER THE REQUIREMENTS OF THE CITY. ALL COMPACTION SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CEAM SPECIFICATION.
- 8. ADJUST ALL EXISTING STRUCTURES, BOTH PUBLIC AND PRIVATE TO THE PROPOSED GRADES WHERE DISTURBED AND COMPLY WITH ALL REQUIREMENTS OF THE UTILITY OWNERS. STRUCTURES BEING RESET TO PAVED AREAS MUST MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
- BUILDING FOUNDATION TO BE FLOOD PROOFED.
- 10. PIPES WITHIN TREE TRENCHES MUST HAVE TRACE WIRE.
- 11. CONTACT SAINT PAUL REGIONAL WATER SERVICES (SPRWS) FOR QUESTIONS, PERMITS, FEES, INSPECTIONS, SPECIFICATIONS, PLANS, OR INFORMATION THAT MAY BE REQUIRED FOR THE WATER SERVICE AND/OR THE WATER
- 12. SANITARY AND/OR STORM SEWER SERVICE PASSING WITHIN 10 FEET OF THE BUILDING ARE GOVERNED BY THE MN PLUMBING CODE. SPECIFICATION FOR PIPE MATERIAL SELECTION AND NOTES FOR REQUIRED AIR TEST OF THE PIPING, COMPLIANT WITH MN STATE PLUMBING CODE 4714 SECTION 1109.0, MUST BE SHOWN ON THE PLAN. THIS SYSTEM MUST BE REVIEWED AND APPROVED BY RICK JACOBS, SENIOR PLUMBING INSPECTOR (651-266-9051) TO ENSURE THAT IT MEETS PLUMBING CODE STANDARDS.
- 13. CONTACT THE CITY OF SAINT PAUL DEPARTMENT OF PUBLIC WORKS SEWER DIVISION FOR QUESTIONS, PERMITS, FEES, INSPECTIONS, SPECIFICATIONS, PLANS, OR INFORMATION THAT MAY BE REQUIRED FOR SEWER AND STORM PIPING WORK PERFORMED OUTSIDE THE BUILDING, INCLUDING RETENTION SYSTEMS LOCATED OUTSIDE THE
- 14. ALL PRIMARY ROOF DRAINS SHALL BE CONNECTED TO THE STORM SEWER. MPC 4714.1101.1.
- 15. SECONDARY ROOF DRAINAGE SHALL DRAIN TO AN APPROVED PLACE OF DISPOSAL IN THE FORM OF SECONDARY ROOF DRAINS AND INSTALLED PER MPC 4714.1101 & 1102, AND MINNESOTA STATE BUILDING CODE 1503.4 1-5. SECONDARY ROOF DRAINAGE MUST DISCHARGE ONTO PERMEABLE SOILS AND CANNOT DRAIN ONTO THE SIDEWALK OR HARD SURFACE. MPC 4714.1101.1. MINNESOTA HAS SPECIFIC REQUIREMENTS TO ADDRESS seasonal conditions of freeze and thaw when the discharge from roof drains could creati UNSAFE OR ICY CONDITIONS ON SIDEWALKS. IT IS SUGGESTED THAT A PROPER POINT OF DISCHARGE THAT CAN BE APPROVED BY THE AUTHORITY HAVING JURISDICTION FOR SECONDARY ROOF DRAINAGE IS IN THE FORM OF SECONDARY ROOF DRAINS PIPED INTERNALLY, DOWN TO WITHIN 18 INCHES OF GRADE, THROUGH THE OUTSIDE WALL. ONTO A SPLASH BLOCK INSTALLED PER MPC 1101.5.3, AND LAID OVER PERMEABLE SOILS OF AN ADEQUATE AMOUNT WHERE SATURATION OF THE SOIL WILL NOT OCCUR.

	AMOUNT WHERE SATURATION OF THE SOIL WILL NOT OCCUR.		
16.	PROPOSED PIPE MATERIALS: STORM SEWER STORM SEWER	ALUMINZED CMP PVC SCH 40, CMP & RCP	48" DIAMETER 12" DIAMETER
	WATER SERVICE	DIP CLASS 53 DIPE CLASS 52	4"-6" DIAMETER 8" DIAMETER

- 17. IF PIPE INSTALLED HAS LESS THAN 2% SLOPE, LASER EQUIPMENT IS REQUIRED.
- 18. CONTRACTOR TO MAINTAIN ACCESS TO THE FIRE DEPARTMENT CONNECTION FOR FIRE DEPARTMENT PERSONNEL AT ALL TIMES DURING THE CONSTRUCTION PERIOD.

8" DIAMETER

ST. PAUL REGIONAL WATER SERVICE NOTES

OF WATER MAINS."

SANITARY SERVICE PVC SDR 26

- 1. ALL WATER MAIN CONNECTIONS TO BE INSTALLED BY SAINT PAUL REGIONAL WATER SERVICES.
- 2. ALL PIPE WORK INSIDE OF PROPERTY TO BE PERFORMED BY A PLUMBER LICENSED BY THE STATE OF MINNESOTA AND CERTIFIED BY THE CITY OF SAINT PAUL. SPRWS REQUIRES SEPARATE OUTSIDE AND INSIDE PLUMBING PERMITS FOR EACH NEW WATER SERVICE.
- 3. MAINTAIN 3 FEET VERTICAL SEPARATION BETWEEN WATER AND SEWER PIPES OR A 12 INCH SEPARATION WITH 4 INCH HIGH DENSITY INSULATION PER SPRWS STANDARD PLATE D-10 FOR TYPICAL WATER MAIN OFFSETS.
- 4. APPLICATION, PAYMENT FOR NEW WATER SERVICE CONNECTION, BILLING INFORMATION AND PROJECT DATA SHEET TO BE PROVIDED TO SPRWS BEFORE CONSTRUCTION OF NEW WATER SERVICE CONNECTION.
- 5. WATER SERVICES TO BE INSTALLED ACCORDING TO SPRWS "STANDARDS FOR THE INSTALLATION
- 6. A FOUR-SIDED TRENCH BOX IS REQUIRED ON ALL EXCAVATIONS DEEPER THAN 5 FEET WHERE UNDERGROUND WORK OR INSPECTION IS TO BE PERFORMED BY SPRWS. FOR ALL WET TAPS TO BE PERFORMED BY SPRWS, A MINIMUM TRENCH BOX SIZE OF 8 FEET HIGH X 8 FEET WIDE X 10 FEET LONG IS REQUIRED. LADDERS ARE REQUIRED AND MUST EXTEND 3 FEET ABOVE THE SURFACE OF THE TRENCH. SIDEWALKS, PAVEMENTS, DUCTS AND APPURTENANT STRUCTURES SHALL NOT BE UNDERMINED UNLESS A SUPPORT SYSTEM OR ANOTHER METHOD OF PROTECTION IS PROVIDED. TRENCHES IN EXCESS OF 20 FEET IN DEPTH MUST BE SIGNED OFF BY A REGISTERED PROFESSIONAL ENGINEER. EXCAVATED MATERIAL MUST BE KEPT A MINIMUM OF 2 FEET FROM THE EDGE OF THE
- 7. MAINTAIN 8 FEET OF COVER OVER ALL WATER MAINS AND SERVICES.
- 8. PIPE MATERIAL FOR 8" DUCTILE IRON PIPE MUST BE CLASS 52, PIPE MATERIAL FOR 6" AND 4" DUCTILE IRON PIPE MUST BE CLASS 53. THE EXTERIOR OF DUCTILE IRON PIPE SHALL BE COATED WITH A LAYER OF ARC-SPRAYED ZINC PER ISO 8179. THE INTERIOR CEMENT MORTAR LINING SHALL BE APPLIED WITHOUT ASPHALT SEAL COAT.
- 9. PIPE MUST BE WRAPPED IN V-BIO POLYWRAP ENCASEMENT.
- 10. REFER TO SPRWS "STANDARDS FOR THE INSTALLATION OF WATER MAINS" STANDARD PLATE D-11 FOR RESTRAINED PIPE REQUIREMENT.
- 11. ALL WATER SERVICE VALVE BOXES WITHIN CONSTRUCTION AREA MUST BE EXPOSED AND BROUGHT TO GRADE UPON COMPLETION OF CONSTRUCTION.

12. ALL UNUSED EXISTING WATER SERVICES TO BE CUT OFF BY SPRWS. EXCAVATION AND

- RESTORATION BY OWNER'S CONTRACTOR. NEW WATER SERVICES WILL NOT BE TURNED ONUNTIL REQUIRED CUTOFFS HAVE BEEN REMOVED. 13. WATER FACILITY PIPEWORK WITHIN RIGHT OF WAY TO BE INSTALLED BY SPRWS. EXCAVATION
- AND RESTORATION BY OWNER'S CONTRACTOR. NEW WATER SERVICES WILL NOT BE TURNED ON UNTIL REQUIRED CUTOFFS HAVE BEEN PERFORMED.
- 14. THE CONTRACTOR PROVIDING EXCAVATION IS RESPONSIBLE FOR OBTAINING ALL EXCAVATION AND OBSTRUCTION PERMITS REQUIRED BY ANY GOVERNING AUTHORITY.
- 15. CONTRACTOR TO COORDINATE WITH SPRWS FOR WATER MAIN SHUTDOWNS. 16. CONTRACTOR WILL NOTIFY CUSTOMERS FOR NECESSARY SHUTDOWNS.
- 17. SERVICE CONNECTIONS SHALL BE INSTALLED WITH 8 FEET OF COVER AS PER ESTABLISHED GRADE FROM THE MAIN TO THE PROPERTY LINE OR, IF APPLICABLE, TO THE UTILITY EASEMENT LINE. WHEN SOLID ROCK CONDITIONS ARE ENCOUNTERED WATER SERVICES MAY BE INSTALLED WITH 6.5 FEET OF COVER, AT THIS DEPTH. THE NEED FOR INSULATION WILL BE DETERMINED BY SPRWS
- 18. ALL PIPE 2" AND SMALLER MUST BE TYPE K COPPER. ALL PIPE 4" AND LARGER MUST BE DUCTILE

LEXINGTO

CIVIL ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE ENVIRONMENTAL 7200 Hemlock Lane, Suite 300

Maple Grove, MN 55369

763.424.5505

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12/10/20

CADD QUALIFICATION

SUBMITTAL/REVISIONS

CITY SUBMITTAL

CITY SUBMITTAL

laws of the State of Minnesota

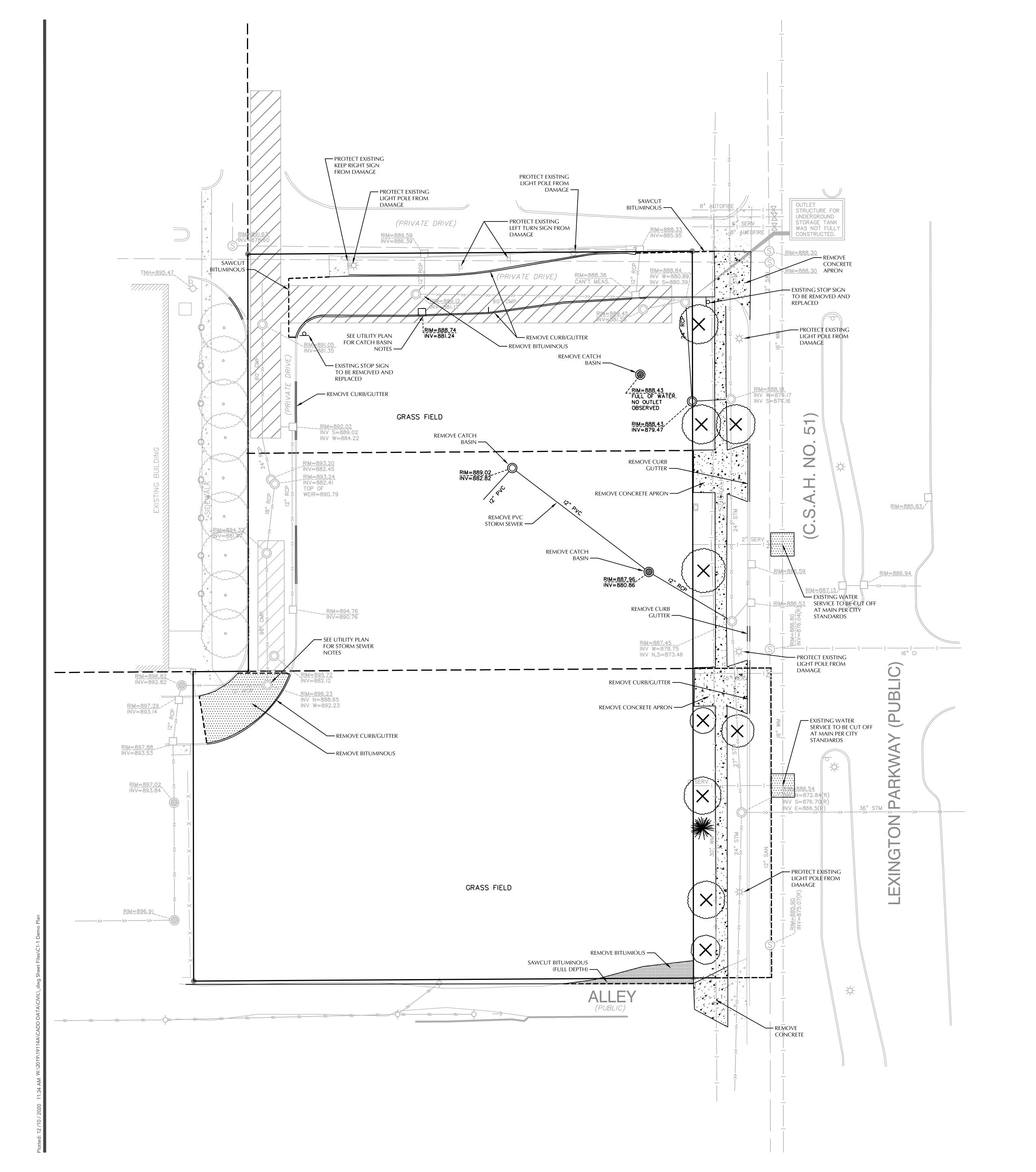
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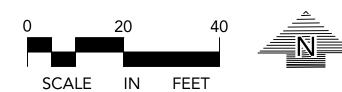
LANDSCAPE PLAN

LANDSCAPE NOTES

PJ Disch - PE

CIVIL NOTES





SURVEY LEGEND

AS	ASH		CATCH BAS
EL	ELM	\bigcirc	STORM MA
LO	LOCUST	\bigcirc	SANITARY
SP	SPRUCE	\Diamond	HYDRANT
THSD	ELEV @ THRESHOLD	\bowtie	GATE VALV
TC	TOP OF CURB	Ø	POWER PC
CC	CURB CUT	Þ	LIGHT POL
TW	TOP OF WALL	\leftarrow	GUY WIRE

BW BOTTOM OF WALL

972.5 SPOT ELEVATION

 \leftarrow GUY WIRE

⊸ SIGN E ELECTRIC TRANSFORMER () PER MAP / RECORD RD. ROOF DRAIN

EO ELECTRIC OUTLET FIRE CONNECTION ⊙ GUARD POST

FLAG POLE

o o GUARDRAIL ===== CONCRETE CURB CONCRETE _872 CONTOUR

-----> ----- SANITARY SEWER

----- ELE ----- UNDERGROUND ELECTRIC

----- GAS------ UNDERGROUND GAS

---- OH ---- OVERHEAD UTILITY

----- I ------ WATERMAIN

CONIFEROUS TREE DECIDUOUS TREE ———△—— RESTRICTED ACCESS

DEMOLITION LEGEND: ■

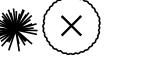
REMOVE EXISTING BITUMINOUS PAVING

REMOVE EXISTING CONCRETE PAVING, SIDEWALKS, ETC.



_____ REMOVE EXISTING CURB & GUTTER, RETAINING WALLS, FENCE, ETC.

REMOVE EXISTING TREES



DEMO NOTES SEE SHEET CO-1 FOR NOTES.

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CADD QUALIFICATION

LEXINGTON

APARTMENTS

CIVIL ENGINEERING

LANDSCAPE ARCHITECTURE

7200 Hemlock Lane, Suite 300

Maple Grove, MN 55369

LAND SURVEYING

ENVIRONMENTAL

763.424.5505 www.loucksinc.com

CITY SUBMITTAL CITY SUBMITTAL 12/10/20

PROFESSIONAL SIGNATURE I hereby certify that this plan, specification or report was

prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the

laws of the State of Minnesota.

L1-2

License No. QUALITY CONTROL Loucks Project No. PJD Project Lead DDL Drawn By PJD Checked By 12/10/20 **Review Date** SHEET INDEX CIVIL NOTES C1-1 DEMO SHEET C2-1 SITE PLAN C3-1 GRADING PLAN C3-3 SWPPP NOTES UTILITY PLAN CIVIL DETAILS

LANDSCAPE PLAN LANDSCAPE NOTES

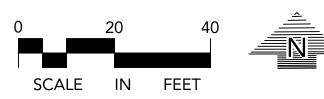


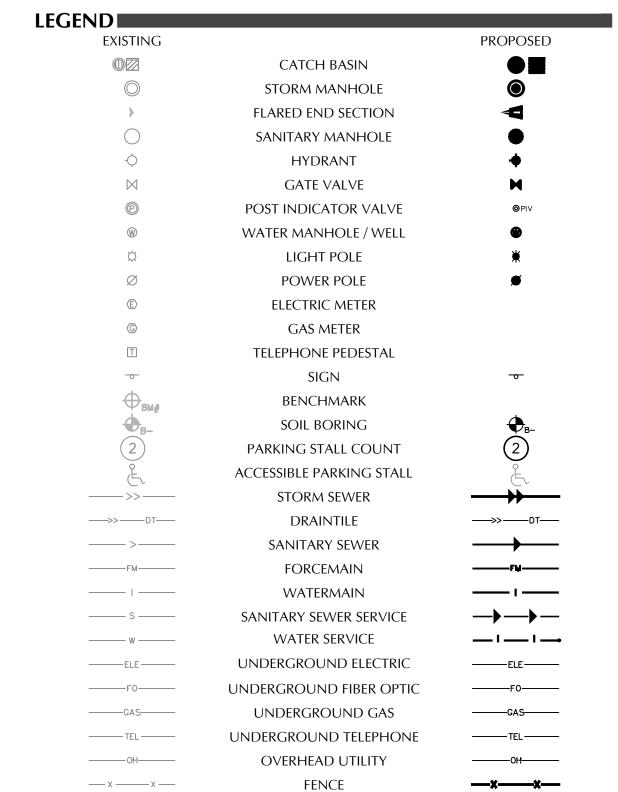
TWIN CITY AREA: 651-454-0002 TOLL FREE: 1-800-252-1166

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

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DEMOLITION





CHAIN LINK FENCE

CONCRETE CURB

RETAINING WALL

CONCRETE

NO PARKING

BUILDING

CONTOUR

SPOT ELEVATION

DIRECTION OF FLOW

TREE LINE

PARKING SETBACK LINE

BUILDING SETBACK LINE

972

₹1.0%

 $\sim\sim\sim$

-----PSBL-----

----BSBL----

 $\times^{972.5}$

APARTMENTS

St. Paul, MN

ALATUS

80 S. 8th Street, Suite 4155
Minneapolis, MN 55402

LOUCKS

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Maple Grove, MN 55369
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LEXINGTON

PAVEMENT LEGEND ■

__0___0__

P P P P P P P P

/////

_972

1.0%

 $\cdots \cdots$

× 972.5

	DENOTES LIGHT DUTY BITUMINOUS PAVEMENT
//// ////	DENOTES HEAVY DUTY BITUMINOUS PAVEMENT
4 4 A	DENOTES CONCRETE PAVEMENT
	DENOTES CONCRETE PAVEMENT

SITE DAT

CURR	ENT ZONING:	T4 TRADITIO	DNAL NEIGHB	BORHOOD
PROPI	ERTY AREA:		2.047 AC	
DISTU	RBED AREA:		2.20± AC	
EXISTI	NG IMPERVIOUS	AREA:	0.272 AC (13.	3%)
PROP	OSED IMPERVIOU	JS AREA:	1.786 AC (87.2	2%)

TOTAL PARKING: SEE ARCHITECTUREAL PLANS FOR PARKING INFORMATION

SEE SHEET CO-1 FOR NOTES.

CADD files prepared by the Cinstruments of the Consultant prowith respect to this project. Thes on other projects, for additions to of this project by others with Consultant. With the Consultant permitted to obtain copies of information and reference only. revisions, additions, or deletions made at the full risk of that party or deletions and that party shall h Consultant from any & all responsi	ofessional services for use solely to CADD files shall not be used to this project, or for completion to the written approval by the nt's approval, others may be the CADD drawing files for All intentional or unintentional to these CADD files shall be making such revisions, additions told harmless and indemnify the
SUBMI	TTAL/REVISIONS
	CITY SUBMITTAL CITY SUBMITTAL

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PJ Disch - PE	4993
QUALIT	Y CONTROL
t No.	19114, PJI DD PJI 12/10/2
S	HEET INDEX
G S LAN	CIVIL NOTE DEMO SHEE SITE PLAN RADING PLAN SWPP SWPPP NOTE UTILITY PLAN CIVIL DETAIL DSCAPE NOTE
	QUALIT t No.



DURING CONSTRUCTION AT NO COST TO THE OWNER.

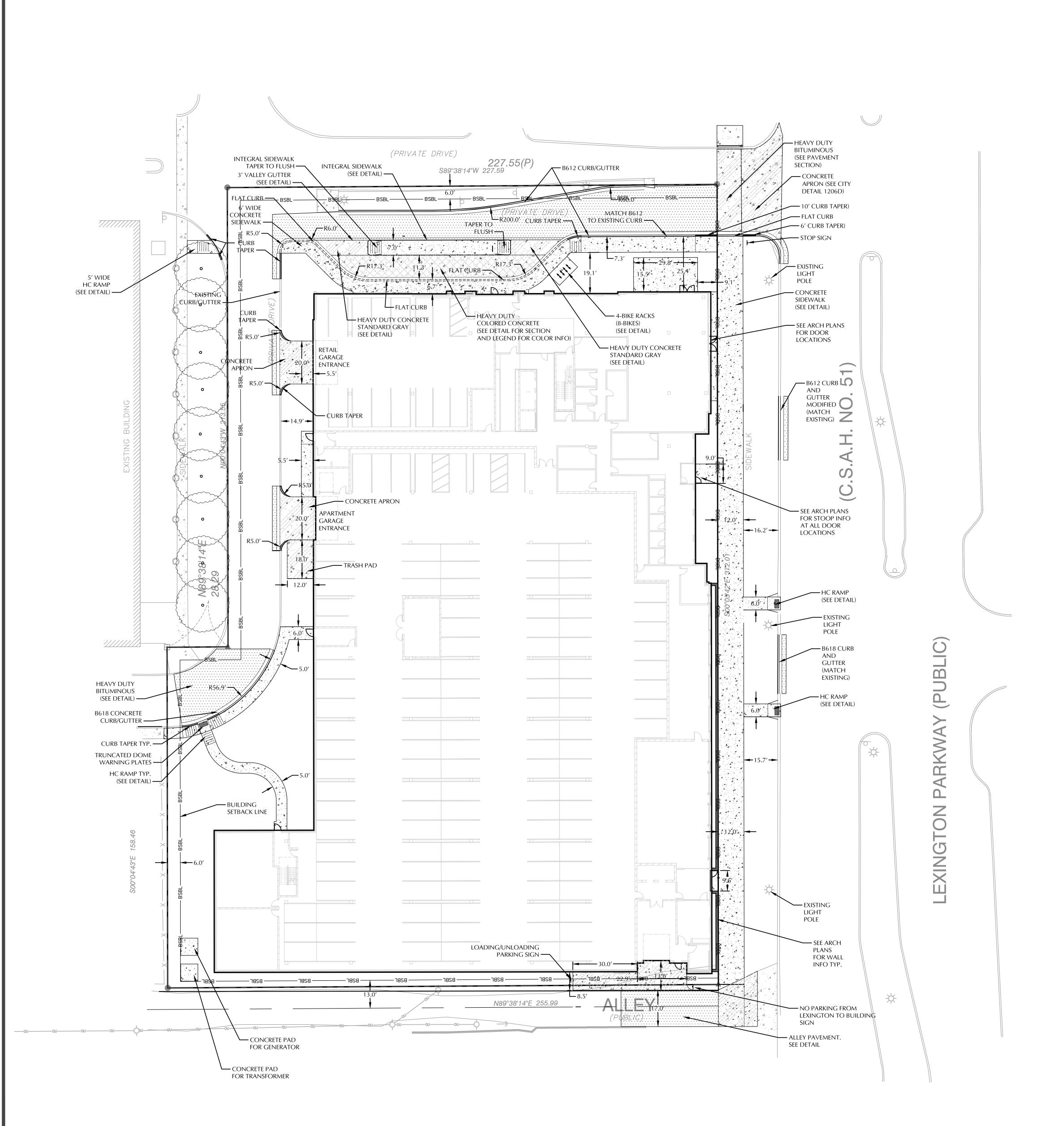
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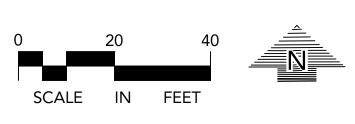
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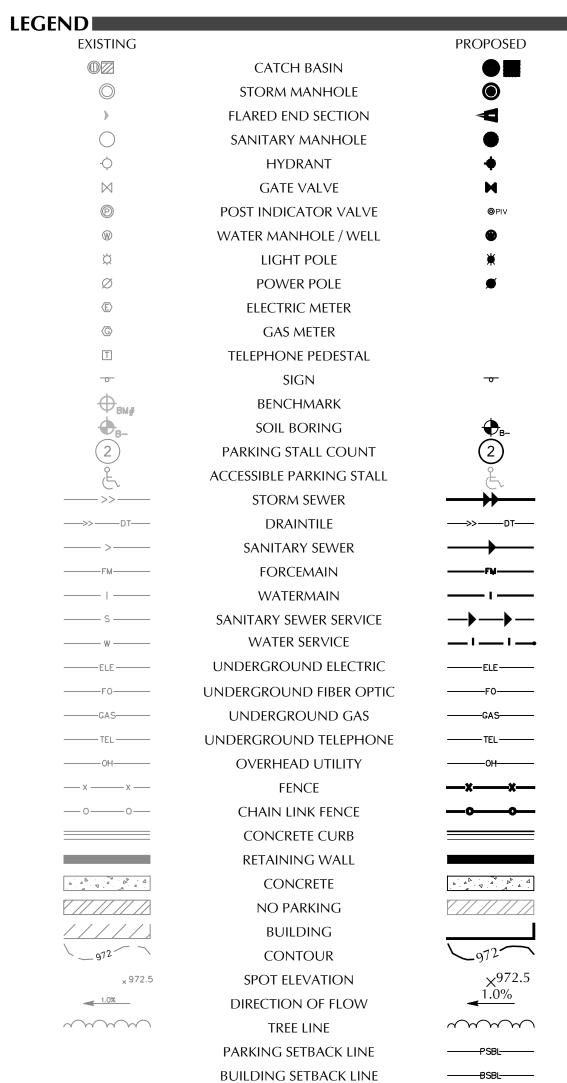


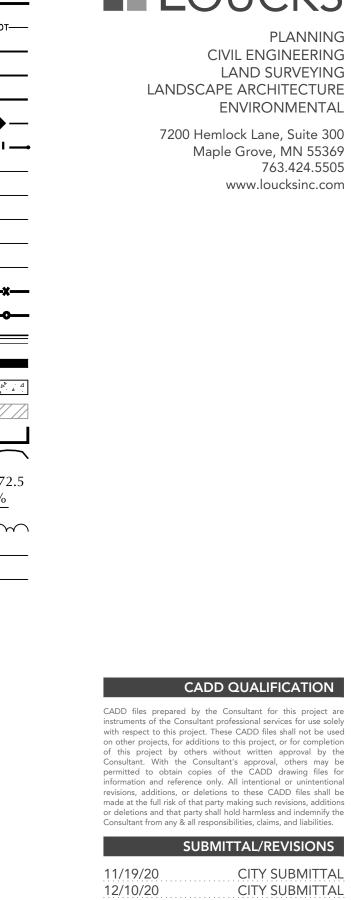




GRADING NOTES

SEE SHEET CO-1 FOR NOTES.





LEXINGTON

APARTMENTS

PROFESSIO	NAL SIGNATURE
I hereby certify that this plan, prepared by me or under my I am a duly Licensed Profes laws of the State of Minnesot	direct supervision and that sional Engineer under the
PJ Disci License No. Date	h - PE 49933
QU	ALITY CONTROL
Loucks Project No. Project Lead Drawn By Checked By Review Date	19114A PJD DDL PJD 12/10/20
	SHEET INDEX
C0-1 C1-1 C2-1 C3-1 C3-2	DEMO SHEET SITE PLAN GRADING PLAN
C3-3	SWPPP NOTES

C8-1

UTILITY PLAN

CIVIL DETAILS LANDSCAPE PLAN LANDSCAPE NOTES

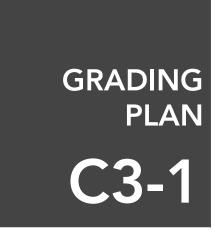


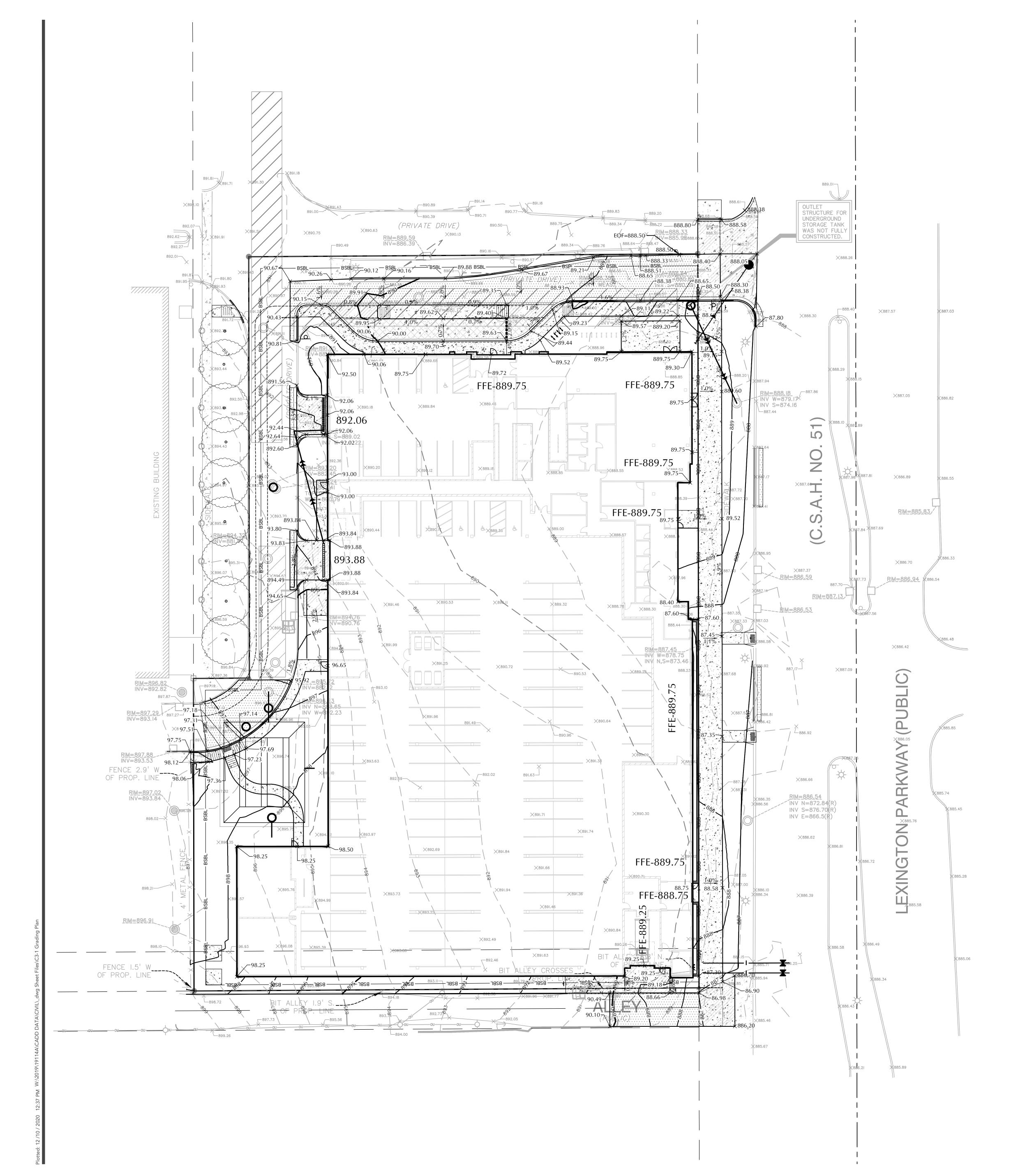
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763.424.5505

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WATER MANHOLE / WELL LIGHT POLE **POWER POLE** ELECTRIC METER **GAS METER** TELEPHONE PEDESTAL SIGN BENCHMARK SOIL BORING PARKING STALL COUNT ACCESSIBLE PARKING STALL STORM SEWER ----->>-----DRAINTILE ---->>------DT--------->>-----DT---- \longrightarrow ----->-----Sanitary Sewer FORCEMAIN ----FM-----WATERMAIN _____ | ____ **-----**SANITARY SEWER SERVICE _____ S ____ WATER SERVICE **—** | **—** | **→** ------ W ------UNDERGROUND ELECTRIC -----ELE-----——ELE—— UNDERGROUND FIBER OPTIC -----F0----underground gas -----GAS-----UNDERGROUND TELEPHONE _____TEL____ OVERHEAD UTILITY FENCE ___ x ____ x ___ CHAIN LINK FENCE __0___0__ CONCRETE CURB **RETAINING WALL** P P P P P P P P CONCRETE NO PARKING ///// BUILDING 972 _972 CONTOUR $\times^{972.5}$ SPOT ELEVATION × 972.5 **₹**1.0% 1.0% DIRECTION OF FLOW $\cdots \cdots$ $\sim\sim\sim$ TREE LINE PARKING SETBACK LINE -----PSBL-----BUILDING SETBACK LINE ----BSBL----CADD QUALIFICATION

PROPOSED

EXISTING

CATCH BASIN

STORM MANHOLE FLARED END SECTION SANITARY MANHOLE HYDRANT GATE VALVE POST INDICATOR VALVE

 \mathbb{Q}

SWPPP LEGEND

SILT FENCE

■■■■■■ BIO-ROLL

INLET PROTECTION

EROSION CONTROL BLANKET

ROCK CONSTRUCTION

ENTRANCE

SCALE IN FEET

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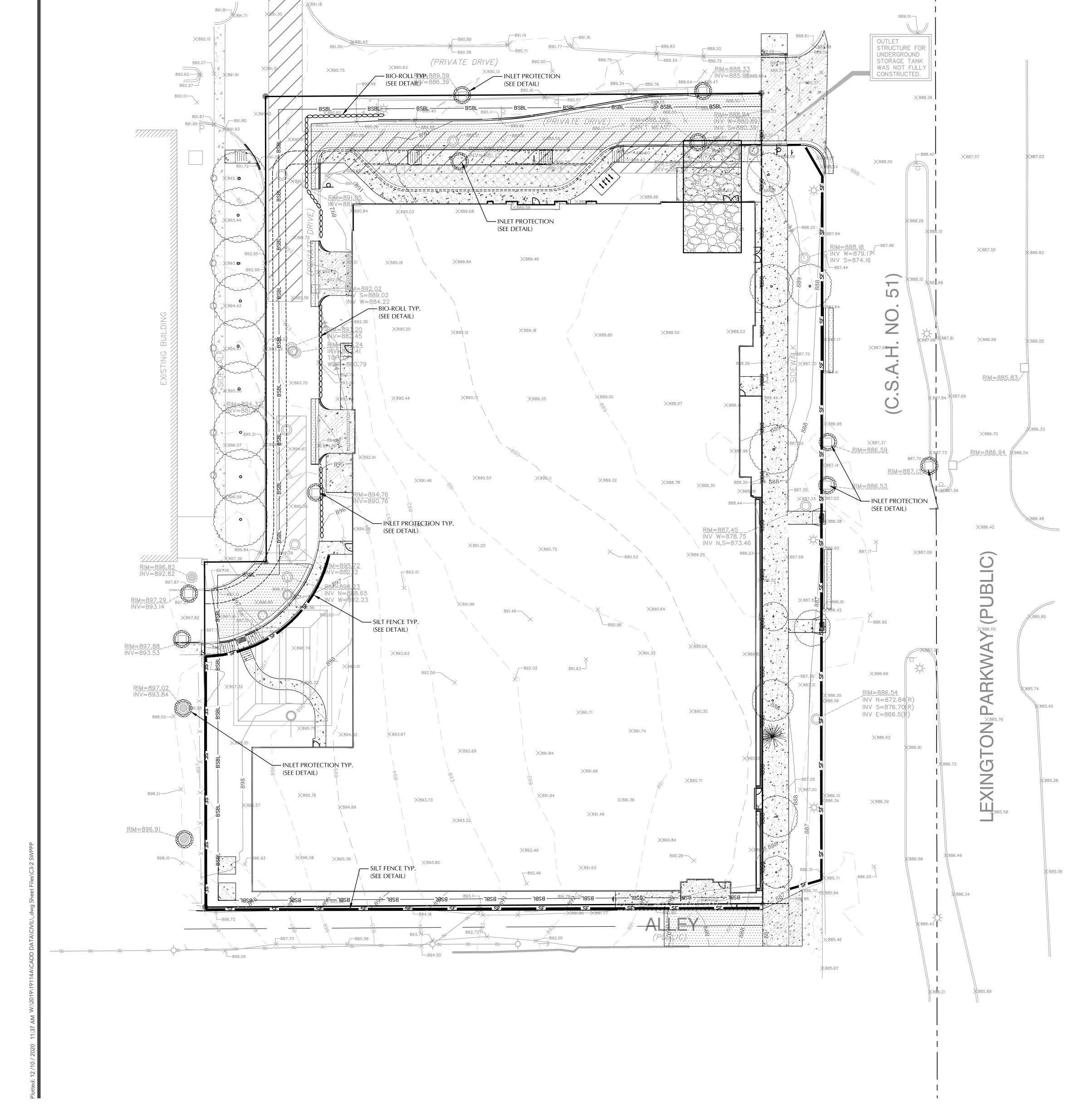
> I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

License No. Loucks Project No. PJD Project Lead DDL Drawn By PJD Checked By 12/10/20 **Review Date** SHEET INDEX CIVIL NOTES DEMO SHEET SITE PLAN GRADING PLAN SWPPP NOTES UTILITY PLAN CIVIL DETAILS LANDSCAPE PLAN LANDSCAPE NOTES



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DURING CONSTRUCTION AT NO COST TO THE OWNER.

SWPPP

SWPPP NOTES

- THE NATURE OF THIS PROJECT WILL CONSIST OF CONSTRUCTING AN APARTMENT BUILDING, SURFACE PAVEMENTS, AND UTILITIES.
- THE INTENDED SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES ARE AS FOLLOWS:
- 1. INSTALL VEHICLE TRACKING BMP
- 2. INSTALL PERIMETER EROSION CONTROL AROUND SITE
- CLEAR AND GRUB SITE
 STRIP AND STOCKPILE TOPSOIL
- 5. REMOVE PAVEMENTS AND UTILITIES
 6. CONSTRUCT STORMWATER MANAGEMENT FACILITY/FACILITIES
- ROUGH GRADE SITE
- IMPORT CLEAN FILL FOR REPLACEMENT AND BALANCE
- 9. INSTALL UTILITIES
- 10. INSTALL BUILDING FOUNDATIONS
- 11. INSTALL CURB AND GUTTER12. INSTALL PAVEMENTS AND WALKS
- 13. INSTALL MINOR UTILITIES
- 14. FINAL GRADE SITE
- 15. REMOVE ACCUMULATED SEDIMENT FROM STORMWATER SYSTEMS16. SEED AND MULCH
- 17. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVAL.
- SITE DATA:

 AREA OF DISTURBANCE: ±XXX AC
- PRE-CONSTRUCTION IMPERVIOUS AREA: ±XXX AC
 POST-CONSTRUCTION IMPERVIOUS AREA: ±XXX AC
- GENERAL SOIL TYPE: SEE GEOTECHNICAL EVALUATION REPORT

STOCK PILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES.

- 4. THE LOCATION OF AREAS NOT TO BE DISTURBED MUST BE IDENTIFIED WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC. BEFORE CONSTRUCTION BEGINS.
- ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN (7) SHALL BE STABILIZED BY SEEDING OR SODDING (ONLY AVAILABLE PRIOR TO SEPTEMBER 15) OR BY MULCHING OR COVERING OR OTHER EQUIVALENT CONTROL MEASURE.
- 6. ON SLOPES 3:1 OR GREATER MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES, SLOPE LENGTHS CAN NOT BE GREATER THAN 75 FEET.
- ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED. INLET PROTECTION WITH IN RIGHT OF WAY TO BE CONSISTANTLY MONITORED TO MAKE SURE INLET PROTECTION IS IN GOOD WORKING ORDER AND EMERGENCY OVERFLOWS ARE NOT BLOCKED BY DEBRIS.
- 8. TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT AMOUNT OF SILT, CLAY, OR ORGANIC COMPOUNDS ARE EXEPMT EX: CLEAN AGGREGATE
- 9. SEDIMENT LADEN WATER MUST BE DISCHARGED TO A SEDIMENTATION BASIN WHENEVER POSSIBLE. IF NOT POSSIBLE, IT MUST BE TREATED WITH THE APPROPRIATE BMP'S.
- 10. SOLID WASTE MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
- 11. EXTERNAL WASHING OF CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE PROPERLY CONTAINED.
- 12. NO ENGINE DEGREASING IS ALLOWED ON SITE.
- 13. THE OWNER WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITTEE AND IS RESPONSIBLE FOR COMPLIANCE WITH ALL TERMS AND CONDITIONS OF THE PERMIT. THE OPERATOR (CONTRACTOR) WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITTEE FOR PARTS II.B., PART II.C, PART II.B-F, PART V, PART IV AND APPLICABLE CONSTRUCTION ACTIVITY REQUIREMENTS FOUND IN APPENDIX A, PART C. OF THE NPDES PERMIT AND IS JOINTLY RESPONSIBLE WITH THE OWNER FOR COMPLIANCE WITH THOSE PORTIONS OF THE PERMIT.
- 14. TERMINATION OF COVERAGE-PERMITTEE(S) WISHING TO TERMINATE COVERAGE MUST SUBMIT A NOTICE OF TERMINATION (NOT) TO THE MPCA. ALL PERMITTEE(S) MUST SUBMIT A NOT WITHIN 30 DAYS AFTER ONE OR MORE OF THE FOLLOWING CONDITIONS HAVE BEEN MET:
- A. FINAL STABILIZATION, PER NPDES PERMIT PART IV.G. HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE.
- B. TRANSFER OF OWNERSHIP AS DESCRIBED IN THE PERMIT

. INSPECTIONS

- A. INITIAL INSPECTION FOLLOWING SILT FENCE INSTALLATION BY CITY REPRESENTATIVE IS REQUIRED.
 B. EXPOSED SOIL AREAS: ONCE EVERY 7 DAYS AND WITHIN 24 HOURS FOLLOWING A 0.5" OVER 24 HOUR RAIN EVENT.
- C. STABILIZED AREAS: ONCE EVERY 30 DAYS

D. FROZEN GROUND: AS SOON AS RUNOFF OCCURS OR PRIOR TO RESUMING CONSTRUCTION.

E. INSPECTION AND MAINTENANCE RECORDS MUST BE RETAINED FOR 3 YEARS AFTER FILING OF THE NOTICE OF TERMINATION AND MUST INCLUDE: DATE AND TIME OF ACTION, NAME OF PERSON(S) CONDUCTING WORK, FINDING OF INSPECTIONS AND RECOMMENDATIONS FOR CORRECTIVE ACTION, DATE AND AMOUNT OF RAINFALL EVENTS GREATER THAN 0.5 INCHES IN A 24 HOUR

16. MINIMUM MAINTENANCE

- A. SILT FENCE TO BE REPAIRED, REPLACED, SUPPLEMENTED WHEN NONFUNCTIONAL, OR 1/3 FULL; WITHIN 24 HOURS
- B. SEDIMENT BASINS DRAINED AND SEDIMENT REMOVED WHEN REACHES 1/2 STORAGE VOLUME.
- REMOVAL MUST BE COMPLETE WITHIN 72 HOURS OF DISCOVERY.

 C. SEDIMENT REMOVED FROM SURFACE WATERS WITHIN (7)SEVEN DAYS
- D. CONSTRUCTION SITE EXITS INSPECTED, TRACKED SEDIMENT REMOVED WITH 24 HOURS.
- E. PROVIDE COPIES OF EROSION INSPECTION RESULTS TO CITY ENGINEER FOR ALL EVENTS GREATER THAN ½" IN 24 HOURS
- F. STREETS TO BE SWEPT AS NECESSARY TO LIMIT DEBRIS FROM REACHING STORM INLETS WITH IN RIGHT OF WAY.

CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT AND MAINTAIN INLET PROTECTION PLACED

CONSISTENTLY MAKE SURE INLET PROTECTION IS IN GOOD WORKING ORDER AND EMERGENCY

WITHIN THE PUBLIC RIGHT OF WAY UNTIL FINAL STABILIZATION IS ACHIEVED. CONTRACTOR SHALL

OVERFLOWS ARE NOT BLOCKED OF DEBRIS.

17. THE SWPPP, INCLUDING ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE

KEPT AT THE SITE DURING CONSTRUCTION ACTIVITY BY THE PERMITTEE(S) WHO HAVE OPERATIONAL

CALCULATIONS FOR TEMPORARY AND PERMANENT STORM WATER MANAGEMENT SYSTEMS. THESE

RECORDS MUST BE RETAINED FOR THREE YEARS AFTER FILING NPDES NOTICE OF TERMINATION.

CONTROL OF THE SITE AS SITE CONDITIONS REQUIRE, OR AT THE DIRECTION OF THE CITY.

18. OWNER MUST KEEP RECORDS OF ALL PERMITS REQUIRED FOR THE PROJECT, THE SWPPP, ALL INSPECTIONS AND MAINTENANCE, PERMANENT OPERATION AND MAINTENANCE AGREEMENTS, AND REQUIRED

19. SWPPP MUST BE AMENDED WHEN:

- A. THERE IS A CHANGE IN DESIGN, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS THAT HAS A SIGNIFICANT EFFECT ON DISCHARGE
- B. INSPECTIONS INDICATE THAT THE SWPPP IS NOT EFFECTIVE AND DISCHARGE IS EXCEEDING WATER QUALITY STANDARDS.
- C. THE BMP'S IN THE SWPPP ARE NOT CONTROLLING POLLUTANTS IN DISCHARGES OR IS NOT CONSISTENT WITH THE TERMS AND CONDITIONS OF THE PERMIT.

19. CONCRETE WASHOUT AREA

- A. CONTRACTOR TO PROVIDE PREFABRICATED CONCRETE WASH-OUT CONTAINER WITH RAIN PROTECTION PER PLAN.
- B. CONCRETE WASH-OUT TO BE IDENTIFIED WITH SIGNAGE STATING "CONCRETE WASHOUT AREA DO NOT OVERFILL".
- C. CONCRETE WASHOUT WATER NEEDS TO BE PUMPED WITHIN 24 HOURS OF STANDING WATER IN WASHOUT AREA.
- 20. IN THE EVENT OF ENCOUNTERING A WELL OR SPRING DURING CONSTRUCTION CONTRACTOR TO CEASE CONSTRUCTION ACTIVITY AND NOTIFY ENGINEER.
- 21. PIPE OULTETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER.

22. FINAL STABILIZATION

FINAL STABILIZATION REQUIRES THAT ALL SOIL DISTURBING ACVTIVITIES HAVE BEEN COMPLETED AND THAT DISTURBED AREAS ARE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH 70% OF THE EXPECTED FINAL DENSITY, AND THAT ALL PERMANENT PAVEMENTS HAVE BEEN INSTALLED. ALL TEMPORARY BMP'S SHALL BE REMOVED, DITCHES STABILIZED, AND SEDIMENT SHALL BE REMOVED FROM PERMANENT CONVEYANCES AND SEDIMENTATION BASINS IN ORDER TO RETURN THE POND TO DESIGN CAPACITY.

23. RESPONSIBILITIES

A. THE OWNER MUST IDENTIFY A PERSON WHO WILL OVERSEE THE SWPPP IMPLEMENTATION AND THE PERSON RESPONSIBLE FOR INSPECTION AND MAINTENANCE:

	PERSON RES	PONSIBLE FO	r inspection a	'ND MAINTE
CONT	ACT:			
COMI	PANY:			
PHON	1E:			

B. THE CITY REQUIRES THAT WSB & ASSOCIATES TO PREFORM NPDES INSPECTIONS DURING THE CONSTRUCTION PHASE. THE COST OF THE INSPECTIONS WILL BE PAID FOR BY THE OWNER. THIS IS A REQUIREMENT FOR RELEASE OF THE BUILDING PERMIT.

CONTACT:		
COMPANY:	WSB & ASSOCIATES	
DHONE.		

24. THE WATERSHED DISTRICT OR THE CITY MAY HAVE REQUIREMENTS FOR INSPECTIONS OR AS-BUILT DRAWINGS VERIFYING PROPER CONSTRUCTION OF THE BMPS.

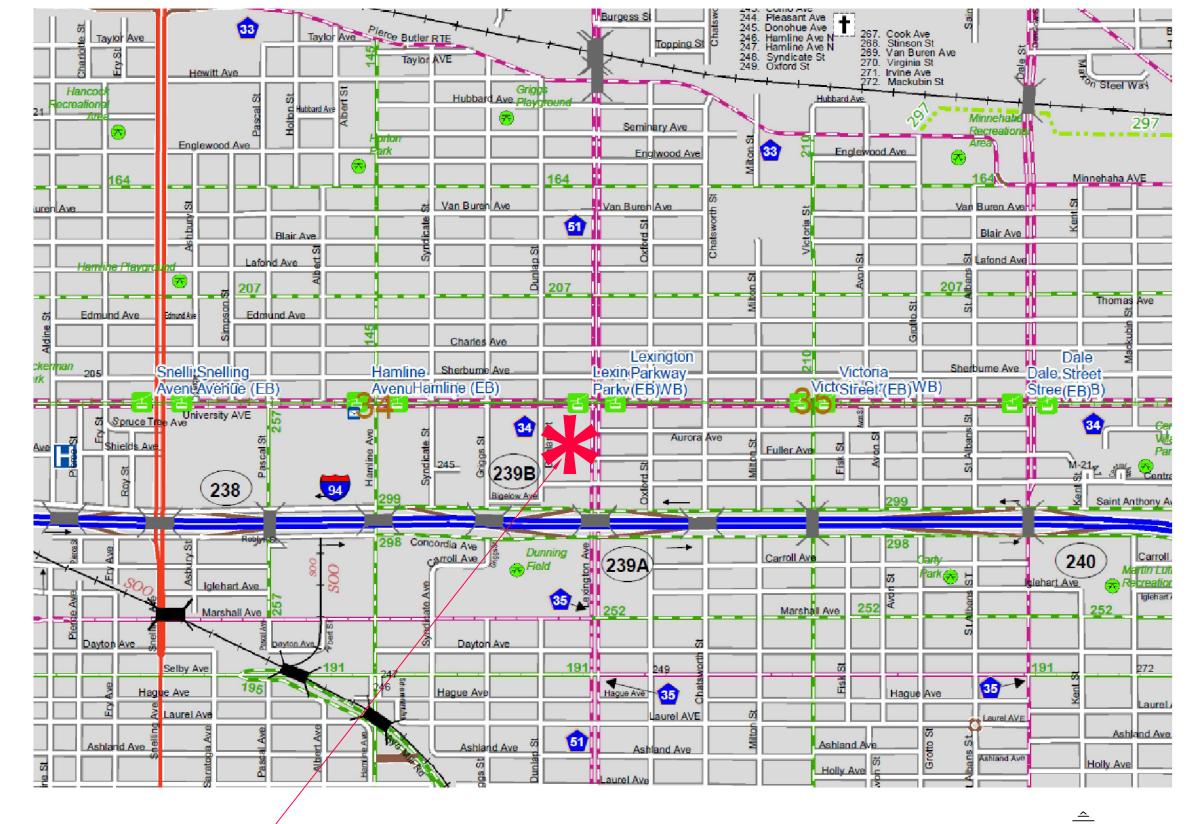
BIO-ROLLS

SITE VICINITY MAP

APPROXIMATE

LOCATION OF

PROJECT SITE



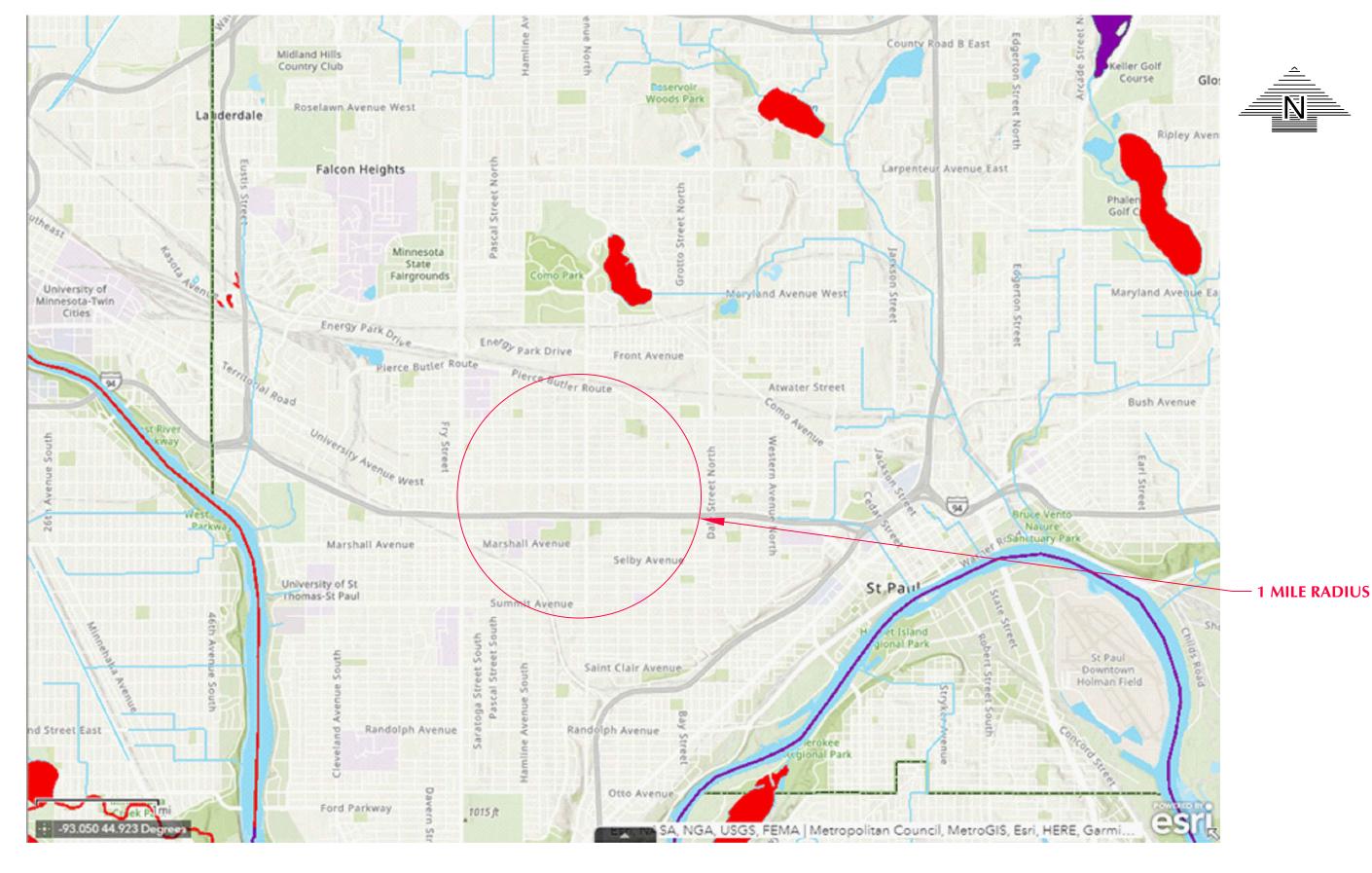
ESTIMATED QUANTITIESDESCRIPTIONUNITQUANTITYTEMPORARY ROCK CONSTRUCTION ENTRANCEEA1EROSION CONTROL BLANKETSFNASILT FENCELF805INLET PROTECTIONEA12

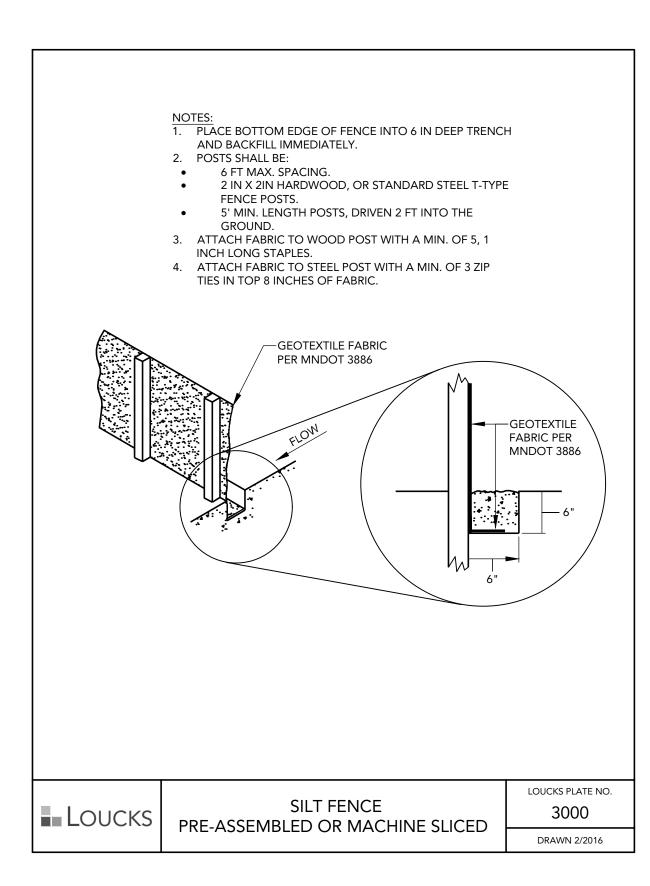
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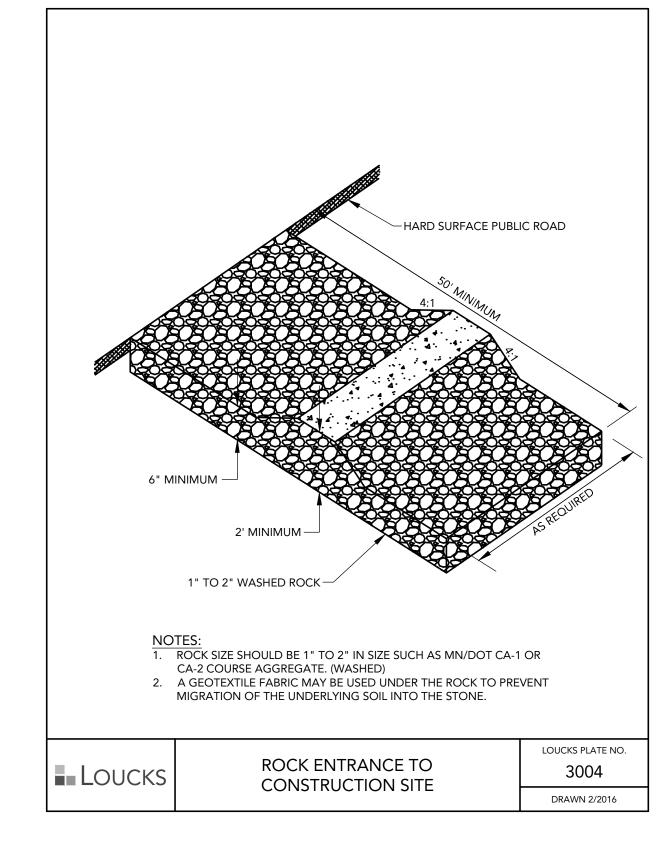
University of Minnesota Zachary H. Webber

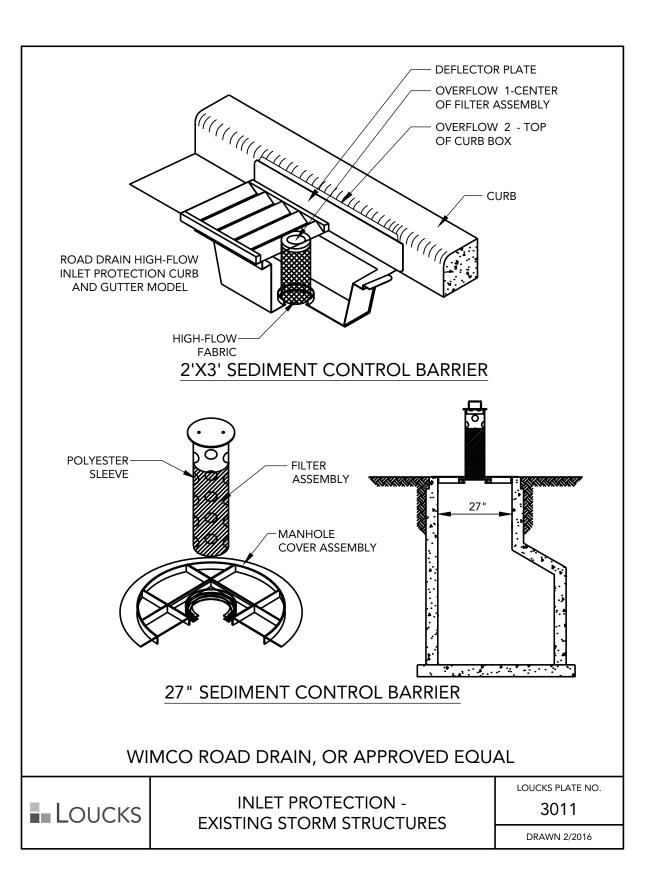
Design of Construction SWPPP (May 31 2021)

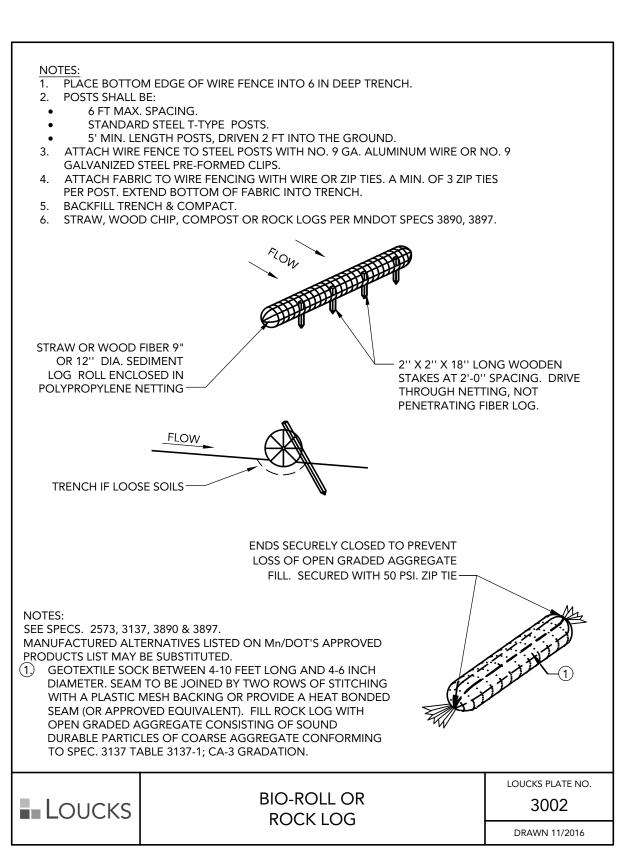
CONSTRUCTION STORMWATER SPECIAL WATERS SEARCH MAP I



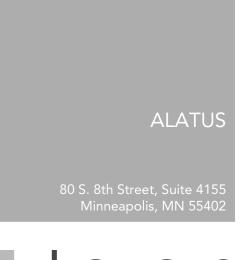












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SUBMITTAL/REVISIONS

11/19/20

CITY SUBMITTAL

12/10/20

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SWPPP C3-3

LEXINGTON APARTMENTS

PROPOSED

St. Paul, N

CIVIL ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE ENVIRONMENTAL 7200 Hemlock Lane, Suite 300 Maple Grove, MN 55369

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 \mathbb{Q} CATCH BASIN STORM MANHOLE FLARED END SECTION SANITARY MANHOLE HYDRANT GATE VALVE POST INDICATOR VALVE WATER MANHOLE / WELL LIGHT POLE **POWER POLE** ELECTRIC METER **GAS METER** TELEPHONE PEDESTAL SIGN BENCHMARK SOIL BORING PARKING STALL COUNT ACCESSIBLE PARKING STALL STORM SEWER ----->>-----DRAINTILE ---->>------DT-------->>-----DT---------->-----Sanitary Sewer \longrightarrow ----FM-----FORCEMAIN WATERMAIN _____ **-----**SANITARY SEWER SERVICE _____ S ____ WATER SERVICE **—** | **—** | **→** ----- W ------UNDERGROUND ELECTRIC -----ELE-----——ELE—— UNDERGROUND FIBER OPTIC -----F0-----UNDERGROUND GAS -----GAS----------GAS-----UNDERGROUND TELEPHONE _____TEL____ OVERHEAD UTILITY ——он—— ___ x ____ x ___ FENCE CHAIN LINK FENCE __0___0__ CONCRETE CURB **RETAINING WALL** P P P P P P P P CONCRETE NO PARKING ///// BUILDING 972 CONTOUR $\times^{972.5}$ × 972.5 SPOT ELEVATION **₹**1.0% 1.0%

DIRECTION OF FLOW

TREE LINE PARKING SETBACK LINE

BUILDING SETBACK LINE

 \bigcap

 $\sim\sim\sim$

existing

SCALE IN FEET

SEE SHEET CO-1 FOR NOTES.

UTILITY NOTES

-----PSBL---------BSBL----CADD QUALIFICATION instruments of the Consultant professional services for use solely on other projects, for additions to this project, or for completion Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made at the full risk of that party making such revisions, additions Consultant from any & all responsibilities, claims, and liabilities. SUBMITTAL/REVISIONS CITY SUBMITTAL CITY SUBMITTAL 12/10/20

> PROFESSIONAL SIGNATURE I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

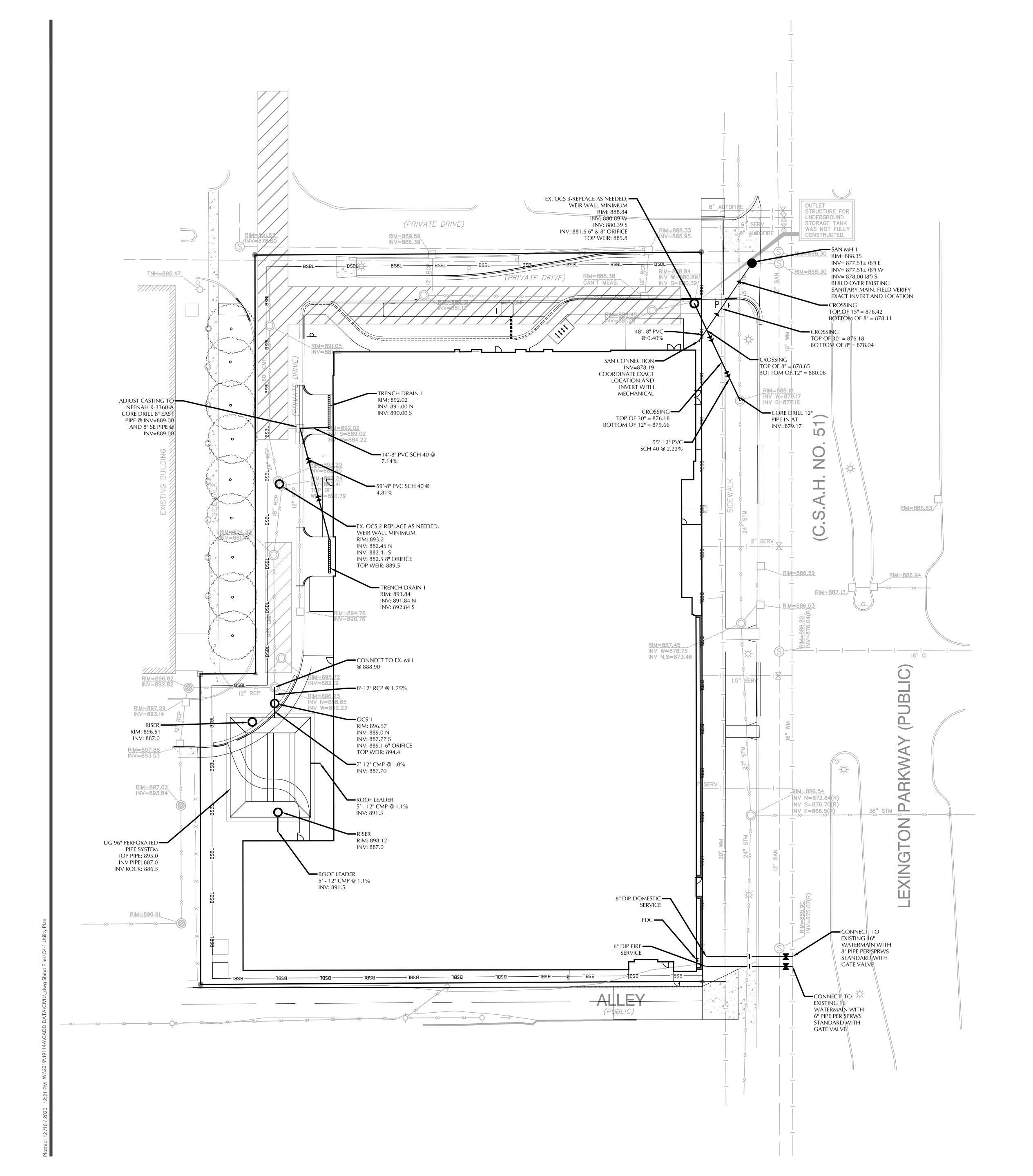
License No. Loucks Project No. PJD Project Lead DDL Drawn By PJD Checked By 12/10/20 **Review Date** SHEET INDEX CIVIL NOTES C1-1 DEMO SHEET C2-1 SITE PLAN C3-1 GRADING PLAN C3-2 SWPPP C3-3 SWPPP NOTES C4-1 UTILITY PLAN C8-1 CIVIL DETAILS LANDSCAPE PLAN LANDSCAPE NOTES L1-2

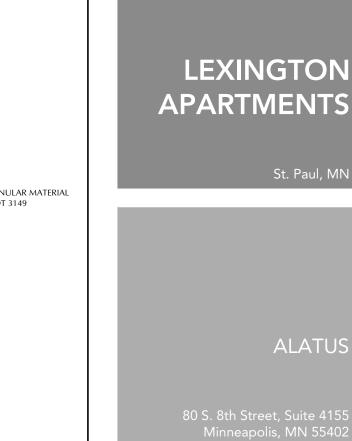
UTILITY



THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES. CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.







CIVIL ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE ENVIRONMENTAL 7200 Hemlock Lane, Suite 300 Maple Grove, MN 55369 763.424.5505 www.loucksinc.com

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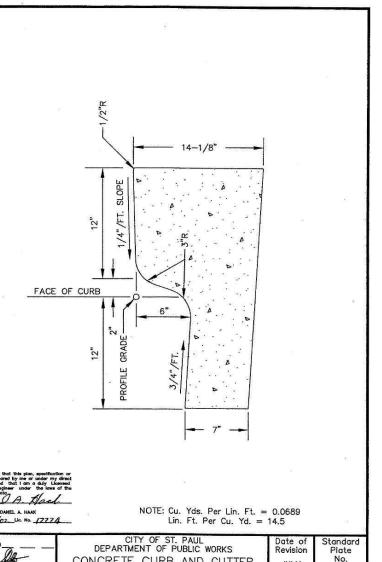
Consultant from any & all responsibilities, claims, and liabilities. SUBMITTAL/REVISIONS CITY SUBMITTAL CITY SUBMITTAL 12/10/20

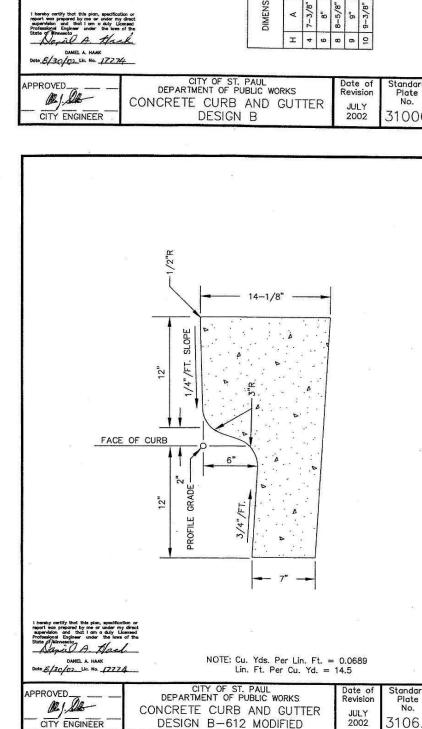
PROFESSIONAL SIGNATURE I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota. PJ Disch - PE

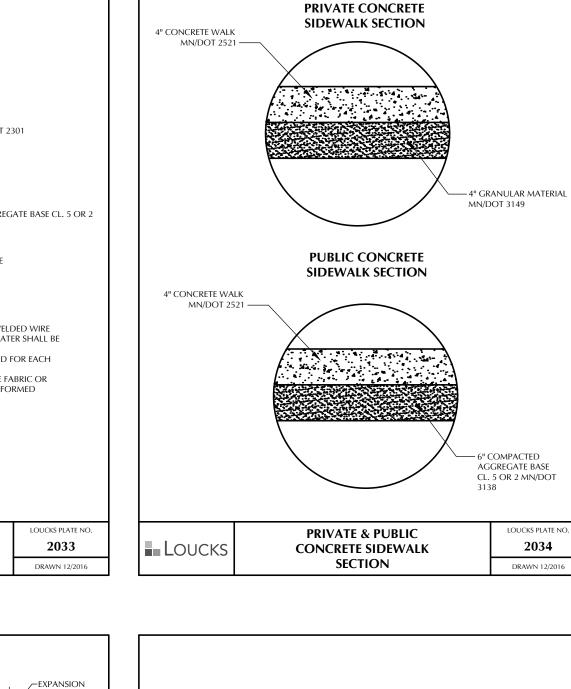
License No.

Date QUALITY CONTROL 19114A Loucks Project No. PJD Project Lead DDL Drawn By PJD Checked By Review Date 12/10/20 SHEET INDEX CIVIL NOTES C1-1 **DEMO SHEET** C2-1 SITE PLAN C3-1 GRADING PLAN C3-2 SWPPP SWPPP NOTES C3-3 UTILITY PLAN C8-1 CIVIL DETAILS LANDSCAPE PLAN

LANDSCAPE NOTES







SLOPE GUTTER TO

DRAINAG

MIN. OF 4" AGG. BASE

THICKNESS OF SECTION

SPECIFICATION NOTES:

J

MFMBRANE CURING COMPOUND PER MNDOT 3754.

89 80 0 DESIGN NO.

B B B B DESIGN

3. CONSTRUCT IN ACCORDANCE WITH MNDOT 2531.

B6-12 STYLE

CONCRETE CURB

AND GUTTER

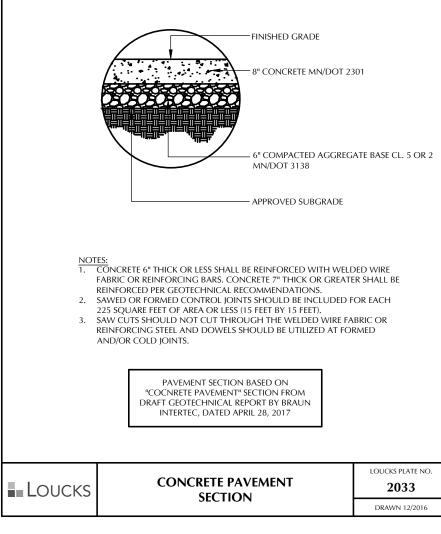
OF CURB →

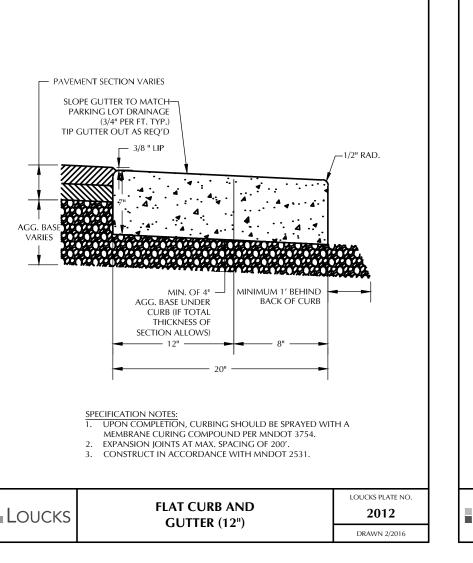
2009

MATCH PARKING LOT

(3/4" PFR FT TYP) TIP

GUTTER OUT AS REQ'D -





— FINISHED GRADE

– 2" BIT. WEAR COURSE,

MN/DOT 2360 SPWEA240B

CK COAT, MN/DOT 2357

2" BIT. NON-WEAR COURSE,

MN/DOT 2360 SPNWB230B

APPROVED SUBGRADE

CASTINGS A & B
(UNLESS NOTED OTHERWISE)
STD. PLATES 2201E & 2202D

48" DIA. —

OTECHNICAL REPORT BY BRAUN, DATE

STANDARD BITUMINOUS

ADJUST TO GRADE AS— PER STD.PL 2321B

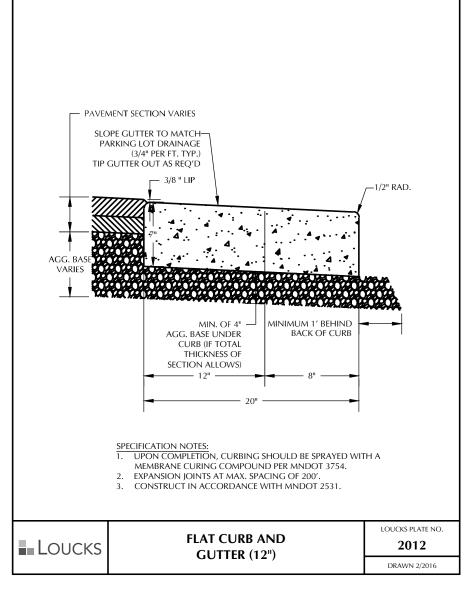
SEE DETAIL OF REQUIRED WATERTIGHT CONNECTIONS -

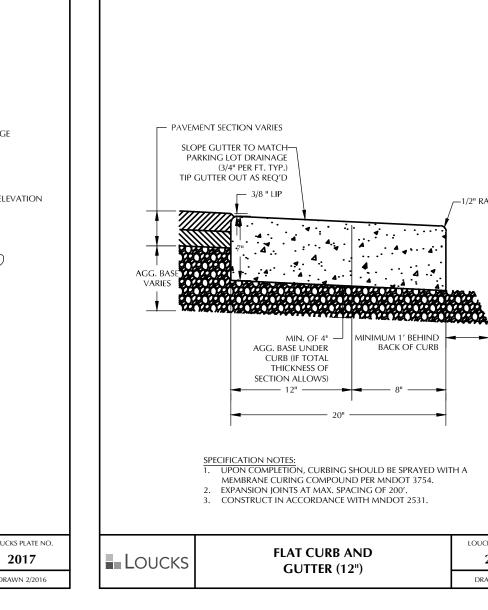
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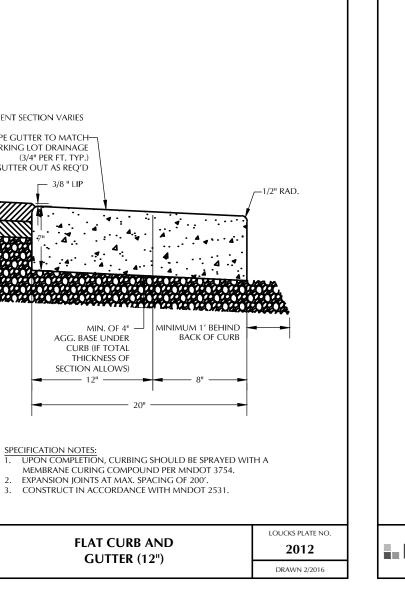
DEPARTMENT OF PUBLIC WORKS

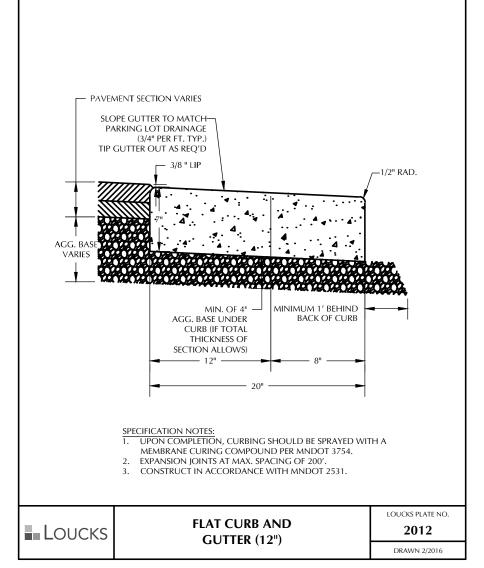
PAVEMENT SECTION

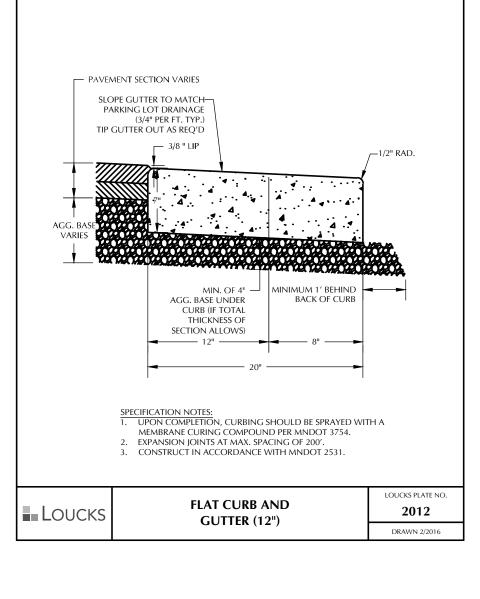
OCTOBER 1,2020

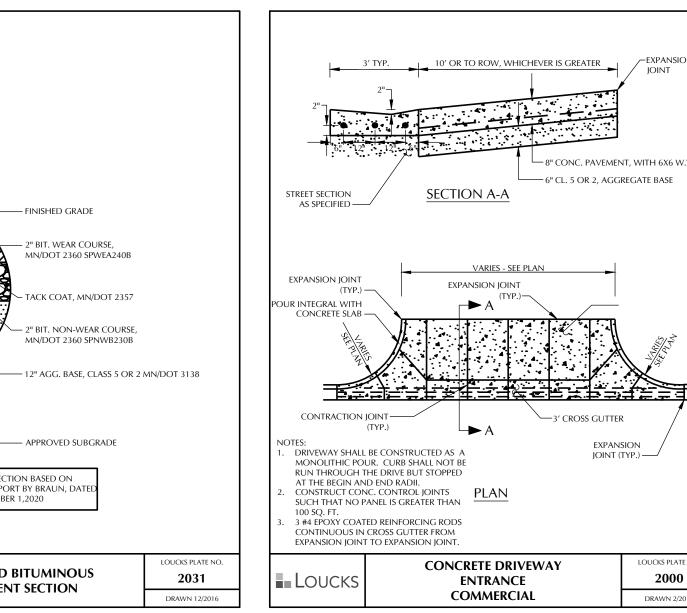


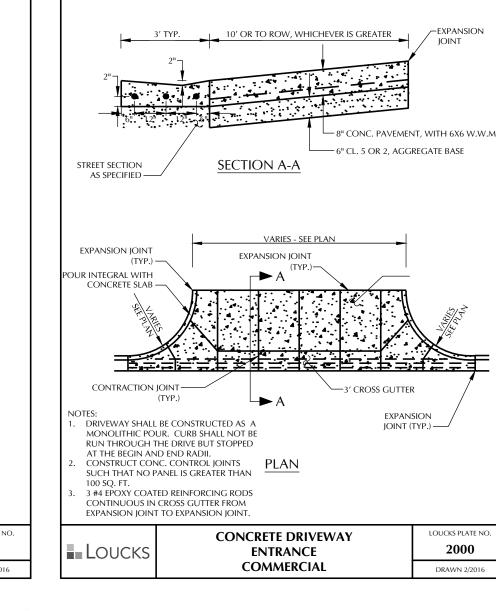


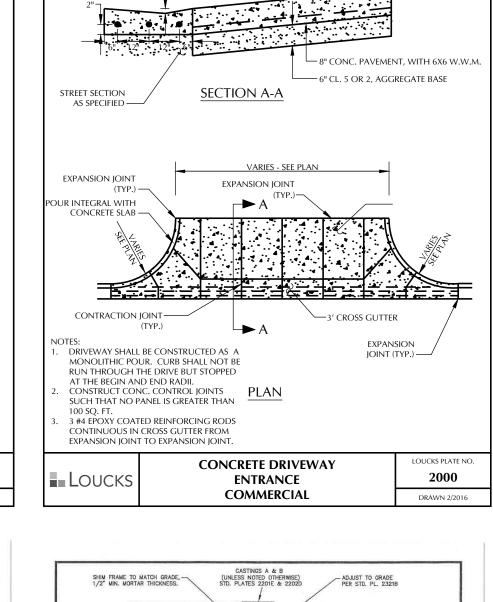


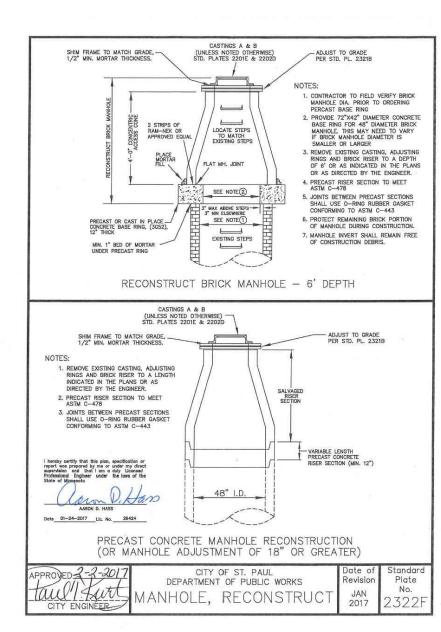


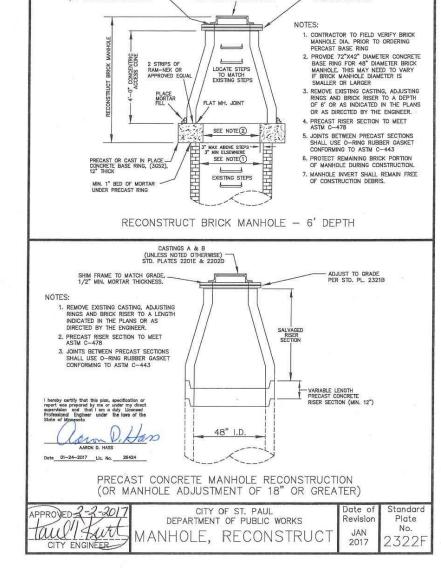


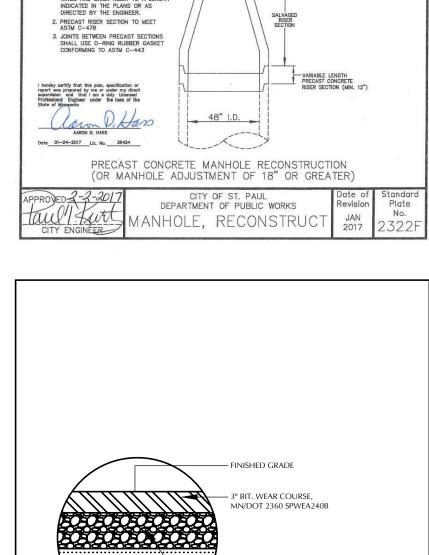


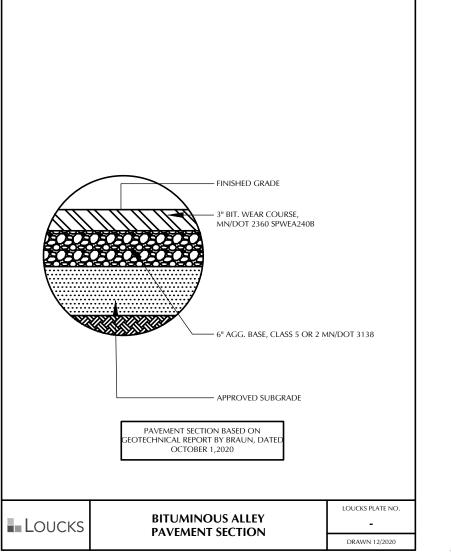


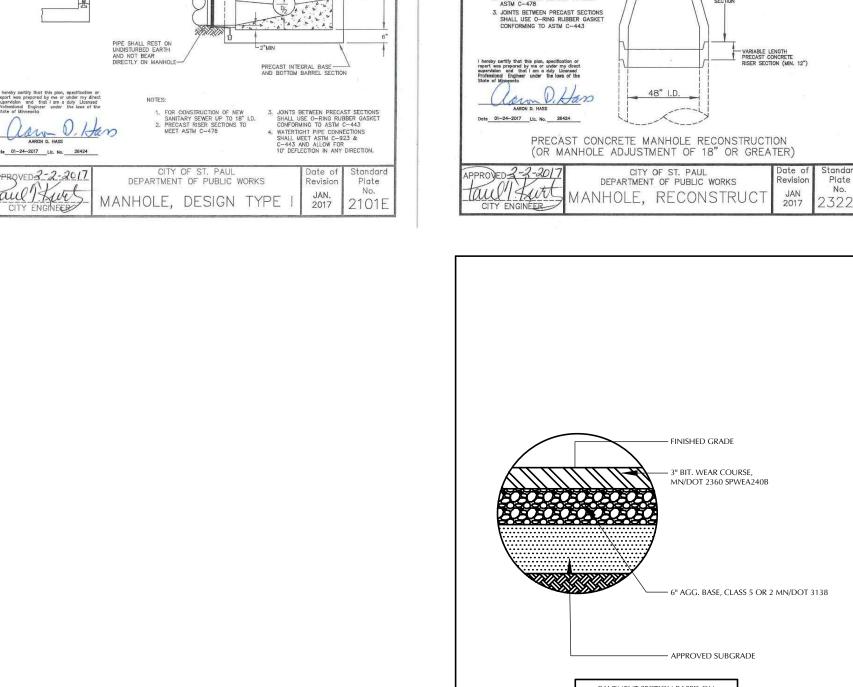


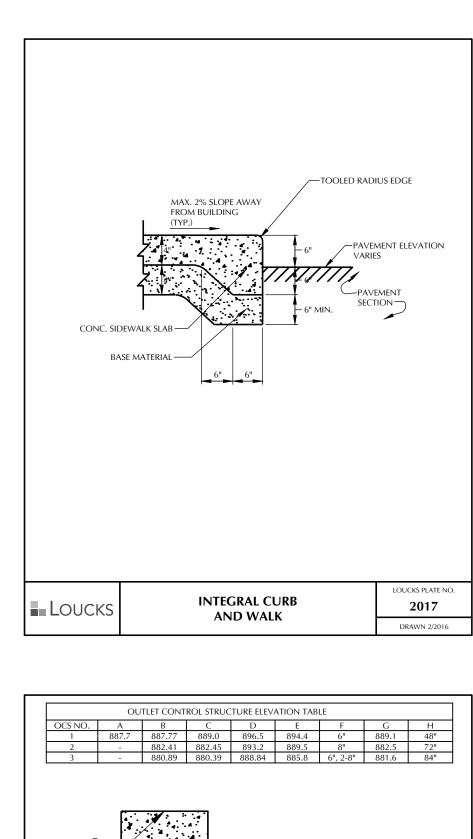












TOP OF WEIR

pening size - **F**

OGHOUSES SHALL BE GROUTED

OUTSIDE OF THE STRUCTURE.

Concrete Curb And Gutter—7

3/4" MIN. -

KEYWAY DETAIL

LOUCKS

WEIR/ORIFICE

RIM - (EMERGENCY OVERFLOV

— PRECAST BASE SLAB

/ Crosswalk —

6" AGG. BASE, CL. 5

SECTION ON & DRIVEWAY

4316

LOUCKS

INTEGRALLY CAST SLEEVE SEAL (LOCK JOINT OR EQUAL)

EXTERNAL STAINLESS STEEL TAKE UP CLAMPS

CORED SLEEVE SEAL (KOR-N-SEAL OR EQUAL)

INTEGRALLY CAST
GASKET
(A-LOCK OR EQUAL)

Clary V. Han

Date 01-24-2017 Llc. No. 26424

PPRQVED 2-2-2017

DETAIL

WATERTIGHT CONNECTIONS

LEAST #4 REBAR, 12" ON CENTER.

OUTLET CONTROL

STRUCTURE - MH

Crosswalk

Width ---Min. 10'

3' Width - Min. 10' 3'

Gutter —

SECTION ON CURB LINE

0.10' Or Special Provisions 7

Driveway To Be One Course Concrete Povement, Mix No. 3F52.
 6" Thick For Residential Drive, 8" Thick For Commercial Drive And Alle

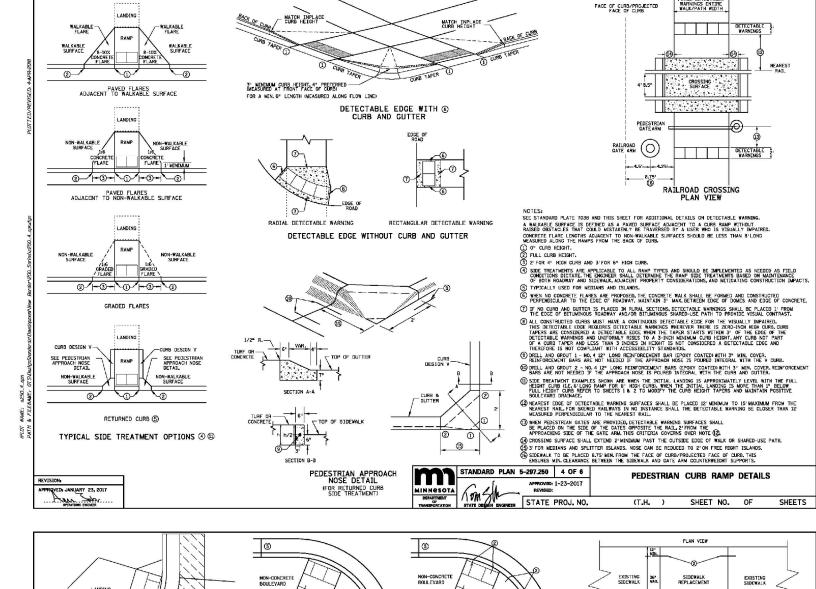
Keyway To Be Installed On New Curb Prior To Driveway Construction. No. 4 Dowel Bars 1' Long Spaced 2' O.C. May Be Substituted

DETAIL A-A (For Alleys)

DEPARTMENT OF PUBLIC WORKS

CONCRETE DRIVEWAY

I. Panel Width Shall Not Exceed 10' Without A Contraction Joint.



MAX. 2.0% SLOPE IN ALL DIRECTIONS

2.0X-3.0X GUTTER SLOPE SECTION D-D

DETECTABLE WARNING PLACEMENT WHEN SETBACK CRITERIA IS EXCEEDED 1

TYPICAL SIDEWALK SECTION WITHIN INTERSECTION CORNER

ONE-WAY DIRECTIONAL WITH DETECTABLE

LANDINGS SHALL BE LOCATED ANYWHERE THE PEDESTRIAN ACCESS ROUTE (PAR) CHANGES DIRECTION. AT THE TOP OF RAMPS THAT HAVE RUNNING SLOPES GREATER THAN 5.0%, AND IF THE APPROACHING WALK IS INVERSE GRADE. INITIAL CURB RAMP LANDINGS SHALL BE CONSTRUCTED WITHIN 15 FROM THE BACK OF CURB, WITH 6 FROM THE BACK OF CURB BEING THE PREFERRED DISTANCE, ONLY APPLICABLE WHEN THE INITIAL RAMP RUNNING SLOPE IS OVER 5.0%.

SECONDARY CURB RAMP LANDINGS ARE REQUIRED FOR EVERY 30° OF VERTICAL RISE WHEN THE LONGITUDINAL SLOPE IS GREATER THAN 5.0%.

ALL GRADE BREAKS WITHIN THE PAR SHALL BE PERPENDICULAR TO THE PATH OF TRAVEL. THUS BOTH SIDES OF A SLOPED WALKING SURFACE MUST BE EQUAL LENGTH. DENSURE INITIAL RAMPS AND INITIAL LANDINGS ARE PROPERLY CONSTRUCTED, LANDINGS IALL BE CAST SEPARATELY, FOLLOW SIDEWALK REINFORCEMENT DETAILS ON SMEET 6 AND BE AND APPECIAL PROVISION PROSECUTION OF WORK!

THE AND SPECIAL MATCH PROPOSED ADJACENT WALK GRADE.

WHEN THE BOULEVARD IS 4"WIDE OR LESS, THE TOP OF CLIEB TAPER SHALL MATCH THE RAMP
SLOPES TO REDUCE NEGATIVE BOULEVARD SLOPES FROM THE TOP BACK OF CLIRB TO THE PAR.

4 MINIMUM WIDTH OF DETECTABLE WARNING IS REQUIRED FOR ALL RAWPS DETECTABLE WAS SHALL CONTINUOUSLY EXTEND FOR A MIN OF Ze⁴⁰ IN the PATH OF TRAVEL DETECTABLE WARNING TO COVER EXTIRE WIDTH OF SHARED-USS PATH. AND THE EXTIRE PAR WIDTH OF THE WARK, DETECTABLE WARNING SHOULD BE S⁶⁰ LESS THAN THE PARPARTH WIDTH, ARC LENGTH OF RADIAL DETECTABLE WARNINGS SHOULD NOT BE GREATER THAN ZO FEET.

3" HIGH CURB WHEN USING A 3'LONG RAMP 4" HIGH CURB WHEN USING A 4'LONG RAMP.

RADIAL DETECTABLE WARNINGS SHALL BE SETBACK 3" MINIMUM TO 6" MAXIMUM FROM THE BACK OF CURSEE NOTES (0) & (1) FOR INFORMATION REGARDING RECTANGULAR DETECTABLE WARNING PLACEMENT.

9 ** HIGH CURB WINE USING A 3 LOVE RAM!
3 ** MINIMAR CIRR HIGHT CAS WILL DISTANCE ROGUED DETWEEN DOMES)
4 ** PREFERED OF WINN DISTANCE RECLIFED DETWEEN DOMES)
5 ** PREFERED OF WINN DISTANCE RECLIFED DETWEEN DOMES)
6 ** PREFERED OF WINN DISTANCE RECLIFED DETWEEN DOMES)
6 ** THE SIGNATURE OF RECLIFE AND DISTANCE RECLIFED DETWEEN THE PARTH OF TRAVEL FOR COMBINED DIRECTIONAL RAMPS. IF THIS OCCURS WORLT'S EASY FLACE DIRECTION THE RAMP LOCATION OR SWITCH RAMP TO A FAN-DEPRESSED CORNER.
6 WINN DISTANCE CONTROL THE RAMP FLARES SHOULD BE USED. SET THE DETAIL ON THIS SHEET.
9 ORADINO SHALL ANIANS BE USED WHEN TESSELEV, CURB, IT USES, SHALL BE PLACED OUTSIDE THE SIDEWALK SHALL DIRECTION OF THE PLACE DISTANCE THE SIDEWALK SHALL DISTANCE OF THE SI

II) RECTANGULAR DETECTABLE WARNINGS MAY BE SETBACK UP TO 9" FROM THE BACK OF CURB WITH CORNERS SET 3" FROM BACK OF CURB. IF 9" SETBACK IS EXCEEDED USE RADIAL DETECTABLE WARNINGS.

(2) FOR DIRECTIONAL RAMPS WITH THE DETECTABLE WARRINGS PLACED AT THE BACK OF CURB, THE DETECTABLE WARRINGS STAIL COVER THE ENTITIE WITH OF THE WALK/PATH, THIS ENSURES A DETECTABLE EDGE AND HELPS ELIMINATE THE CURB TAPER OBSTRUCTION THE PATH OF PEDESTRIAN TRAVEL.

THE CONNECTE MALK SMALL BE FORMED AND CONSTRUCTED PERPENDICULAR TO THE BACK OF CURB.
 MAINTAIN 3" INTERED NOCE OF DOMES AND DEED OF CONCENT
 TO BE USED FOR ALL DIRECTIONAL RAMPS, EXCEPT WHERE DOMES ARE PLACED ALONG THE BACK OF CURB

THESE LONGITUDINAL SLOPE RANGES SHALL BE THE STARTING POINT. IF SITE CONDITIONS WARRANT, LONGITUDINAL SLOPES UP TO 8.3% OR FLATTER ARE ALLOWED.

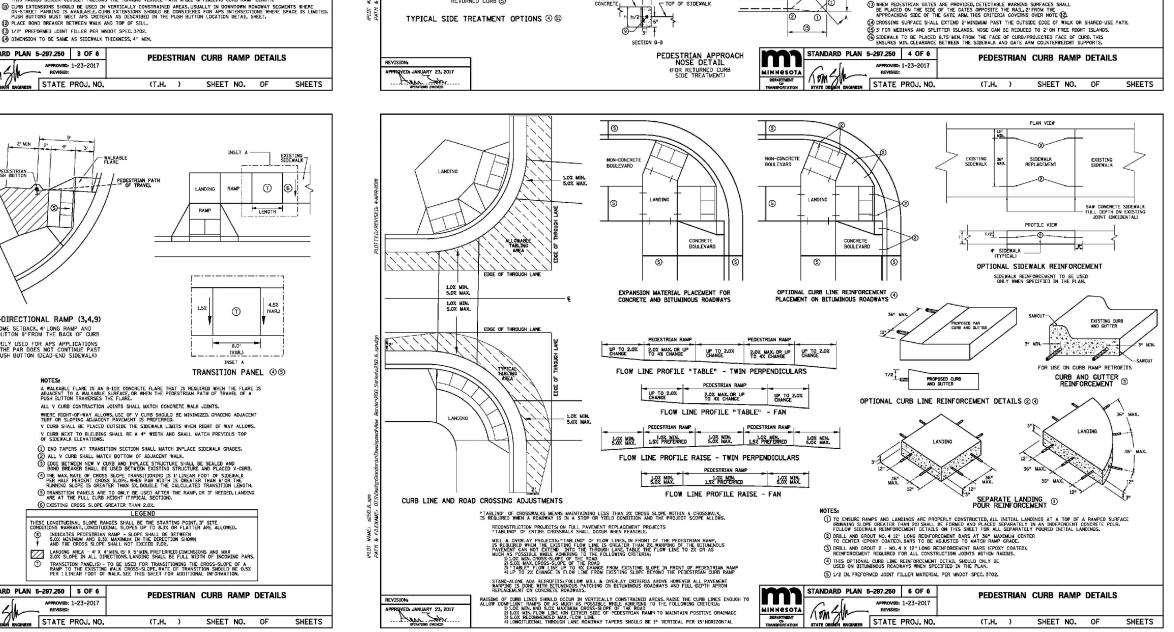
LANDING AREA - 4'X 4'MIN. (5'X 5'MIN. PREFERRED DIMENSIONS AND MAX 2.0% SLOPE IN ALL DIRECTIONS, LANDING SHALL BE FULL WIDTH OF INCOMING PARS.

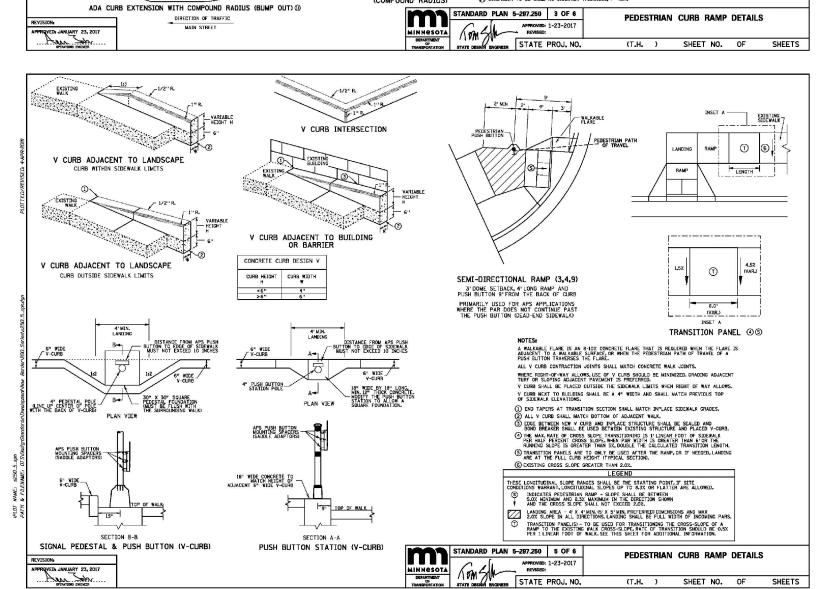
PEDESTRIAN CURB RAMP DETAILS

INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE BETWEEN 5.02 MINIMUM AND 8.32 MAXIMUM IN THE DIRECTION SHOWN AND THE CROSS SLOPE SHALL NOT EXCEED 2.02.

INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE GREATER THAN 2.0% AND LESS THAN 5.0% IN THE DIRECTION SHOWN AND CROSS SLOPE SHALL NOT EXCEED 2.0%.

CONTRACTION JOINTS SHALL BE CONSTRUCTED ALONG ALL GRADE BREAKS WITHIN THE PAR.1/4" DEEP VISUAL JOINTS SHALL BE USED AT THE TOP GRADE BREAK OF CONCRETE FLARES ADJACENT TO WALKABLE SURFACES.





NON-WALKABLE OR (S) NON-WALKABLE OR WALKABLE SURFACE

TIERED PERPENDICULAR

VAR. 4'0" MIN.
RAMP REQUIRED LANDING

6" > 0.05 FT./FT. AND
CONCRETE
WALK

VAR. 4'0" MIN.

RAMP REQUIRED LANDING

CONCRETE CO.02 FT./FT. MAX.

NON PERPENDICULAR ②

1/4" MIN. TO 1/2" MAX.

1:3 MIN. TAPER
1:5 PREFERRED TAPER
(UPSTREAM SIDE)

PEDESTRIAN ACCESS ROUTE CURB & GUTTER DETAIL

SECTION A-A

ONCRETE SOUS FILFT, AND SOUS FILFT, MAX.

WALKE SOUS FILFT PREFERRED

PERPENDICULAR ①

FRONT OF GUTTER PROJECTED FLOW LINE

5% MAX.

INSET B
OUTFLOW GUTTER ®

HOLD TANGENT 5'
PAST OUTSIDE ZERO

1:3 MIN. TAPER (DOWNSTREAM SIDE)

DIAGONAL

COMBINED DIRECTIONAL 3

FRONT OF GUTTER

NON-WALKABLE SURFACE

STANDARD ONE-WAY DIRECTIONAL ®

PPROVED: JANUARY 23, 2017

8X-10X FLARE

APPLICABLE WHEN THE INITIAL RAMP RIMNING SLOPE IS OVER 5.0%. SECONDARY CIRCLE RAMP LANDING SLOPE ARE REQUIRED FOR YEARY 30° OF VERTICAL RISE. FROM THE CONSTITUTION REMAINS SLOPE TO REAL THE REMOVE BREAKS RETAIN THE PAR 1.24" DEEP WISHING SHOWN SHALL BE USED AT THE TOPS OF CONCRETE PLANES ADJACENT TO WALKARE SUPPRACE VISIAL JURINS SHALL BE USED AT THE TOPS OF CONCRETE PLANES ADJACENT TO WALKARE SUPPRACE ALL GROBE BREAKS BITTAIN THE PAR SHALL BE FERFENDEDLAR TO THE PATH OF TRAVEL_THUS BOTH SIDES OF A SOLDED WALKING SUPPRACE WHIST BE CAUGH LEDNITH, EXCEPT AS STATED IN (B) BLOW.

ANDINGS SHALL BE LOCATED ANYWHERE THE PEDESTRIAN ACCESS ROUTE (PAR) CHANGES IRECTION, AT THE TOP OF RAMPS THAT HAVE RUNNING SLOPES GREATER THAN 5.0%, NO IF THE APPROACHING WALK IS INVERSE GRADE GREATER THAN 2%.

TTIAL CURB RAMP LANDINGS SHALL BE CONSTRUCTED WITHIN 15'FROM THE BACK CURB, WITH 6'FROM THE BACK OF CURB BEING THE PREFERRED DISTANCE, ONLY PLICABLE WHEN THE INITIAL RAMP RUNNING SLOPE IS OVER 5.0%.

TO ENSURE INITIAL RAMPS AND INITIAL LANDINGS ARE PROPERLY CONSTRUCTED, LANDINGS HALL BE CAST SEPARATELY, FOLLOW SIDEWAIK REINFORCEMY DETAILS ON SHEET 6 AND HE ADA SPECIAL PROVISIONS - PROSECUTION OF WORK (ADA).

AMMINIAN MINTER STREAM THE AMERING IS REQUIRED FOR ALL RAMPS, DETECTABLE WARN SMALL CONTINUOUSLY EXTEND FOR A WIN OF 24" IN THE PAIN OF TRAVEL DETECTABLE WARNING TO CONTENDED THE WINDOW OF SHARED-LIKE PAINS AND THE SHITE PAIN WOUTH OF THE WARNING TO CONTINUE AMERICAN SHARED SHARED SHARED THE SHITE PAIN WOUTH OF LENGTH OF RADIAL DETECTABLE MARKINGS SMOULD NOT BE WREATER THAN 20 PER A LENGTH OF RADIAL DETECTABLE MARKINGS SMOULD NOT BE WREATER THAN 20 PER A

(2) 4 "MINIMUM DEPTH LABDING REQUIRED ACROSS TOP OF RAMP.

(3) 54 HICH CURB WHEN LUSING A 3"LONG RAMP, 4" HICH CURB WHEN USING A 4"LONG RAMP.

(5) 555 SHEET 4 OF 6, TYPICAL SIDE TREATMENT OFTIONS, FOR DETAILS ON FLAMES

AND RETURNED CURBS, WHEN INITIAL LANDING IS AT FULL CURB HEIGHT.

(6) DETECTABLE WARNINGS MAY BE PART OF THE 4"X 4" MINI, LANDING AREA IF IT IS NOT

TEASIBLET FOO CONSTRUCT THE LANDING QUISTED OF THE DETECTION ARE WARNING AREA.

(7) THE GRADE BREAK SHALL BE PERPENDICULAR TO THE BOOK OF WALK, THIS WILL ENGINE

THAT THE CARADE BREAK SHALL BE PERPENDICULAR TO THE DIRECTION OF TRAVEL, CITYPICAL FOR AL

THAT THE SMALE BREAK IS PERFECTIONAL TO THE CONTROLLAR THE MARKET THE MARKET

INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE BETWEEN 5.0% MENIMUM AND 8.3% MAXIMUM IN THE DIRECTION SHOWN AND THE CROSS SLOPE SHALL NOT EXCEED 2.0%.

INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE GREATER THAN 2.0% AND LESS THAN 5.0% IN THE DIRECTION SHOWN AND CROSS SLOPE SHALL NOT EXCEED 2.0%.

PAVEMENT TREATMENT OPTIONS IN FRONT OF CURB & GUTTER

NO PONDING SHALL BE PRESENT IN THE FLOW LINE SHALL NOT BE GREATER THAN 1/4 INCH.

DIFFORM OF THE PHAT OCCURS AT THE FLOW LINE SHALL NOT BE GREATER THAN 1/4 INCH.

DIFFORM OF THE PHAT OCCURS HERE THE PRESENTENCE PHAT OF TRAVEL IS ASSUMED PERPENDICULAR.

FLOW LINE, RAMP TYPES INCLUDE FERRENDICULAR, PLEEDE PERPENDICULAR, PARABLEL, AND DIAGONAL RAMPS.

FOR USE AT CURB RAMPS WHERE THE PEDESTRIAN'S PATH OF TRAVEL IS ASSUMED NON PERPENDICULAR TO THE GUTTER FLOW LINE, RAMP TYPES INCLUDE: FANS & DEPRESSED CORNERS.

) TOP FRONT OF CUTTER SHALL BE CONSTRUCTED FLUSH WITH PROPOSED ADJACENT PAVEMENT ELEVATION.
TOP 1.5° OF THE CUTTER FACE MUST BE A FORMED EDGE. PAR CUTTER SHALL NOT BE OVERLAID.

(B) HELPS PROVIDE TWO SEPARATE RAMPS, REDUCES THE DOME SETBACK LENGTH AND MINIMIZES DIRECTIONAL CURB. THIS RADIUS DESIGN CLOSELY FOLLOWS THE TURNING VEHICLE PATH WHILE OPTIMIZING CURB RAMP LENGTH.

ELEVATION CHANGE TAKES PLACE FROM THE EXISTING TO NEW FRONT OF GUTTER, PATCH IS USED TO MATCH THE NEW GUTTER FACE INTO THE EXISTING ROADWAY.

9) DRILL AND GROUT NO. 4 EPOXY-COATED 18" LONG TIE BARS AT 30" CENTER TO CENTER INTO EXISTING CONCRETE PAVEMENT 1'MINIMUM FROM ALL JOINTS.

FOR USE ON CURB RAMP RETROFITS

...... ISITIVE FLOW LINE DRAINAGE SHALL BE MAINTAINED THROUGH THE PEDESTRIAN ACCESS ROUTE (PAR) AT A 2X MAXIMUM. PONDING SHALL BE PRESENT IN THE PAR

24" 8-12"

FOR CURB MACHINE PLACEMENT AROUND RADIUS (S)
(REGARDLESS OF RAMP TYPE)

ONLY ALLOWED PER ENGINEER'S APPROVAL

3) PAVE FULL WALK WIDTH.

O "S" SLOPES ON FANS SHALL ONLY BE USED WHEN ALL OTHER FEASIBLE OPTIONS HAVE BEEN EVALUATED AND DEEMED IMPRACTICAL.

THESE LONGITUDINAL SLOPE RANGES SHALL BE THE STARTING POINT, IF SITE CANDITIONS WARRANT, LONGITUDINAL SLOPES UP TO 8.3% OR FLATTER ARE ALLOWED.

LANDING AREA - 4' X 4' MIN. (5' X 5' MIN. PREFERRED) DIMENSIONS AND MAX 2.0% SLOPE IN ALL DIRECTIONS. LANDING SHALL BE FULL WIDTH OF INCOMING PARS.

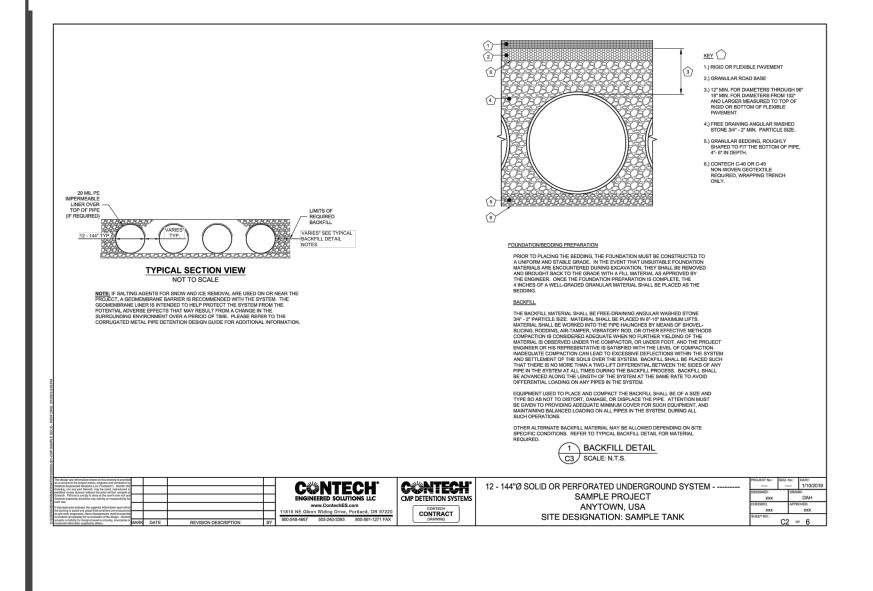
PEDESTRIAN CURB RAMP DETAILS

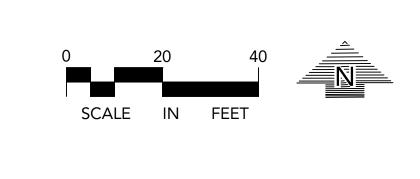
OPTIONAL SILL CURB WHEN SIDEWALK IS AT BACK OF CURB

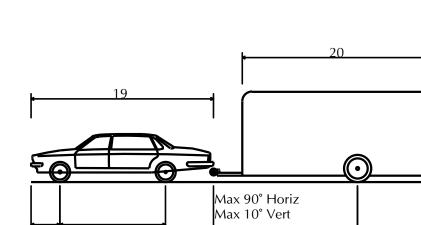
CONCRETE SILL TO BE USED ONLY WHEN SPECIFIED IN THE PLAN.

RECTANGULAR DETECTABLE WARNINGS SHALL BE SETBACK 3" FROM THE BACK OF CURB.RADIAL DETECTABLE WARNINGS SHALL BE SETBACK 3" MINIMUM TO 6" MAXIMUM FROM THE BACK OF CURB.

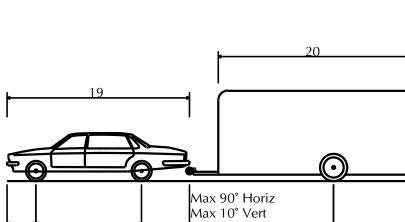
USED WHEN RIGHT-OF-WAY
WHEN THE BOULEVARD IS 4'WIDE OR LESS, THE TOP OF CURB TAPER SHALL MATCH THE RAMP
IS CONSTRAINED
WHEN RIGHT-OF-WAY
WHEN THE BOULEVARD IS 4'WIDE OR LESS, THE TOP OF CURB TAPER SHALL MATCH THE RAMP
SLOPES TO REDUCE REGATIVE BOULEVARD SLOPES FROM THE TOP BACK OF CURB TO THE PAR.







P/B - Car and Trailer Overall Length Overall Width Overall Body Height Min Body Ground Clearance Max Track Width Lock-to-lock time Max Steering Angle (Virtual)



42.000ft 8.000ft 6.305ft 0.681ft 8.000ft 4.00s 31.60°

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CADD QUALIFICATION

LEXINGTON

APARTMENTS

PLANNING CIVIL ENGINEERING

ENVIRONMENTAL

www.loucksinc.com

LAND SURVEYING LANDSCAPE ARCHITECTURE

7200 Hemlock Lane, Suite 300 Maple Grove, MN 55369 763.424.5505

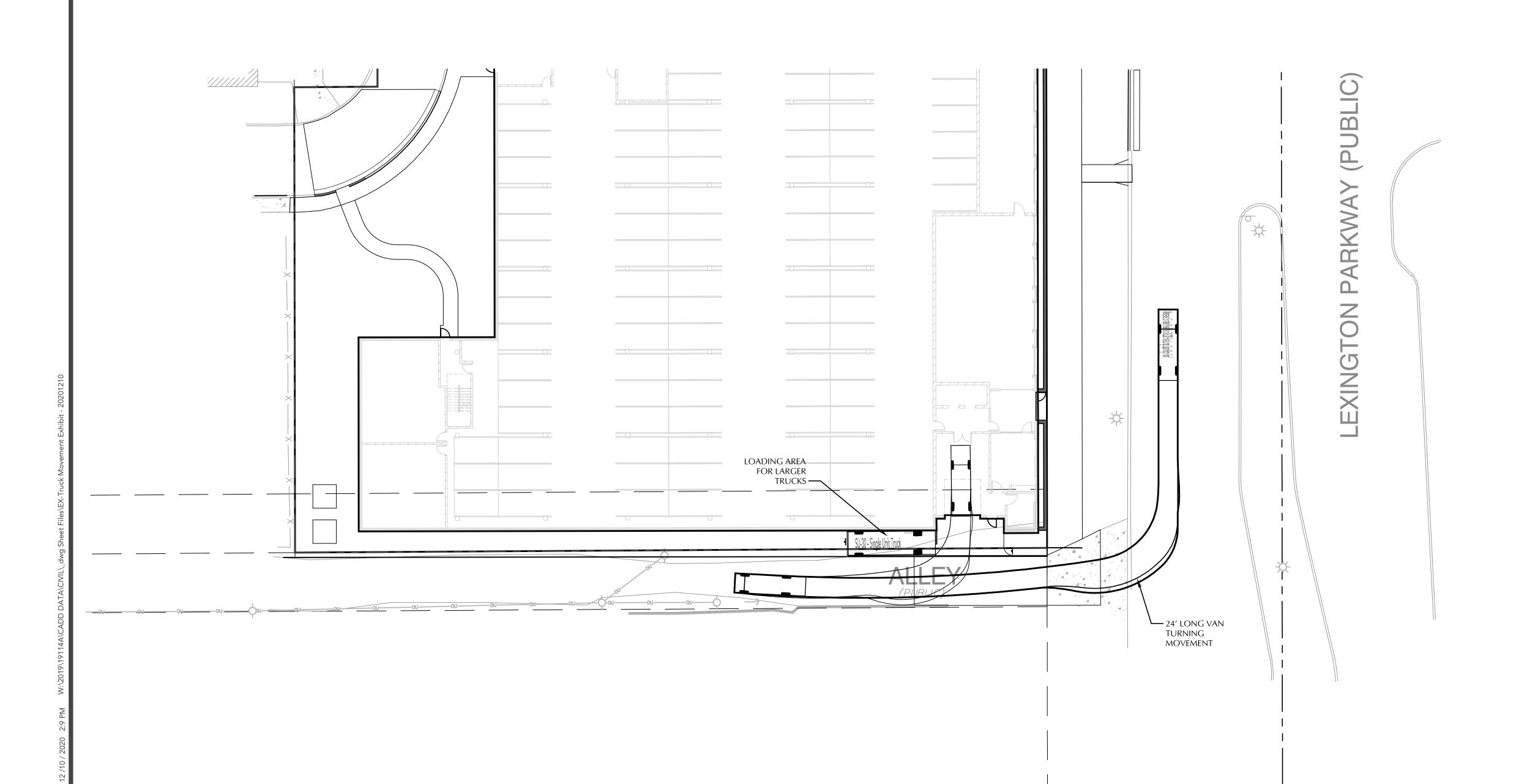
SUBMITTAL/REVISIONS CITY SUBMITTAL 12/10/20 CITY SUBMITTAL

PROFESSIONAL SIGNATURE I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

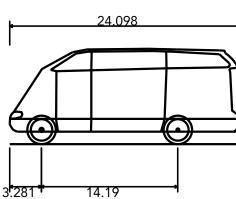
License No. QUALITY CONTROL Loucks Project No. PJD Project Lead DDL PJD Drawn By Checked By 12/10/20 **Review Date** SHEET INDEX CIVIL NOTES C1-1 DEMO SHEET SITE PLAN GRADING PLAN

C2-1 C3-1 C3-2 SWPPP C3-3 SWPPP NOTES C4-1 UTILITY PLAN C8-1 CIVIL DETAILS LANDSCAPE PLAN L1-2 LANDSCAPE NOTES



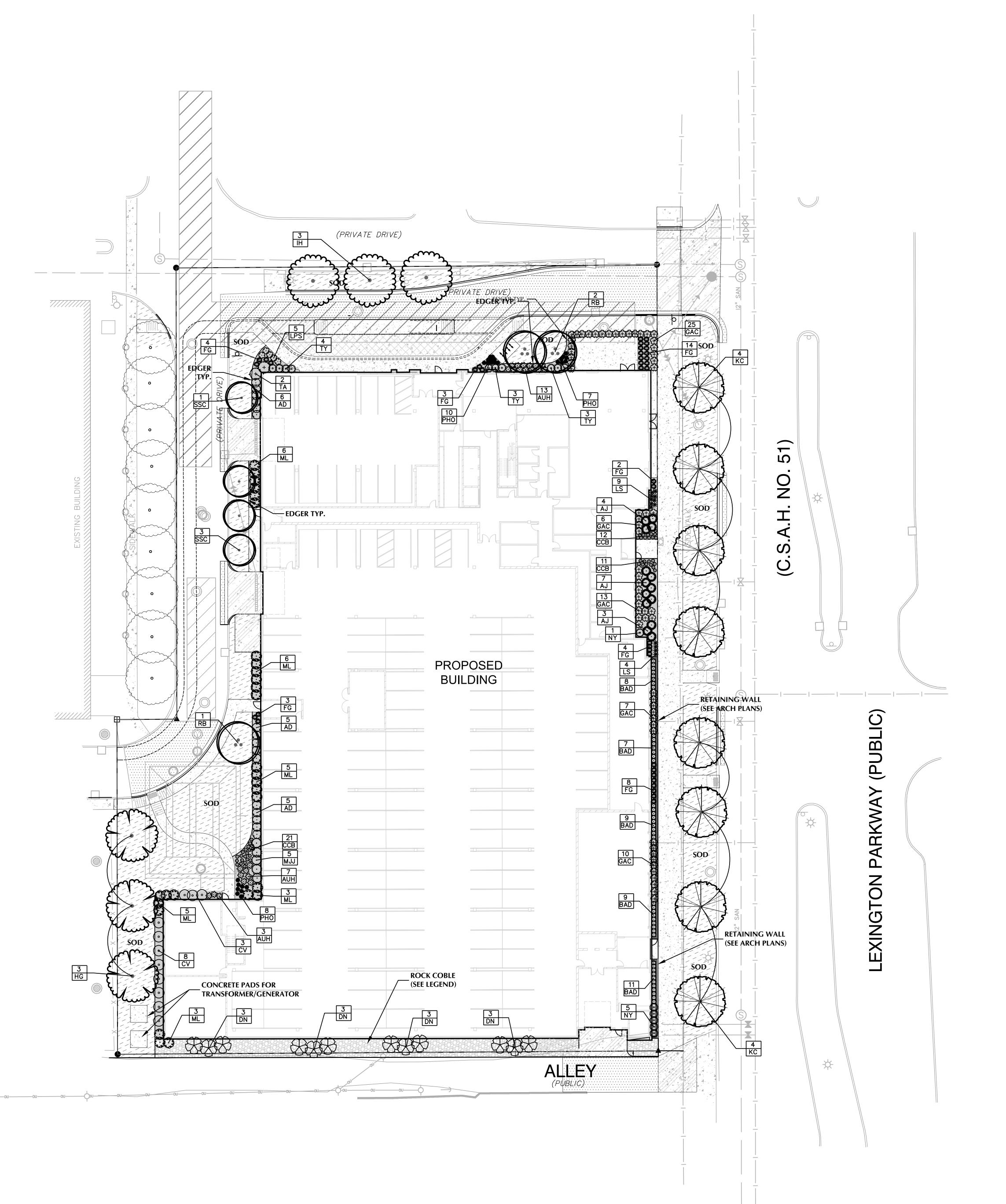


PASSANGER CAR W/ TRAILER TURNING MOVEMENT



Lock-to-lock time Wall to Wall Turning Radius

TRUCK TURNING **EXHIBIT**



DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE
	3	HARVEST GOLD LINDEN	Tilia mongolica `Harvest Gold`	B & B	2.5"Cal
	3	IMPERIAL HONEYLOCUST	Gleditsia triacanthos `Impcole` TM	B & B	2.5"Cal
·	3	RIVER BIRCH CLUMP	Betula nigra	B & B	8` HGT
	8	SIENNA GLEN MAPLE	Acer freemanii `Sienna Glen`	B & B	2.5"Cal
ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE
$\overline{\bullet}$	4	SPRING SNOW CRABAPPLE	Malus x `Spring Snow`	B & B	1.5"Cal
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE
AD	16	ARCTIC FIRE DOGWOOD	Cornus sericea `Artic Fire`	5 gal	24" HGT
CV	11	COMPACT AMERICAN VIBURNUM	Viburnum trilobum `Bailey Compact`	5 gal	24" HGT
N	12	DIABLO PURPLE NINEBARK	Physocarpus opulifolius `Monlo` TM	5 gal	24" HGT
GAC	61	GREEN MOUND ALPINE CURRANT	Ribes alpinum `Green Mound`	5 gal	24" HGT
_PS	5	LITTLE PRINCESS SPIREA	Spirea japonica `Little Princess`	5 gal	24" HGT
ML	28	MISS KIM LILAC	Syringa patula `Miss Kim`	5 gal	24" HGT
GRASSES	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE
FG	38		Calamagrostis x acutiflora `Karl Foerster`	_	IVIIIN SIZE
rG	38	FEATHER REED GRASS	Calamagrostis x acutillora Kan Foerster	1 gal	
CONIFEROUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE
ĄJ	14	ANDORRA COMPACT JUNIPER	Juniperus horizontalis `Plumosa Compacta`	5 gal	18" SPRD
MJJ	5	MINT JULEP JUNIPER	Juniperus chinensis `Monlep`	5 gal	18" SPRD
NΥ	6	NOVA YEW	Taxus cuspidata `Nova`	5 gal	36" HGT
TY	10	TAUNTON YEW	Taxus x media `Taunton`	5 gal	18" SPRD
TA	2	TECHNY ARBORVITAE	Thuja occidentalis `Techny`	10 gal	36" HGT
	1	T	I	1	T
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE
AUH	23	AUREOMARGINATA HOSTA	Hosta montana `Aureomarginata`	1 gal	
BAD	44	BAJA DAYLILY	Hemerocallis x `Baja`	1 gal	
ССВ	44	CARAMEL CORAL BELLS	Heuchera x `Caramel`	1 gal	
LS	13	LITTLE SPIRE RUSSIAN SAGE	Perovskia x `Little Spire`	1 gal	
PHO	25	PATRIOT HOSTA	Hosta x `Patriot`	1 gal	1

CADD QUALIFICATION CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. HE SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE nformation and reference only. All intentional or unintentional evisions, additions, or deletions to these CADD files shall be VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE or deletions and that party shall hold harmless and indemnify the SUBMITTAL/REVISIONS

> CITY SUBMITTAL CITY SUBMITTAL

LEXINGTON

APARTMENTS

LOUCKS

PLANNING CIVIL ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE

7200 Hemlock Lane, Suite 300 Maple Grove, MN 55369 763.424.5505

ENVIRONMENTAL

www.loucksinc.com

ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE 11/19/20 CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES,

LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN

ALL UNDERGROUND UTILITIES SHALL BE LAID SO THAT TRENCHES DO NOT CUT

EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION

THE ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS

TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. ANY

VERIFY EXISTING/PROPOSED IRRIGATION SYSTEM LAYOUT AND CONFIRM COMPLETE

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION

THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.

THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR

THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN IRRIGATION

IRRIGATION SYSTEM IS NOT TO SPRINKLE ACROSS PAVEMENT. THE SYSTEM SHALL

SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIAL

ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED

CHANGE IN ALIGNMENT MUST BE APPROVED BY LANDSCAPE ARCHITECT.

LIMITS OF IRRIGATION PRIOR TO SUPPLYING SHOP DRAWINGS.

INCORPORATE A RAIN SENSOR INTO IRRIGATION SYSTEM.

PLANTING/SOD/SEED HAS BEEN ESTABLISHED.

THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.

AND/OR INTENT OF THE PROJECT'S LAYOUT.

SHALL BE REPAIRED AT NO COST TO THE OWNER.

AND NOTIFY LANDSCAPE ARCHITECT OF SAME.

WORK OR MATERIALS SUPPLIED.

LAWNS AND SITE ELEMENTS DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME

CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10' - 0" CLEARANCE).

PROFESSIONAL SIGNATURE

hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that m a duly Licensed Landscape Architect under the laws of the State of Minnesota.

License No. LAYOUT PLAN AND SPECIFICATION AS A PART OF THE SCOPE OF WORK WHEN BIDDING. QUALITY CONTROL INSTALLATION. IT SHALL BE THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL SODDED/SEEDED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING

Loucks Project No. PJD Project Lead DDL

DDL Checked By 12/10/20 **Review Date** SHEET INDEX CIVIL NOTES DEMO SHEET SITE PLAN PLANTINGS OUTSIDE THE LIMITS OF IRRIGATION ARE TO BE WATERED REGULARLY UNTIL

C3-1 GRADING PLAN SWPPP NOTES UTILITY PLAN CIVIL DETAILS

> LANDSCAPE PLAN LANDSCAPE NOTES



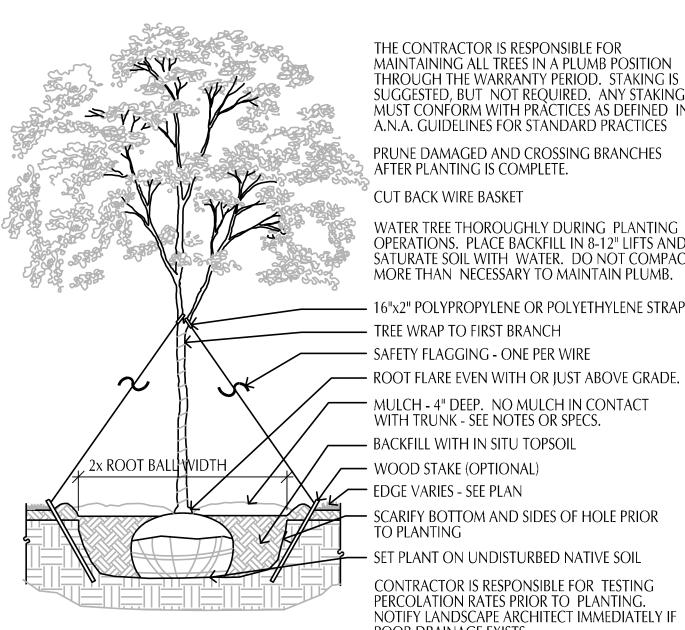


GROWTH REQUIREMENTS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

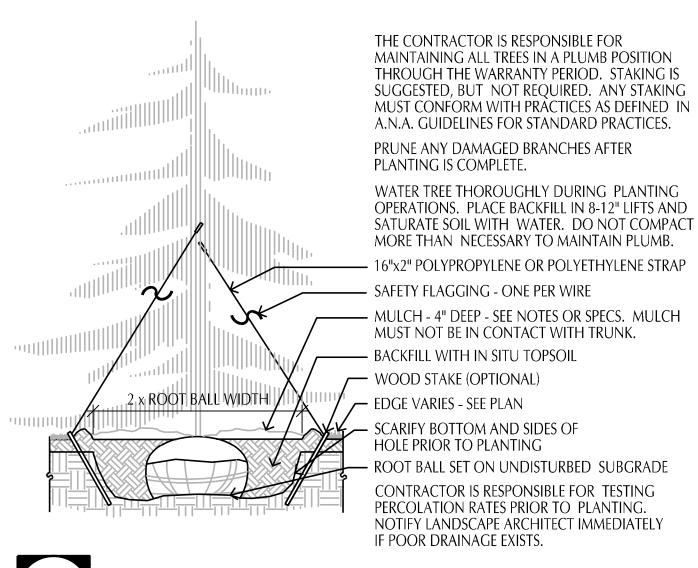
THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.





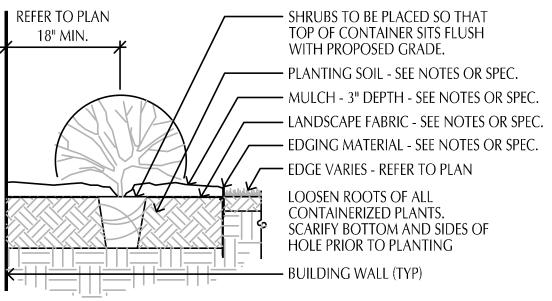
MUST CONFORM WITH PRÀCTICES AS DEFINED IN A.N.A. GUIDELINES FOR STANDARD PRACTICES PRUNE DAMAGED AND CROSSING BRANCHES AFTER PLANTING IS COMPLETE. WATER TREE THOROUGHLY DURING PLANTING OPERATIONS. PLACE BACKFILL IN 8-12" LIFTS AND SATURATE SOIL WITH WATER. DO NOT COMPACT MORE THAN NECESSARY TO MAINTAIN PLUMB. —— 16"x2" POLYPROPYLENE OR POLYETHYLENE STRAP — TREE WRAP TO FIRST BRANCH — SAFETY FLAGGING - ONE PER WIRE —— ROOT FLARE EVEN WITH OR JUST ABOVE GRADE. MULCH - 4" DEEP. NO MULCH IN CONTACT WITH TRUNK - SEE NOTES OR SPECS. —— BACKFILL WITH IN SITU TOPSOIL — SCARIFY BOTTOM AND SIDES OF HOLE PRIOR SET PLANT ON UNDISTURBED NATIVE SOIL CONTRACTOR IS RESPONSIBLE FOR TESTING PERCOLATION RATES PRIOR TO PLANTING. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF



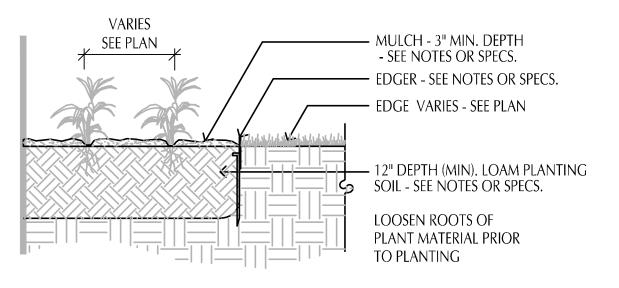




Coniferous Tree.DWG









LANDSCAPE INSTALLATION:

COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.

NO PLANTING WILL BE INSTALLED UNTIL COMPLETE GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

WHERE SOD/SEED ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED

SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC. SEED ALL AREAS DISTURBED DUE TO GRADING OTHER THAN THOSE AREAS NOTED TO RECEIVE SOD. SEED SHALL BE INSTALLED AND MULCHED AS PER MNDOT SPECS.

SOD ALL DESIGNATED AREAS DISTURBED DUE TO GRADING. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND.

ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN. UNLESS NOTED OTHERWISE, ALL SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED MINIMUM SHRUB HEIGHT OR WIDTH. ORNAMENTAL TREES SHALL HAVE NO V CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' ABOVE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 5' ABOVE FINISHED GRADE.

ANY CONIFEROUS TREE PREVIOUSLY PRUNED FOR CHRISTMAS TREE SALES SHALL NOT BE USED. ALL CONIFEROUS TREES SHALL BE FULL FORM, NATURAL TO THE SPECIES, WITHOUT PRUNING.

PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.

NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND/OR QUOTATION.

ALL PROPOSED PLANTS SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN. ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED.

ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH A 27-3-3 SLOW RELEASE FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS. PLANTS MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 27-3-3 AT 6 OZ PER 2.5" CALIPER PER TREE AND 3 OZ PER SHRUB WITH AN ADDITIONAL APPLICATION OF 27-3-3 THE FOLLOWING SPRING IN THE TREE SAUCER.

ALL PLANTING AREAS RECEIVING GROUND COVER, PERENNIALS, ANNUALS, AND/OR VINES SHALL RECEIVE A MINIMUM OF 12" DEPTH OF PLANTING SOIL CONSISTING OF AT LEAST 45 PARTS TOPSOIL. 45 PARTS PEAT OR MANURE AND 10 PARTS SAND.

ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. REMOVE ALL FLAGGING AND LABELS FROM PLANTS.

WRAPPING MATERIAL SHALL BE CORRUGATED PVC PIPING 1" GREATER IN CALIPER THAN THE TREE BEING PROTECTED OR OUALITY, HEAVY, WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER

BLACK POLY EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS, AND ANNUALS WHERE BED MEETS SOD/SEED UNLESS NOTED OTHERWISE.

ALL ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH WITH NO WEED BARRIER.

ALL SHRUB BED MASSINGS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH AND FIBER MAT WEED BARRIER.

ALL TREES TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.

SPREAD GRANULAR PRE EMERGENT HERBICIDE (PREEN OR EQUAL) PER MANUFACTURER'S RECOMMENDATIONS UNDER ALL MULCHED AREAS.

MAINTENANCE STRIPS TO HAVE EDGER AND MULCH AS SPECIFIED/INDICATED ON DRAWING OR IN SPECIFICATION.

IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE MUST BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND/OR

CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF ALL LANDSCAPE AND SITE IMPROVEMENTS.

CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE PROGRAM INCLUDING, BUT NOT NECESSARILY LIMITED TO, PRUNING, FERTILIZATION AND DISEASE/PEST

CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE.

WARRANTY (ONE FULL GROWING SEASON) FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

UNLESS NOTED OTHERWISE THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEED/SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.

FALL SODDING IS GENERALLY ACCEPTABLE FROM AUGUST 15 - NOVEMBER 1. FALL SEEDING FROM AUGUST 15 - SEPTEMBER 15; DORMANT SEEDING IN THE FALL SHALL NOT OCCUR PRIOR TO NOVEMBER 1. FALL CONIFEROUS PLANTING MAY OCCUR FROM AUGUST 15 - OCTOBER 1 AND DECIDUOUS PLANTING FROM THE FIRST FROST UNTIL NOVEMBER 15. PLANTING OUTSIDE THESE DATES IS NOT RECOMMENDED. ANY ADJUSTMENT MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

PROTECT ALL EXISTING OAKS ON SITE SCHEDULED TO REMAIN. IF EXISTING OAKS ARE DAMAGED IN ANY MANNER, ABOVE OR BELOW GROUND IN THE ROOT SYSTEM, AN ASPHALTIC TREE PRUNING PAINT SHOULD BE APPLIED IMMEDIATELY AFTER WOUNDING. OAKS ARE NOT TO BE PRUNED, REMOVED OR TRANSPLANTED BETWEEN APRIL 15 AND JULY 1. NOTIFY LANDSCAPE ARCHITECT IF THESE DATES ARE UNAVOIDABLE.

LANDSCAPE CONTRACTOR SHALL ESTABLISH TO HIS SATISFACTION THAT SOIL AND COMPACTION CONDITIONS ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AT AND AROUND THE BUILDING SITE.

LEXINGTON

APARTMENTS

St. Paul, N

CIVIL ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE ENVIRONMENTAL 7200 Hemlock Lane, Suite 300 Maple Grove, MN 55369

> 763.424.5505 www.loucksinc.com

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SUBMITTAL/REVISIONS CITY SUBMITTAL CITY SUBMITTAL 12/10/20

PROFESSIONAL SIGNATURE I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws

of the State of Minnesota. License No.

QUALITY CONTROL Loucks Project No. PJD Project Lead DDL Drawn By DDL Checked By 12/10/20 Review Date SHEET INDEX CIVIL NOTES C1-1 **DEMO SHEET** C2-1 SITE PLAN C3-1 GRADING PLAN

C3-3 SWPPP NOTES C4-1 UTILITY PLAN C8-1 CIVIL DETAILS LANDSCAPE PLAN LANDSCAPE NOTES

> **LANDSCAPE DETAILS**