

ZONING COMMITTEE STAFF REPORT

1. **FILE NAME:** Larpenteur Crossing Sarin Devt. **FILE #** 18-036-924
 2. **APPLICANT:** Leang Sarin **HEARING DATE:** March 29, 2018
 3. **TYPE OF APPLICATION:** Conditional Use Permit
 4. **LOCATION:** 1330 Larpenteur Ave W, and 1672 Hamline Ave., SE corner of Larpenteur and Hamline
 5. **PIN & LEGAL DESCRIPTION:** 222923120171, Chelsea Heights Subj to Larpenteur Ave; Lots 29 & 30 Blk 3; 222923120023, Chelsea Heights Lot 28 Block 3
 6. **PLANNING DISTRICT:** 10 **PRESENT ZONING:** B2
 7. **ZONING CODE REFERENCE:** § 65.513 ; §61.501, §61.502
 8. **STAFF REPORT DATE:** April 5, 2018 **BY:** Josh Williams
 9. **DATE RECEIVED:** March 13, 2018 **60-DAY DEADLINE FOR ACTION:** May 12, 2018
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- A. **PURPOSE:** Conditional use permit for drive-thru sales, with modification of special conditions for drive thru lane separation from residential property (60' required, 54.9' proposed), vehicular ingress and egress separation from residential property (60' required, 20.9' proposed), and 6' buffer with screen planting along residential property (6' opaque fence on top of 2.6' wall proposed).
- B. **PARCEL SIZE:** 13,939 s.f. (approx. 0.32 acres)
- C. **EXISTING LAND USE:** Restaurant and dry cleaner
- D. **SURROUNDING LAND USE:**
 - North: Commercial (Roseville)
 - East: Commercial (Falcon Heights)
 - South: Residential (RM2)
 - West: Commercial (B2)
- E. **ZONING CODE CITATION:** § 65.513 lists standards and conditions for drive-through sales and services; § 61.501 lists general conditions that must be met by all conditional uses; § 61.502 authorizes the planning commission to modify any or all special conditions after making specified findings.
- F. **PARKING:** Zoning Code § 63.207 requires a minimum of 1 off-street parking space per 400 square feet of restaurant space. The proposed building would contain two restaurants, and has a gross floor area of 3,022 square feet. The proposed project therefore requires 8 off-street parking spaces. The applicant proposes 11 off-street parking spaces, including 1 ADA-compliant space.
- G. **HISTORY/DISCUSSION:**
- H. **DISTRICT COUNCIL RECOMMENDATION:** The District 10 Council is reviewing the project on April 9, 2018 and will provide a recommendation prior to the public hearing before the Zoning Committee.
- I. **FINDINGS:**
 1. The applicant is proposing to remove two existing commercial buildings (a restaurant and a dry cleaner) on the two properties and construct a new, approximately 3,000 square foot building, which would be occupied by the restaurant currently operating on the site and second, new restaurant, which would offer drive-through service.
 2. § 61.501 lists five standards that all conditional uses must satisfy:
 - (a) *The extent, location and intensity of the use will be in substantial compliance with the Saint Paul Comprehensive Plan and any applicable subarea plans which were approved by the city council.* This condition is NOT met. The Future Land Use Map of the Comprehensive Plan identified Hamline Avenue as a Residential Corridor. Larpenteur Avenue is not classified by the Map, but in the area of the proposed project is characterized by a mix of residential uses, with commercial development around intersections with other arterial streets. This is similar in character to other identified Residential Corridors, such as Hamline,

Como, Cleveland, and St. Clair Avenues. The Land Use Chapter describes Residential Corridors as “sectors of streets that run through Established Neighborhoods; predominantly characterized by medium density residential uses”. The area immediately to the west and south of the proposed development is categorized as an Established Neighborhood. Two policies in the Land Use Chapter address development in Residential Corridors. Policy 1.1 calls for the City to “Guide the development of housing in Established Neighborhoods, commercial area within Established Neighborhoods, and in Residential Corridors”. Policy 1.9 calls for the City to “Encourage the development of medium density multi-family housing along Residential Corridors”. One policy addresses commercial development in Established Neighborhoods: policy 1.7 calls for the City to “permit neighborhood serving commercial businesses compatible with the character of Established Neighborhoods” in locations where commercial development currently exists or at intersections of arterial and collector streets or transit routes. These policies suggest that some commercial development at the proposed project location is appropriate, but only provided it is neighborhood serving and compatible with the essential residential character of the surrounding area. Drive-throughs invite greater amounts of vehicular traffic than similar businesses without drive-throughs, and require extended vehicle idling time. They also result in additional noise impacts on adjacent properties. These inherent impacts of drive-through uses are not compatible with areas of an essential residential character, and therefore a drive-through at the proposed location is not consistent with the Saint Paul Comprehensive Plan.

A drive-through at the proposed location is also inconsistent with Policy HLU (Housing and Land Use) 1.3.3 of the the Como Community Plan, which calls for “appropriate buffers and transitions” for redevelopment along Larpenteur to protect the residential character of the adjoining neighborhood. The project as proposed does not meet minimum standards for distance separation from adjacent residential uses, suggesting there is not adequate buffering of the use.

- (b) *The use will provide adequate ingress and egress to minimize traffic congestion in the public streets.* It is not clear whether this condition can be met. The site plan for the proposed use shows stacking for six vehicles in the drive-through lane, including one vehicle at the service window. However, any additional vehicles queueing would result in vehicles blocking internal circulation lanes and impairing ingress and egress via Hamline Avenue. If a conditional use permit is approved, it should be subject to the following conditions of approval:
- Approval by appropriate City staff of a traffic study which documents expected overall traffic volumes and expected drive-through traffic volumes, and evaluates resulting impacts on vehicle ingress and egress, and finds no substantial impacts to the public right-of-way. Fulfillment of this condition shall be demonstrated by final site plan approval.
 - Submission by the applicant or applicant's agent, one year from the date of approval, of a report which documents actual traffic volumes at drive-through and that there are no substantial impacts to the public right-of-way.
 - Substantial impacts to the public right-of-way shall not occur, and any such impacts shall constitute violation of this condition and be grounds for revocation of the conditional use permit.
- (c) *The use will not be detrimental to the existing character of the development in the immediate neighborhood or endanger the public health, safety and general welfare.* It is not clear whether this condition can be met. The underlying use of two restaurants is consistent with the character of the immediate neighborhood, and will not endanger the public health, safety, or general welfare. However, the potential for impacts to the public right-of-way resulting from drive-through traffic volumes exceeding the capacity of the site has not been sufficiently evaluated. Congestion in the public right-of-way increases the potential for conflicts between vehicles and between vehicles and pedestrians or bicycles, which can endanger public

safety. To ensure the use does not result in a threat to public safety, if a conditional use permit is approved, it should be subject to the following conditions of approval:

- Approval by appropriate City staff of a traffic study which documents expected overall traffic volumes and expected drive-through traffic volumes, and evaluates resulting impacts on vehicle ingress and egress, and finds no substantial impacts to the public right-of-way. Fulfillment of this condition shall be demonstrated by final site plan approval.
 - Submission by the applicant or applicant's agent, one year from the date of approval, of a report which documents actual traffic volumes at drive-through and that there are no substantial impacts to the public right-of-way.
 - Substantial impacts to the public right-of-way shall not occur, and any such impacts shall constitute violation of this condition and be grounds for revocation of the conditional use permit.
- (d) *The use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.* This condition is NOT met. The proposed use would result in increased vehicular traffic and noise in close proximity to existing residential uses on residentially-zoned lots. Excessive noise and traffic are incompatible with the reasonable enjoyment of residential properties, and would create a disincentive to continued investment in these properties.
- (e) *The use shall, in all other respects, conform to the applicable regulations of the district in which it is located.* This condition is NOT met. The project as proposed would require modification of standards of § 65.513(a) and (b) for drive-through sales.
3. § 65.513 lists standards and conditions for drive-through sales and services:
- (a) *Drive-through lanes and service windows shall be located to the side or rear of buildings, shall not be located between the principal structure and a public street, and shall be at least sixty (60) feet from the closest point of any residentially zoned property or property occupied with a one-, two, or multiple-family dwelling.* This finding is NOT met. The south curb of the drive-through lane is located 54.9' from the property line to the south.
- (b) *Points of vehicular ingress and egress shall be located at least sixty (60) feet from the intersection of two streets and at least sixty (60) feet from abutting residentially zoned property.* This finding is NOT met. The points of ingress and egress on Hamline and Larpenteur Avenues are both located more than 60' from the intersection of those two streets. However, the outside curb line of the Hamline Avenue site access, at its narrowest point, is located approximately 21' feet from the residential lot to the south of the site. The width of the subject site, measured north-south, is 107.95'. It is not possible on the Hamline frontage of the property to locate the point of vehicular ingress and egress the required minimum distance from both the intersection of Larpenteur and Hamline and the abutting residential property to the south.
- (c) *Speaker box sounds from the drive-through lane shall not be plainly audible so as to unreasonably disturb the peace and quiet of abutting residential property.* This finding can be met. The drive-through speaker box is located as far from the abutting residential property as possible, and the applicant can provide required screening fencing and plantings. If the conditional use permit is approved, operation of the speaker box at the minimal functional volume should be a condition of approval.
- (d) *A six-foot area with screen planting and an obscuring wall or fence shall be required along any property line adjoining an existing residence or residentially zoned property.* This finding can be met. The applicant is proposing 6' feet of landscaped area between the parking area and the common boundary with the adjoining residential property, and has proposed a 6' foot obscuring (opaque) fence atop a 2.6' concrete wall. If the conditional use permit is approved,

provision of screening plantings, to be provided and maintained by applicant or applicant's agent, should be a condition of approval. Fulfillment of this condition shall be demonstrated by final site plan approval. The applicant or applicant's agent shall obtain and provide proof of an access agreement with the adjoining property owner for maintenance purposes if determined necessary by the zoning administrator.

(e) *Stacking spaces shall be provided for each drive-through lane. Banks, credit unions, and fast-food restaurants shall provide a minimum of four (4) stacking spaces per drive-through lane. Stacking for all other uses shall be determined by the zoning administrator. This condition is met. The applicant proposes a total of six (6) stacking spaces.*

4. The planning commission may approve modifications of special conditions when specific criteria of §61.502 are met: *strict application of such special conditions would unreasonably limit or prevent otherwise lawful use of a piece of property or an existing structure and would result in exceptional undue hardship to the owner of such property or structure; provided, that such modification will not impair the intent and purpose of such special condition and is consistent with health, morals and general welfare of the community and is consistent with reasonable enjoyment of adjacent property.* This criteria for modification of special conditions are NOT met. The standards for siting proposed drive-through lanes and points of vehicular ingress and egress at a minimum distant from abutting residential properties are intended to protect the occupants of those abutting properties from external effects of drive-throughs, such as vehicle and speaker noise, traffic entering and exiting the site, exhaust from idling vehicles, etc. Modification of these standards would impair the intent and purpose of the special conditions and would be inconsistent with the reasonable enjoyment of the adjacent residential properties. The strict application of these conditions does not unreasonably limit or prevent the lawful proposed use of the subject property for two restaurants.

J. **STAFF RECOMMENDATION:** Based on findings 2(a), (d), and (e), 3(a) and (b), and 4, staff recommends DENIAL of the conditional use permit for drive-thru sales, and DENIAL of modification of special conditions for drive-through lane separation from residential property (60' required) to allow for 54.9' separation, and vehicular ingress and egress separation from residential property (60' required) to allow for 20.9' separation.

closing date 08/31/18
LS



CONDITIONAL USE PERMIT APPLICATION
Department of Planning and Economic Development
Zoning Section
1400 City Hall Annex
25 West Fourth Street
Saint Paul, MN 55102-1634
(651) 266-6589

Zoning Office Use Only
File #: 18-03624
Fee: _____
Tentative Hearing Date:
3-29-18

PD=10

222923 12 0171

222923 12 0023

APPLICANT

Name: HUNG LY Email: hungly@charter.net
Address: 2924 W. St. Germain St.
City: St. Cloud State: MN Zip: 56301 Daytime Phone: 320-237-7411
Name of Owner (if different): LEANG SARIN
Contact Person (if different): Hung Ly Phone: 320-237-7411

PROPERTY LOCATION

Address/Location: 1330 LARpenteur Ave. W. St. Paul.
Legal Description: Lots 29 & 30, Block 3, Chelsea Heights, Ramsey County, MN
Current Zoning: B-2
(attach additional sheet if necessary)

TYPE OF PERMIT: Application is hereby made for a Conditional Use Permit under provisions of Chapter 65, Section 513, Paragraph _____, of the Zoning Code.

SUPPORTING INFORMATION: Explain how the use will meet all of the applicable standards and conditions. If you are requesting modification of any special conditions or standards for a conditional use, explain why the modification is needed and how it meets the requirements for modification of special conditions in Section 61.502 of the Zoning Code. Attach additional sheets if necessary.

- SEE ATTACHMENT LETTER.

Drive-Through sales and service

RECEIVED
MAR 08 2018
BY: _____

Required Site Plan is attached

Applicant's Signature: Hung Ly Date: 3/8/18 City Agent: pd 3/8/18

Request for Continuance

Date 3/20/18

Dan Edgerton, Chair
Zoning Committee
City of Saint Paul
1400 City Hall Annex
Saint Paul, Minnesota 55102

Re: Zoning File # 18-0-36924

Dear Mr. Edgerton:

I am the applicant or the applicant's duly appointed representative for this zoning file.

I request a continuance of the public hearing on the application in this zoning file, which is presently scheduled before the Zoning Committee on 03/29/18.

I understand that a continuance of the public hearing before the Zoning Committee means that the decision of the Planning Commission on this application, which is presently scheduled for 04/06/18, will also be continued.

I request that the Zoning Committee continue the public hearing for this zoning file to 04/21/18, I understand that the Planning Commission would then be scheduled to make their decision on 04/20/18.

I am aware of and understand the statutory requirements found in Minn. Statute § 15.99 (1995) requiring the City of Saint Paul to approve or deny this application within sixty days of its submission. I desire to extend the sixty day period for a City decision under Minn. Stat. §15.99 by 14 days to May 7-18, to accommodate the continuance I am requesting.

Sincerely,

Hung T. LT.
Signature of Applicant or
Applicant's duly appointed
representative.

HUNG T. LT.
Printed name of applicant or
applicant's duly appointed
representative



www.starkengineer.com
320-249-2611
Sauk Rapids, Minnesota

Civil Engineering
Site Planning
Sustainable Design

MEMORANDUM

Date: 3/12/2018
By: Wayne C.B. Stark, P.E.
To: Hung Ly, HL Architects
Project: Larpenteur Crossing, St. Paul

Subject: CUP and Variance request

Conditional use permit for drive-thru (Sec. 61-501):

- a. *The extent, location and intensity of the use will be in substantial compliance with the Saint Paul Comprehensive Plan and any applicable subarea plans which were approved by the city council.*

Within the currenting B-2 zoning on these parcels, the proposed coffee shop tenant is requesting a drive-thru that must be approved as a conditional use. The existing use of both parcels included in this project are commercial, therefore no change in use or zoning is requested. The drive-thru is located on the rear and side of the proposed building on the site per current City ordinance. It is our understanding that the extent, location and intensity of the proposed drive-thru will be in substantial compliance with the City's Comprehensive Plan.

- b. *The use will provide adequate ingress and egress to minimize traffic congestion in the public streets.*

The current ingress and egress to the project site includes two driveways off of Hamline Avenue and one right-in, right out driveway off of Larpenteur Avenue West. There is minimal drive lane delineation within the site. Within the proposed improvements, only one driveway is proposed off of Hamline Avenue while the driveway access from Larpenteur Avenue will basically remain as is. Proposed drive lanes with two-way traffic will maximize the vehicle turning movements within the site while minimizing traffic congestion on the adjacent streets.

- c. *The use will not be detrimental to the existing character of the development on the immediate neighborhood or endanger the public health, safety, and general welfare.*

The existing businesses located at the intersection of Hamline and Larpenteur Avenues include a gas station, eye clinic and automotive service center. At the project site, the existing dry cleaning and tailor business will be relocated while the existing seafood restaurant will be relocated within the proposed building. This project will improve the site and bring it more into compliance with the City's current zoning requirements.

- d. *The use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.*

This area along Larpenteur Avenue is highly visible with many commercial and retail businesses. Less than a block off of this street, the primary use is

residential. The proposed use is the same as the existing use while providing sufficient buffers to the residential areas. This project should not impede the normal and orderly development and improvement of the surrounding properties.

- e. *The use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

No other change in use is proposed with this project.

Variance request for drive-thru (Sec. 65-513):

- a. *Drive-thru lanes and service windows shall be located to the side and rear of the buildings, shall not be located between the principal structure and a public street, and shall be at least sixty (60) feet from the closest point of any residentially zoned property or property occupied with a one-, two-, or multiple-family dwelling.*

The drive-thru lane is located on the rear of the proposed building and the service window is located on the side of the proposed building. The drive-thru is not located between the principal structure, however the south curb line of the drive-thru is 54.9' from the south property line. Therefore, a variance is requested for the 60' separation requirement from the residential property to the south.

- b. *Point of vehicular ingress and egress shall be located at least sixty (60) feet from the intersection of two streets and at least sixty (60) feet from abutting residentially zoned property.*

The proposed driveway access to Hamline Avenue is located 72.4' south of the south curb line of Larpenteur Avenue while the proposed driveway access to Larpenteur Avenue is located 118.5' east of the east curb line of Hamline Avenue. Due to the parcel depth of 107.95 feet, it is not feasible to meet the 60' separation from the residential property on the south side. Therefore, a variance is requested for this ordinance.

- c. *Speaker box sounds from the drive-through lane shall not be plainly audible so as to unreasonably disturb the peace and quiet of abutting residential property.*

The proposed tenant who operates the drive-thru speaker will be made aware of this ordinance. In addition, a 6-foot high opaque plastic fence is proposed along the south lot line on top of a 2.6' concrete wall. This fence and wall should provide an acceptable sound buffer between the proposed drive-thru speaker and the abutting residential property.

- d. *A six-foot buffer area with screen planting and an obscuring wall or fence shall be required along the property line adjoining an existing residence or residentially zoned property.*

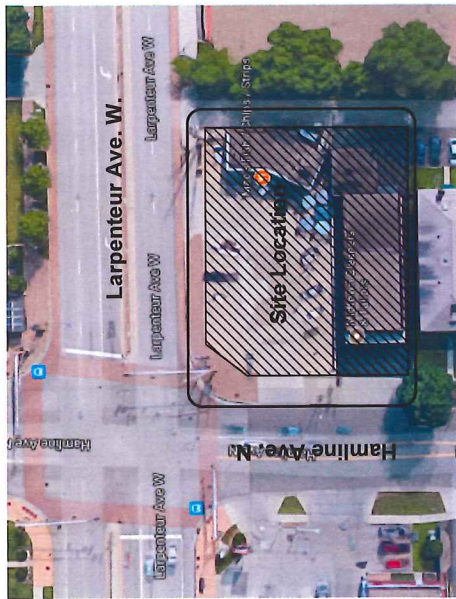
The 6-foot buffer requirement between the south lot line and the proposed south curb line is met with the current plans. A 2.6' concrete wall is proposed in this area with a 6' high opaque plastic fence on top of it. This wall and fence combination should provide an acceptable buffer between the project site and the adjoining residential property.

- e. *Stacking spaces shall be provided for each drive-through lane. Banks, credit unions, and fast-food restaurants shall provide a minimum of four (4) stacking spaces per drive-through lane. Stacking spaces for all other uses shall be determined by the zoning administrator.*

The drive-thru for the coffee shop tenant provides six (6) stacking spaces.

LARPENTEUR CROSSING: Sarin Development

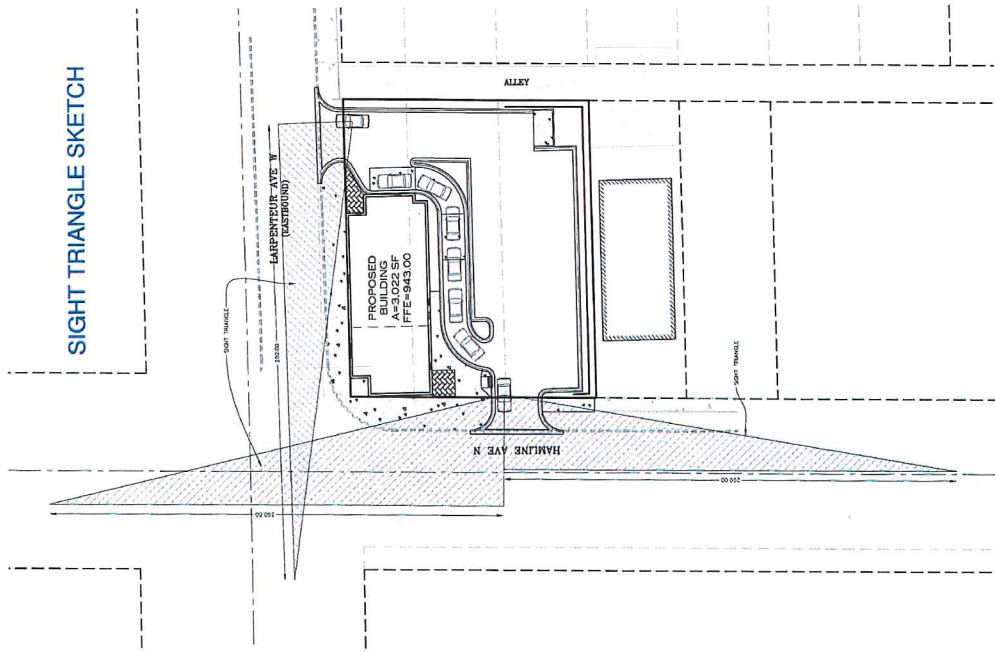
1330 Larpenteur Ave. West
St. Paul, MN 55113



1 AERIAL MAP
NOT TO SCALE



SIGHT TRIANGLE SKETCH



2 SIGHT TRIANGLE SKETCH
NOT TO SCALE



SHEET NO.	ARCHITECTURAL
TT	SHEET INDEX, AERIAL MAP, AND DRAFTING SYMBOLS
C-0	CERTIFICATE OF SURVEY
C-1	PROPOSED SITE PLAN
C-2	UTILITY PLAN
C-3	GRADING AND EROSION CONTROL PLAN
C-4	ARCHITECTURAL SITE PLAN AND DETAILS
L-1	LANDSCAPING PLAN
A1.0	FLOOR PLAN
A3.0	EXTERIOR ELEVATIONS
A4.0	BUILDING SECTION AND WALL SECTIONS

H Architects
320-237-7411 Email: bhngy@charter.net
2924 W. St. Germain St.
St. Paul, MN 55101

Professional Seal of the State of Minnesota
Professional Seal of the State of Minnesota
Professional Seal of the State of Minnesota
Professional Seal of the State of Minnesota



LARPENTEUR CROSSING: Sarin Development
1330 Larpenteur Ave. West
St. Paul, MN 55113

REVISIONS	
PROJECT NO.	TT
SHEET NO.	TT
DRAWN BY:	
DATE:	03-15-18

STREET TITLE
CODE ANALYSIS, AERIAL MAP,
AND DRAFTING SYMBOLS



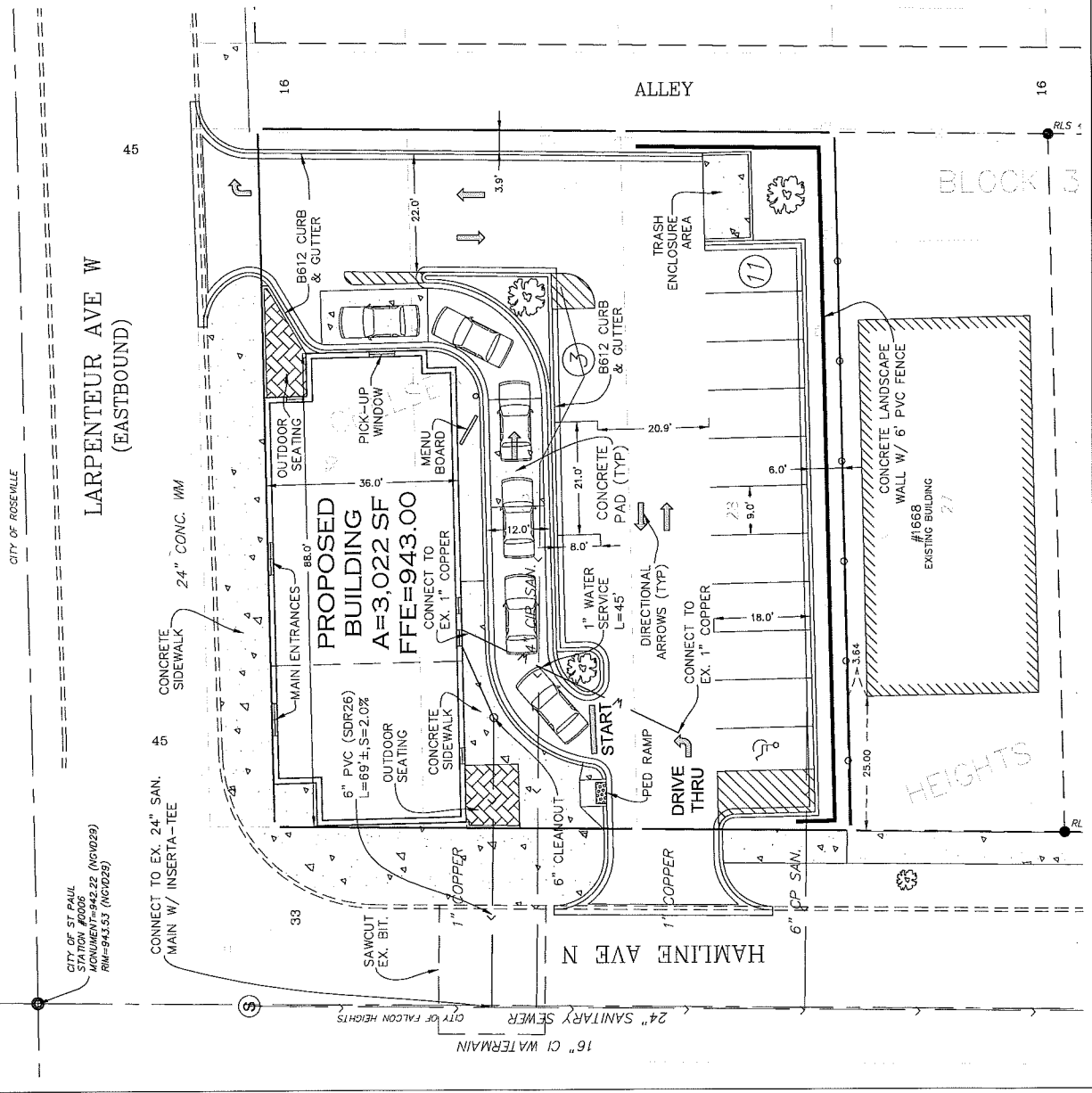
SCALE: 1" = 10'

NOTES:

1. BASE PLAN USED IS A SURVEY PREPARED BY ENGINEERING DESIGN & SURVEYING.
2. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS SHOWN ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT UTILITY COMPANIES VIA GOPHER STATE ONE-CALL ONLINE OR BY CALLING 811 OR 1-800-252-1166.
3. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RESTRICTIVE OF THE PROJECT SPECIFICATIONS, THE STANDARD SPECIFICATIONS OF THE CITY OF ST. PAUL AND THE LATEST EDITION OF MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
4. PROPOSED PARKING STALLS=14 (INCLUDES 1 ACCESSIBLE STALLS).

CITY NOTES:

1. NO PRIVATE FACILITIES IN THE RIGHT OF WAY. The developer is strictly prohibited from installing any private facilities, including but not limited to, but not limited to, lighting, signs, or landscaping, in the City's Right of Way. This includes staking conduit or cable into the public right of way to accommodate utility feeds to the property. Utilities are responsible for securing excavation permits to run their service into a site, and (where required) submitting plans for review by the Public Works Utility Review Committee. The Contractor shall contact Don Bjorkman, General Foreman, Lighting, Signal Maintenance, and (651)-266-9780, for removal or retention of existing signs and lighting. The Contractor shall assume responsibility (and related costs) for any damage or relocation. Access to signal controller and lighting cabinets must be maintained at all times. If fencing is required for a job site, a key or other means of access must be provided to the City of St. Paul's Traffic Operations Department. Contact Don Bjorkman, General Foreman Signals and Lighting at 651-266-9780 for more information.
2. ROADWAY RESTORATION: As per the City's "Standard Specification for Street Openings" policy, restoration on roadway surfaces less than 5 years old will require full width mill and overlay or additional degradation fees. Degradation fees are determined by contacting the Right of Way Service Desk at (651) 266-9151. Pavement restoration shall be completed by the St. Paul Public Works Department. The developer shall provide the City with a letter of agreement with the developer/contractor. Contact Street Maintenance at (651) 266-9700 for estimate of costs for pavement restoration.
3. SIGNING: Signs regulating parking and/or traffic on private property shall be installed by the property owner and shall be removed by the City at the end of the project. Signs within the property's ROW shall be installed by the City. New signs or the replacement of existing signs, as approved by Public Works Traffic Engineering, regulating parking and/or traffic in the public ROW for this development shall be installed by the City at the expense of the development. Contact Chris Gulden of Public Works 651-266-9778 two weeks in advance of needed sign work.
4. STREET SWEEPING: Street sweeping is an important temporary erosion control best management practice and shall be performed with the use of water. Dry sweeping is prohibited. Additionally, trucks hauling in and out of the site, for any activity including but not limited to, grading, paving, etc., needs to ensure clean off all mud traps to avoid dry buildup on the street pavement.
5. MISCELLANEOUS: Any infrastructure damage resulting from the contractor's activities, incidental or otherwise, shall be repaired/replaced to the satisfaction of the City at no cost to the City.



CITY OF ST. PAUL
 STATION #0006
 MONUMENT=942.22 (NC1029)
 RM=943.53 (NC1029)

HEIGHTS

BLOCK 3

16" CI WATERMAIN
 24" SANITARY SEWER
 CITY OF FALCON HEIGHTS



SCALE: 1" = 10'

NOTES:

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3. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RESTRICTIVE OF THE PROJECT SPECIFICATIONS, THE STANDARD SPECIFICATIONS OF THE CITY OF ST. PAUL, AND THE LATEST EDITION OF MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
4. REMOVE EXISTING BUILDINGS, PAVEMENTS, AND WALLS AS NEEDED DURING CONSTRUCTION.

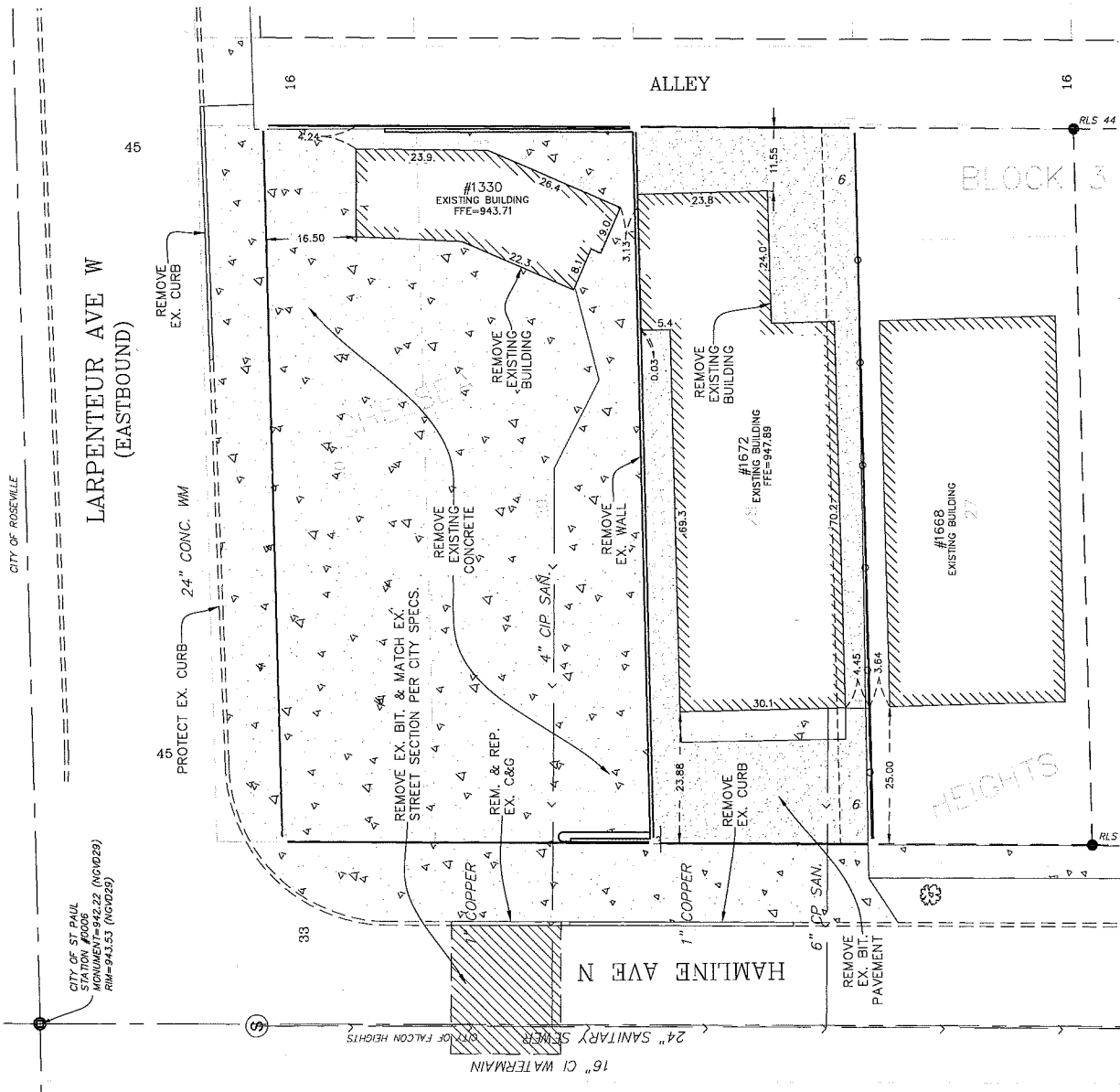
CITY NOTES:

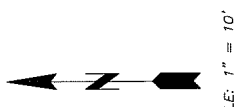
1. CONSTRUCTION IN RIGHT OF WAY: All work on curbs, driveways, and sidewalks within the City of St. Paul shall be done in accordance with the City Standards and Specifications by a contractor licensed to work in the City right-of-way under a permit from Public Works Sidewalk Section (651-266-6108). Sidewalk grades must be carried across driveways.
2. RIGHT OF WAY RESTORATION: Restoration of asphalt and concrete pavements are performed by the Public Works Street Maintenance Division. The contractor is responsible for payment to the City for the cost of these restorations. The contractor shall contact Public Works Street Maintenance to set up a work order prior to beginning any removals in the street at 651-266-9700. Procedures and unit costs are found in Street Maintenance's General Requirements - All Restorations and are available at the permit office.
3. Adjacent streets and alleys must be swept to keep them free of sediment. Contractor must monitor conditions and sweep as needed or within 24 hours notice of City.

4. INSPECTION CONTACT: The developer shall contact the Right of Way Inspector Tom Johnston at 651-445-4390 one week prior to beginning work to discuss a Right of Way Inspection process. Two weeks before any work begins that impacts the ROW in any way the developer shall provide to the ROW Inspector the name and contact information of the Construction Project Manager or Construction Project Superintendent. If this information is not provided there may be a delay in obtaining permits for the work in the ROW. Said delays will be the sole responsibility of the developer.

5. SAFE WORK SITE REQUIREMENTS: The Contractor shall provide a continuous, accessible and safe pedestrian walkway that meets ADA and MN MUTCD standards if working in a sidewalk area, and traffic control per MN MUTCD requirements for work in the public right of way.

6. ENCROACHMENTS: Per Chapter 134 of the Legislative Code, no person shall construct or maintain any projection or encroachment within the public right-of-way. Construction or development that necessitates temporary use of the Right-of-Way (ROW) for construction purposes shall be limited to equipment, personnel, devices and appliances that are removable following construction. Encroachment permits will not be granted for devices such as signs, lighting, or other structures that are not removable. The City of St. Paul is seeking to amend the ROW, Section 320.03 of the Minnesota Building Code defers final authority of encroachments into public rights-of-way/public property to the local authority. City Legislative Code governs management of the public rights-of-way. Provided such installations are approved by Public Works, footings may be allowed to encroach into City ROW no more than twelve (12) inches at depths below eight (8) feet as provided for in Minnesota Building Code Section 320.03. Signs and encroachments shall be removed at the end of the project. City authorization will be removed at no expense to the City/County/State.





NOTES:

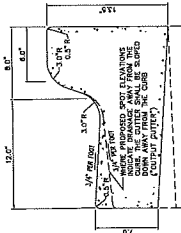
1. BASE PLAN USED IS A SURVEY PREPARED BY ENGINEERING DESIGN AND SURVEYING.
2. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS SHOWN ARE APPROXIMATE ONLY. CONTRACTOR SHALL CONFIRM ALL LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT UTILITY COMPANIES VIA GOPHER STATE ONE-CALL ONLINE OR BY CALLING 811 OR 1-800-252-1166.
3. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RESTRICTIVE OF THE PROJECT SPECIFICATIONS, THE CITY OF ST. PAUL AND THE LATEST EDITION OF MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
4. THE FOLLOWING SEQUENCE SHALL BE FOLLOWED FOR THE EROSION AND SEDIMENT CONTROL DURING THE SITE DEVELOPMENT PROCESS:
 - A. INSTALL SILT SOCK AS SHOWN ON THE PLANS.
 - B. PERFORM SITE REMOVALS, GRADING, EXCAVATION AND EMBANKMENT. MULCH ALL DISTURBED AREAS OUTSIDE OF PROPOSED PAVEMENT AREAS WITHIN 72 HOURS OF COMPLETION.
 - C. INSTALL BUILDING, CONCRETE FLATWORK AND BITUMINOUS PAVEMENT SECTION.
 - D. FINE GRADE SITE AND RESTORE GREEN AREAS PER LANDSCAPE PLAN.
5. CONTRACTOR SHALL MAINTAIN ALL ADJACENT STREETS; KEEPING THEM CLEAN AND SWEEPED OF ALL DIRT AND DEBRIS DURING CONSTRUCTION. CONTRACTOR SHALL MINIMIZE EXISTING SIDEWALK CLOSURES DURING CONSTRUCTION.

CITY OF ST. PAUL PERMIT REQUIREMENTS:

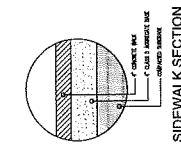
- ORDERING OBSTRUCTION AND EXCAVATION PERMITS: Contact Public Works, Right of Way Service for more information. Obtain permits prior to construction. Contractors call for cost estimates prior to bidding to obtain accurate cost estimates.
- OBSTRUCTION PERMITS: The contractor must obtain an Obstruction Permit if construction (including silt fences) will block City streets, sidewalks or alleys, or if driving over curbs.
- EXCAVATION PERMITS: All digging in the public right of way requires an Excavation Permit. If the proposed building is close to the right of way, and encroaching into the right of way is required, a double-permit is required.
- FAILURE TO SECURE PERMITS: Failure to secure Obstruction Permits or Excavation Permits will result in a double-permit fee and other fees required under City of St. Paul Legislative Codes.

CITY FORESTRY NOTES:

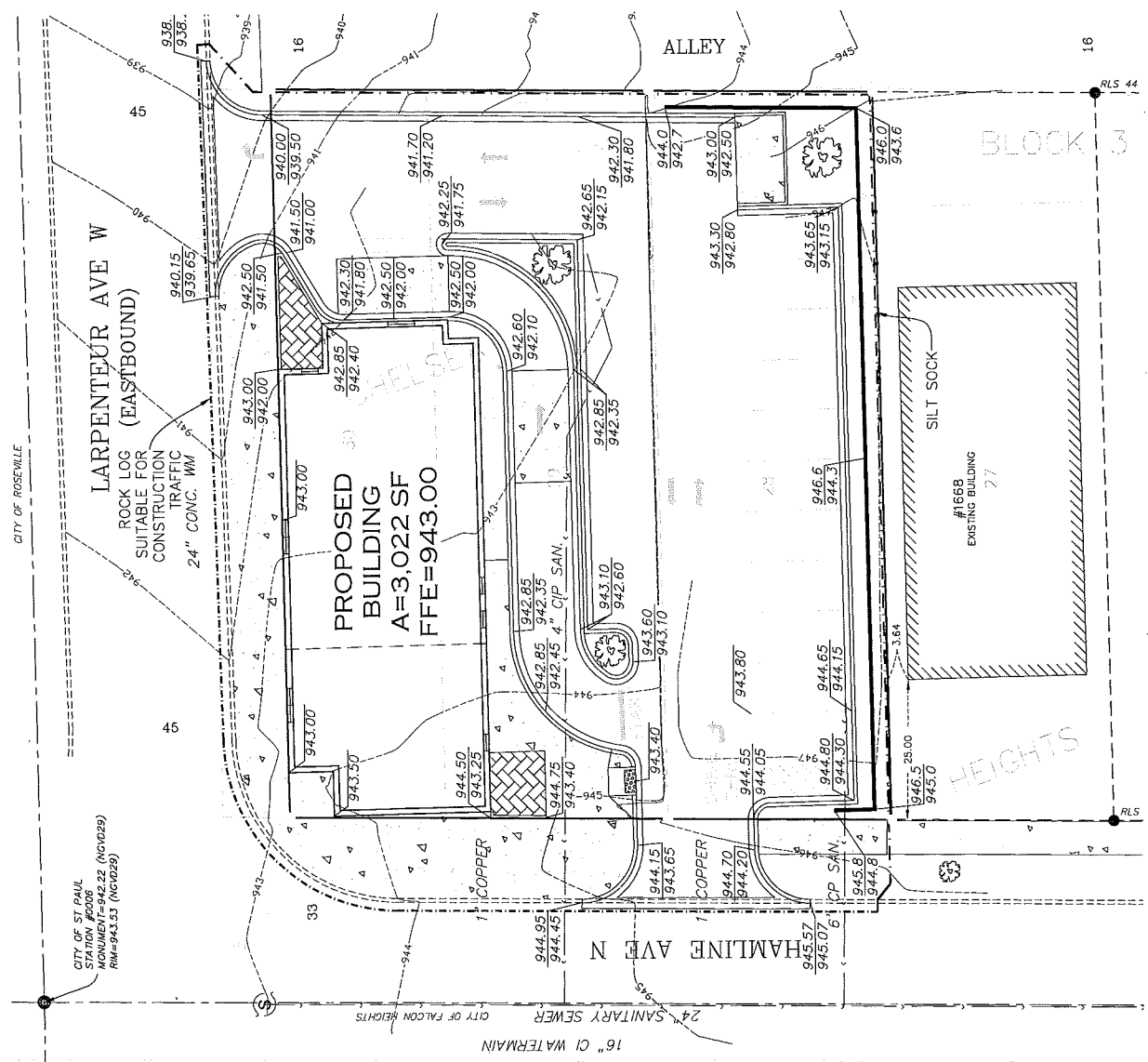
- The removal, pruning, and/or planting of trees on the public boulevard requires an approved permit from the City Forester (651-632-2437). Any work must be completed by a licensed tree contractor.
- Construction supplies, materials, spoils, equipment, and vehicles shall not be stored or parked on the public boulevard. Any trees or on-turf boulevards without prior written approval from the City Forester. If the boulevard must be used for construction activities, site access routes, material storage or other related activities, protective measures approved by the City Forester shall be taken to reduce soil compaction and protect tree(s) from damage.



SIDEWALK SECTION
 NO SCALE



PAVEMENT SECTION
 NO SCALE



CITY OF ST. PAUL
 ST. PAUL PERMITS
 PERMIT #2022 (NCV029)
 RM=943.53 (NCV028)

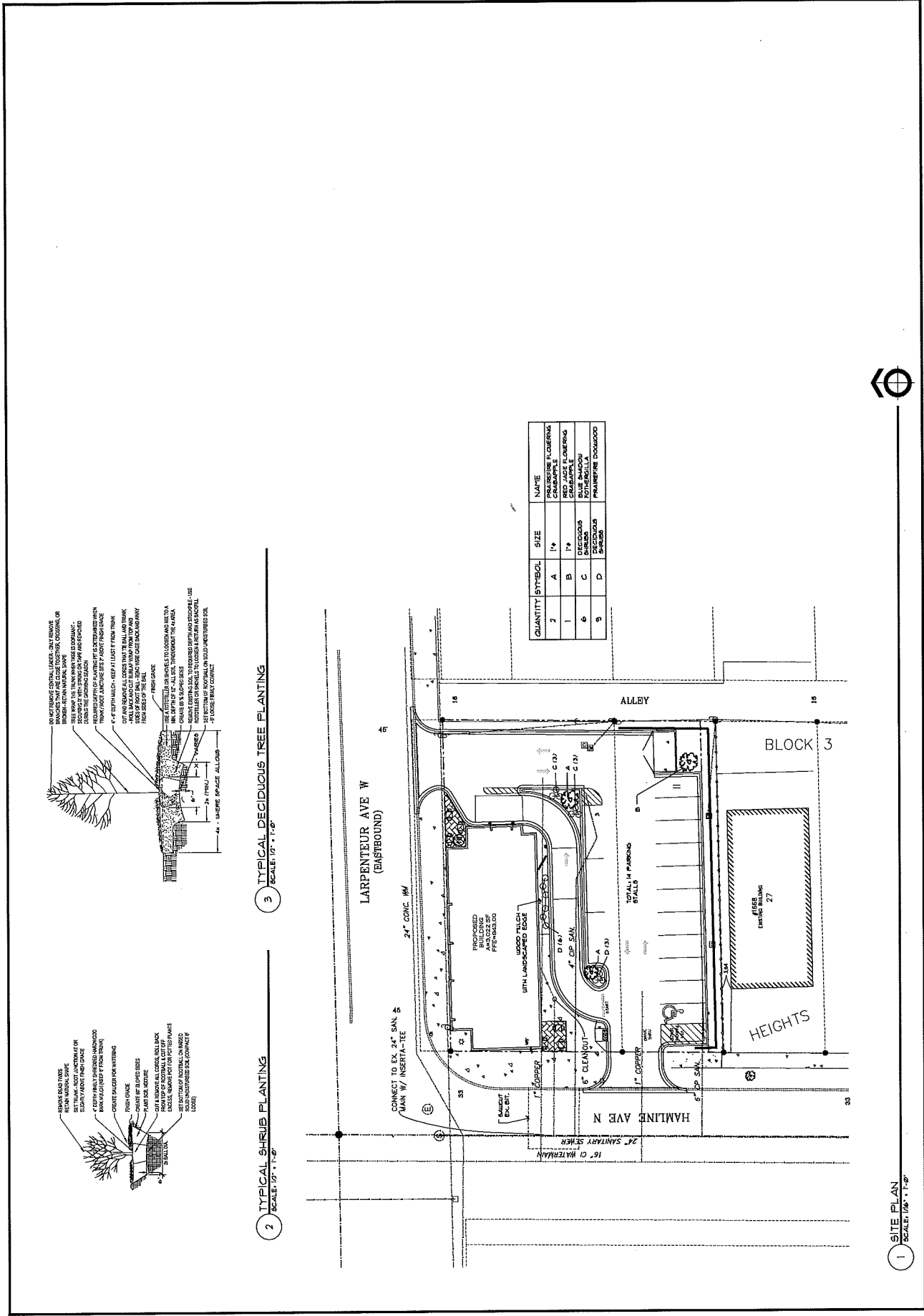
LARPEUR AVE W
 (EASTBOUND)
 ROCK LOG
 SUITABLE FOR
 CONSTRUCTION
 TRAFFIC
 24" CONC. WM

PROPOSED
 BUILDING
 A=3,022 SF
 FFE=943.00

#1668
 EXISTING BUILDING
 27

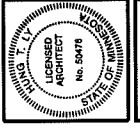
HEIGHTS

BLOCK 3



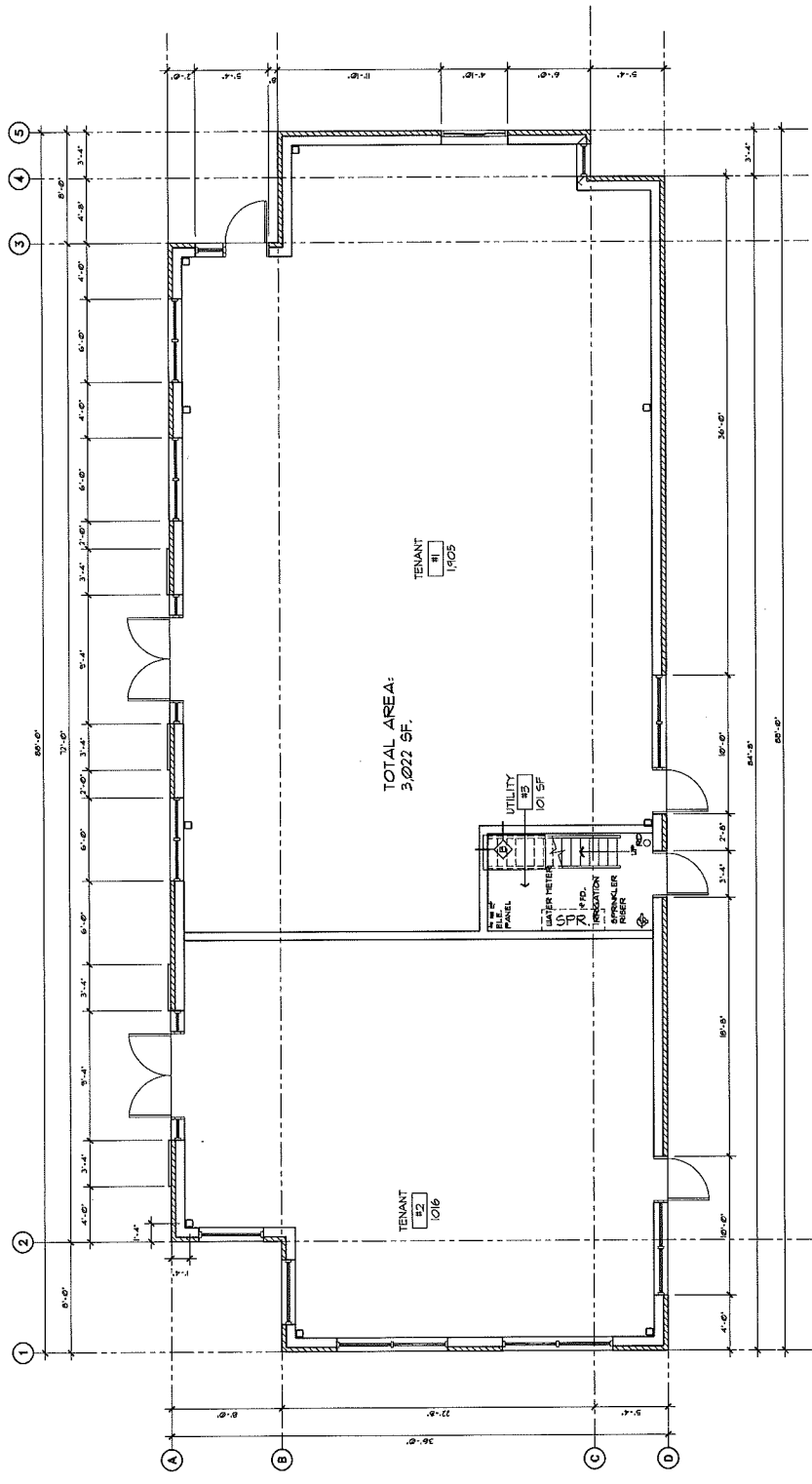
PROJECT NO. A1.0
 SHEET TITLE FLOOR PLAN
 DRAWN BY: HL
 DATE: 03-15-18
 REF. NO.

LARPENTEUR CROSSING: Sarin Development
 1330 Larpenteur Ave, West
 St. Paul, MN 55113



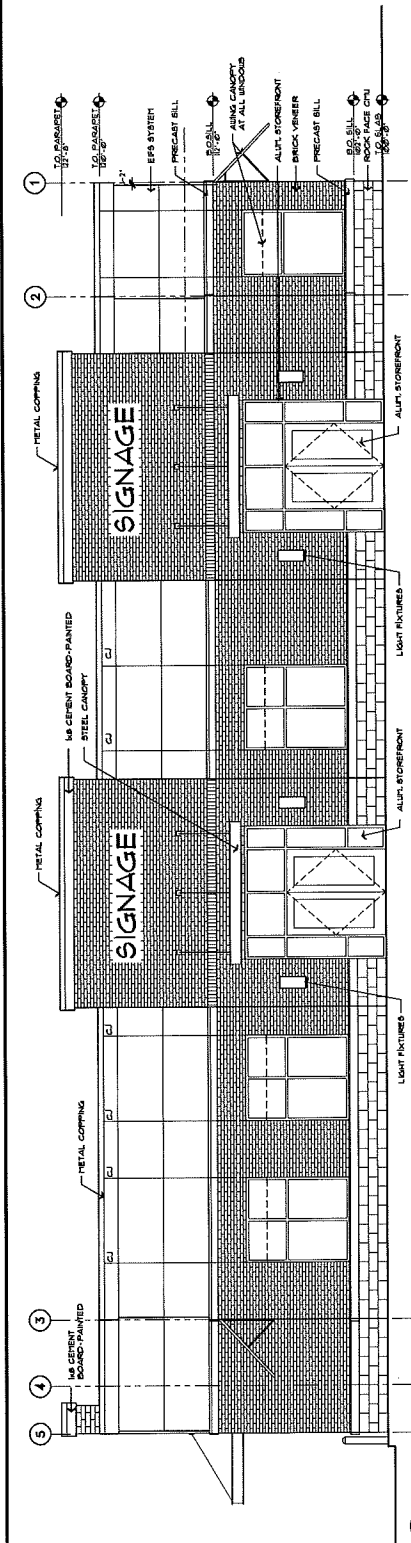
James H. Larsson
 Registered Architect
 No. 54878
 State of Minnesota

H Architects
 Commercial | Retail | Mixed Use Residential | Restaurants
 2924 W. St. Germain St.
 St. Cloud, MN 56301
 920-237-7411 Email: hmgby@charter.net

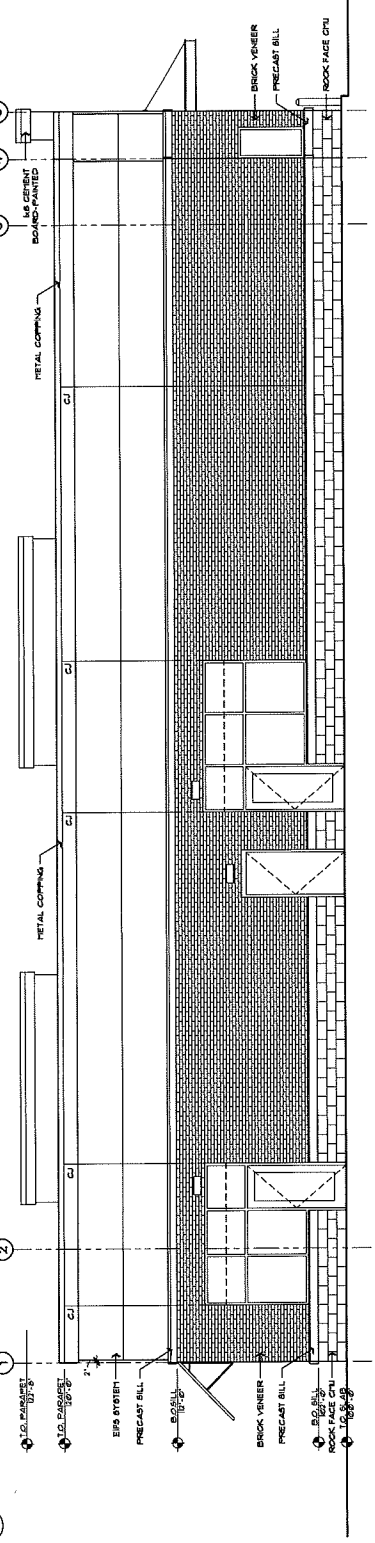


1 FLOOR PLAN
 SCALE: 1/4" = 1'-0"

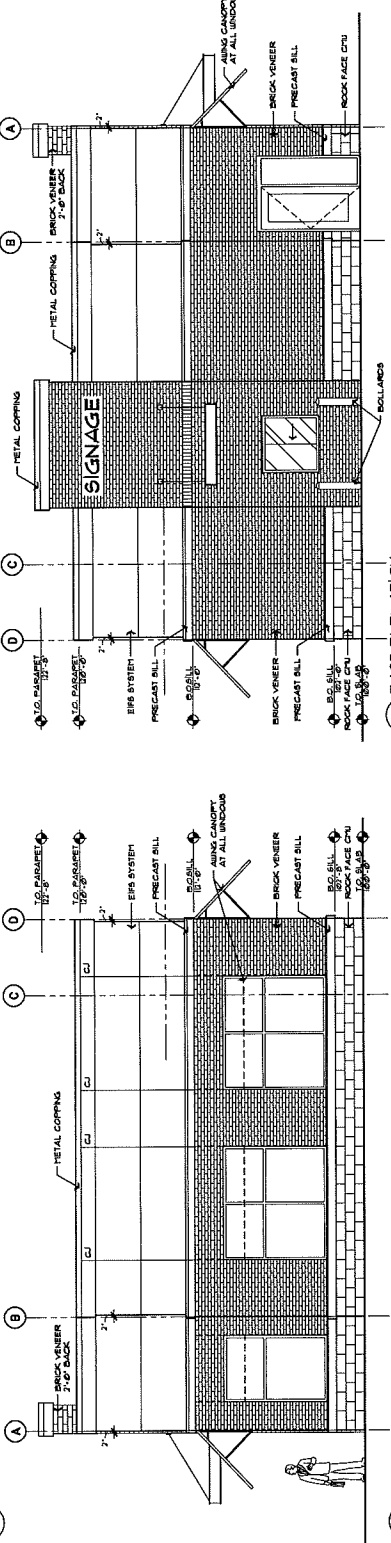
PROJECT NO.	A3.0
REVISIONS	
DATE	03-15-18
DRAWN BY	
CHECKED BY	
SCALE	1/4" = 1'-0"
EXTERIOR ELEVATIONS	



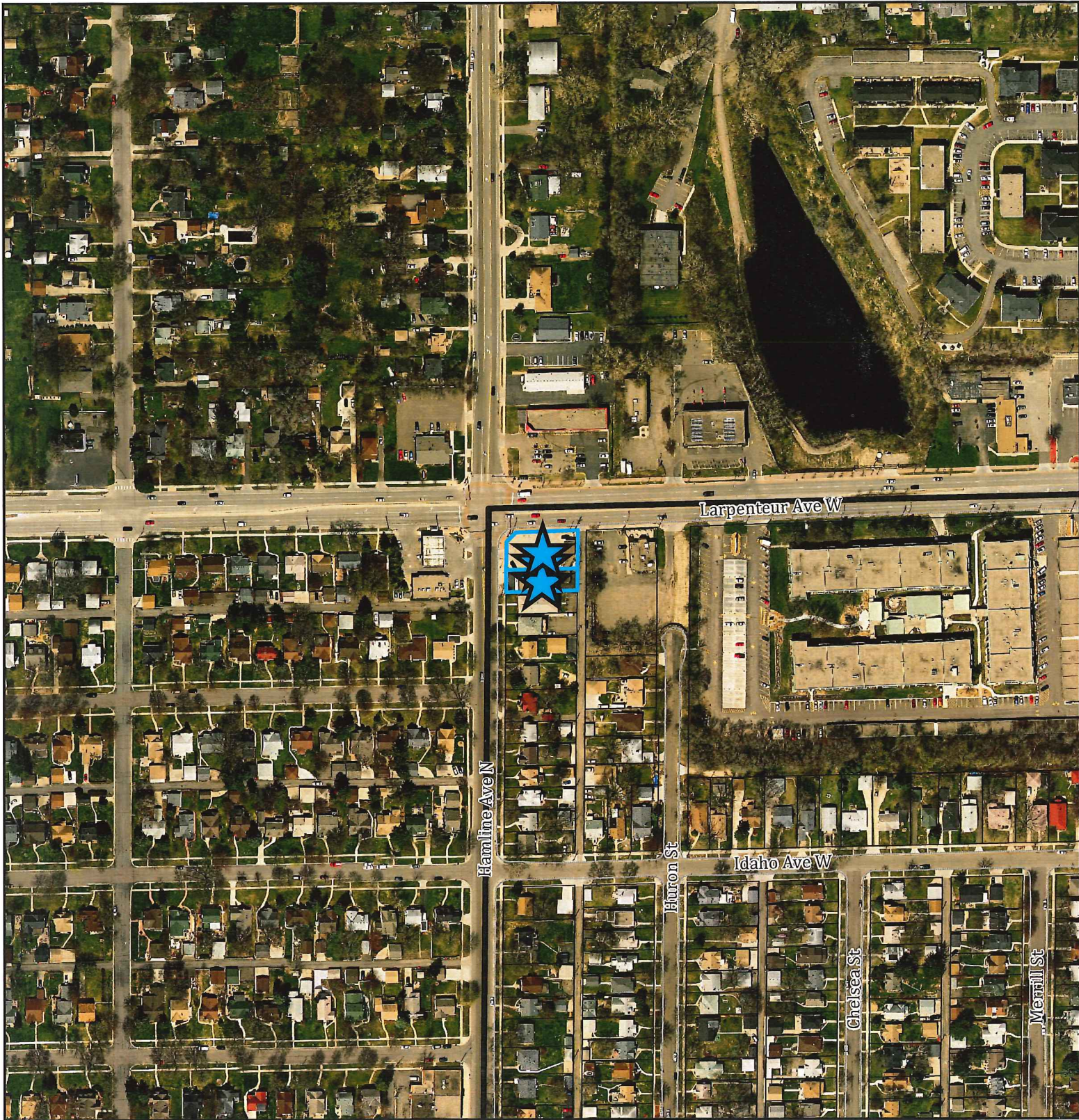
1 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



FILE NAME: Leang Sarin


APPLICATION TYPE: CUP/variances

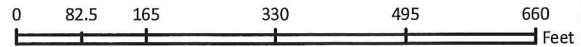
FILE #: 18-036924 DATE: 3/13/2018

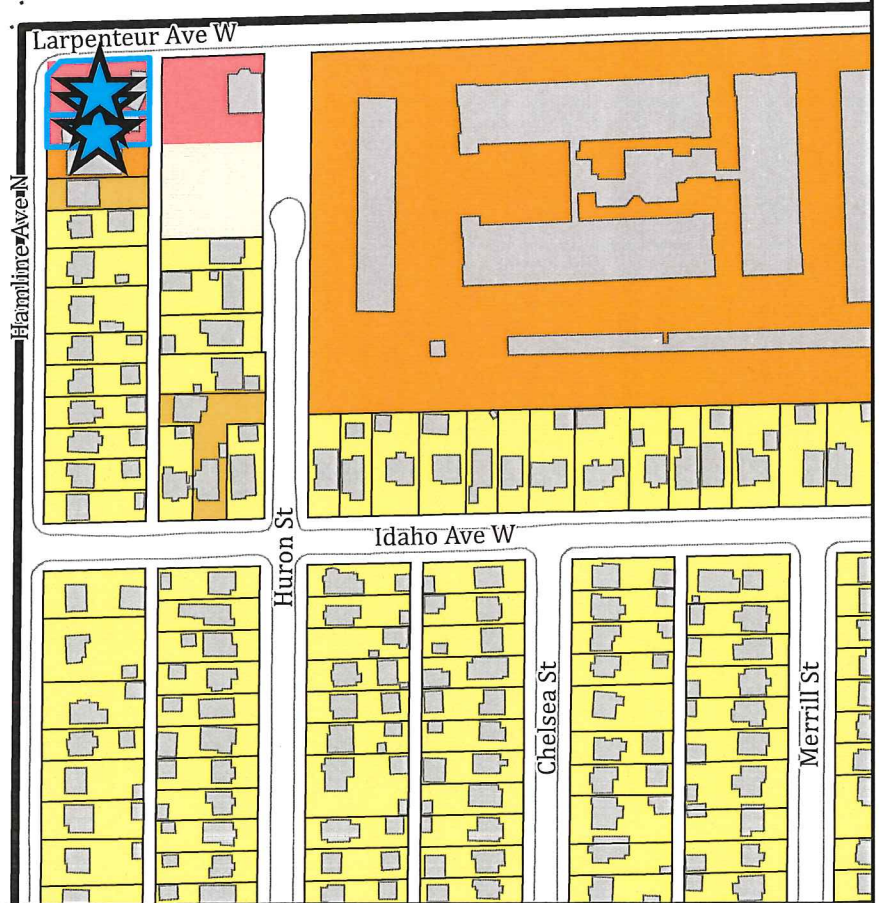
PLANNING DISTRICT: 10

ZONING PANEL: 2

Aerial

 Subject Parcels





FILE NAME: Leang Sarin

APPLICATION TYPE: CUP/variances

FILE #: 18-036924 DATE: 3/13/2018

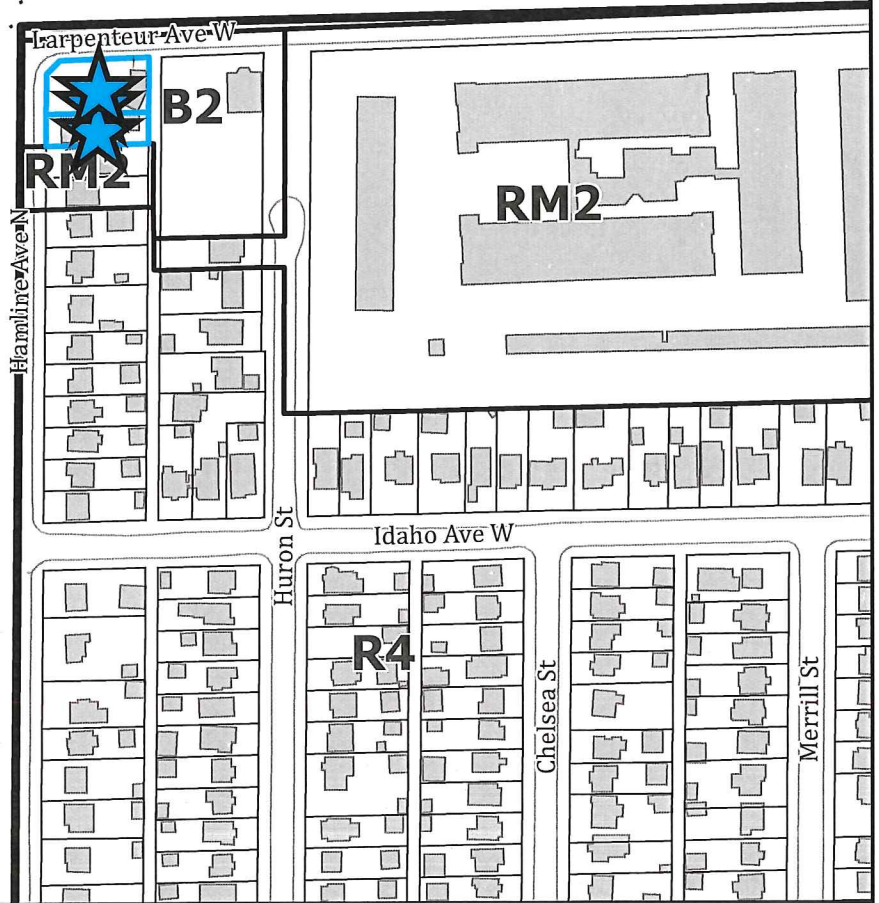
PLANNING DISTRICT: 10

ZONING PANEL: 2

Land Use

- Single Family Detached
- Single Family Attached
- Multifamily
- Retail and Other Commercial
- Undeveloped
- Subject Parcels
- Section Lines





FILE NAME: Leang Sarin

APPLICATION TYPE: CUP/variances

FILE #: 18-036924 DATE: 3/13/2018

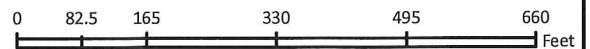
PLANNING DISTRICT: 10

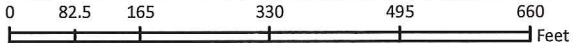
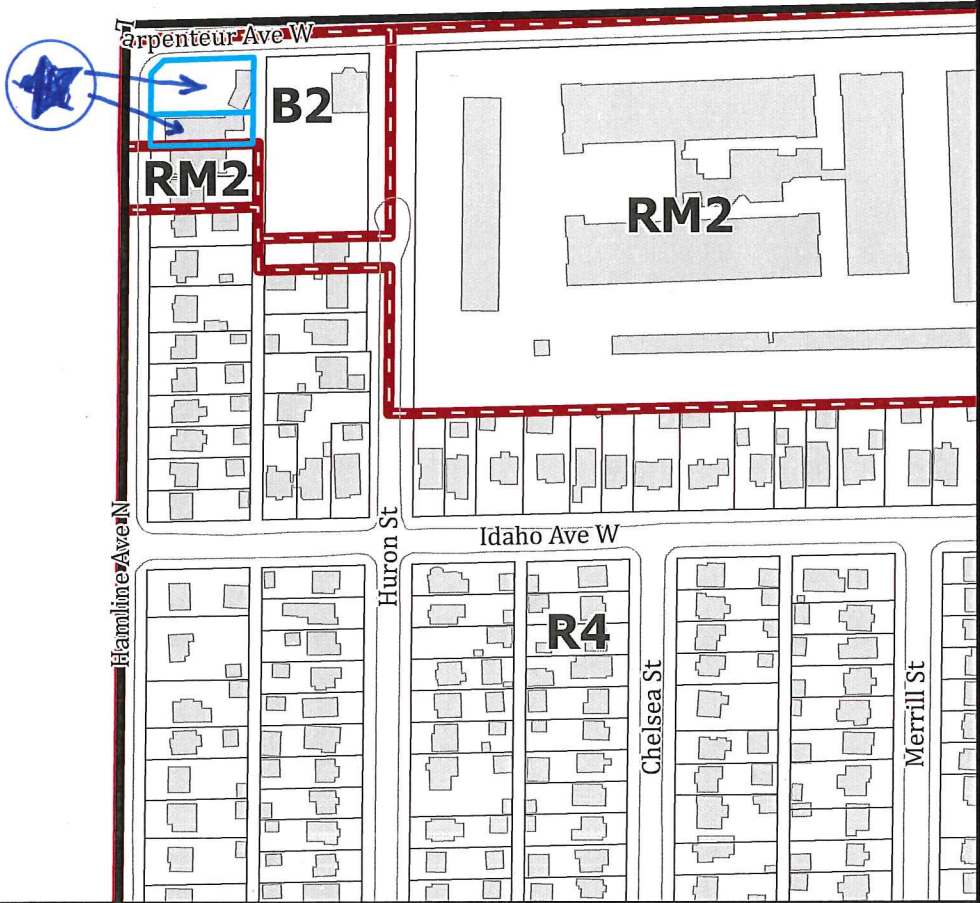
ZONING PANEL: 2

Zoning

 Subject Parcels

 Section Lines





APPLICANT: Sarin Development

ENS

APPLICATION TYPE: _____

FILE #: To Be Assigned DATE: 3/13/2018

PLANNING DISTRICT: _____

ZONING PANEL: _____

