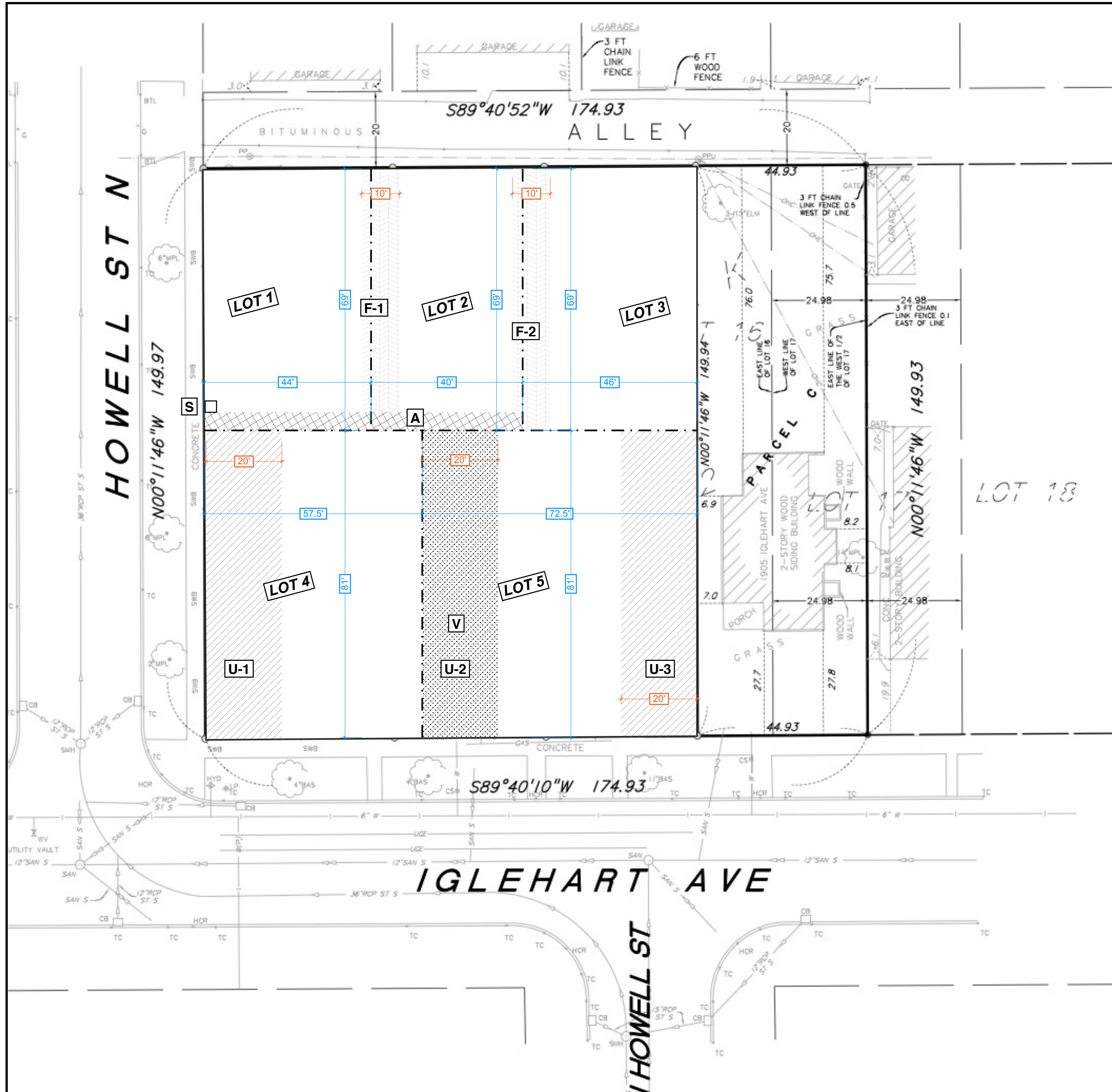


**LOT 1: NEW INTERIOR LOT**  
 • LOT 44 X 69 = 3,034 SF\*

**LOT 2: NEW BACK LOT**  
 • LOT 40 X 69 = 2,758 SF\*

**LOT 3: NEW BACK LOT**  
 • LOT 46 X 69 = 3,172 SF\*



**HOWELL LOTS EASEMENTS**

- A ACCESS EASEMENT (PEDESTRIAN)**
  - 5 FT X 84 FT
  - PEDESTRIAN ACCESS EASEMENT FROM HOWELL
  - ACROSS LOTS 1 & 2 TO PROVIDE PEDESTRIAN ACCESS TO LOTS 1, 2 & 3
  - SHARED MAINTENANCE AGREEMENT FOR WALKWAY
- F-1 FIRE SEPARATION “NO BUILD” AREA + UTILITY EASEMENT**
  - 10 FT X 69 FT “NO BUILD” AREA + UTILITY EASEMENT BETWEEN LOT 1 AND LOT 2
    - 2 FT X 69 LOT 1
    - 8 FT X 69 LOT 2
- F-2 FIRE SEPARATION “NO BUILD” AREA + UTILITY EASEMENT**
  - 10 FT X 69 FT “NO BUILD” AREA + UTILITY EASEMENT BETWEEN LOT 2 AND LOT 3
    - 2 FT X 69 LOT 2
    - 8 FT X 69 LOT 3
- S SIGNAGE EASEMENT (ADDRESSING)**
  - 3 FT X 3 FT
  - FOR ADDRESS SIGNAGE
  - ACROSS LOT 1 TO PROVIDE ADDRESS SIGNAGE TO LOTS 2 & 3

NOTE: VEHICULAR ACCESS VIA PUBLIC ALLEY FOR LOTS 1, 2 & 3

**IGLEHART LOTS EASEMENTS**

- V DRIVEWAY & ACCESS EASEMENT (VEHICULAR AND PEDESTRIAN, INCLUDING TRASH AND RECYCLING PICK UP) “SHARED DRIVEWAY”**
  - 20 FT X 81 FT ON LOT 5
  - VEHICULAR, PEDESTRIAN AND TRASH/RECYCLING COLLECTION ACCESS EASEMENT FROM IGLEHART
  - SHARED MAINTENANCE AGREEMENT FOR DRIVEWAY
  - SHARED CURB CUT FROM IGLEHART AVENUE
- UTILITY EASEMENT**
  - U-1** • 20 FT X 81 FT EASEMENT ACROSS LOT 4
    - TO BENEFIT LOT 1
    - UNDERGROUND WATER/SEWER UTILITY EASEMENT
    - “NO BUILD” EASEMENT
  - U-2** • 20 FT X 81 FT EASEMENT, ACROSS LOT 5
    - TO BENEFIT LOT 2
    - UNDERGROUND WATER/SEWER UTILITY EASEMENT
    - “NO BUILD” EASEMENT
  - U-3** • 20 FT X 81 FT EASEMENT ACROSS LOT 5
    - TO BENEFIT LOT 3
    - UNDERGROUND WATER/SEWER UTILITY EASEMENT
    - “NO BUILD” EASEMENT

\* Dimensions rounded to nearest foot; square footage is from Sunde Land Survey 9/8/24

EXISTING PARCELS, SURROUNDING DETAIL FROM LAND SURVEY BY SUNDE LAND SURVEYORS DATED 7/25/18

Scale: 1" = 20'

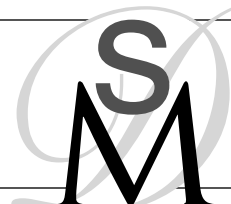
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**LOT 4: NEW CORNER LOT**

• LOT 57.5 X 81 = 4,658 SF

**LOT 5: NEW INTERIOR LOT**

• LOT 72.5 X 81 = 5,872 SF



SONIA MASON Home Design LLC

21 S St Albans St #1 St Paul MN 55105  
 (651) 247-8911 | hello@soniamason.com

CLIENT  
 AUGUSTUS CORNER

PROJECT  
 AUGUSTUS CORNER

PROJECT NO.  
 R2403

ISSUE  
 8/28/24 V.1  
 10/30/24 V. 2  
 12/6/24 V. 3

DRAWN BY  
 SM

DESCRIPTION  
 COVER PAGE

**MODEL PLAN FOR THREE HOUSES:  
 HOWELL STREET TRIO**

**A 00.1**



# HOWELL STREET LOTS

- LOT 1: NEW INTERIOR LOT**
- LOT 44 X ~69 = 3,034 SF
  - FRONT SETBACK 12 FT\*
  - REAR SETBACK: 2 FT\*\*
  - SOUTH SIDE SETBACK: 22 FT
  - NORTH SIDE SETBACK: 5 FT
  - FIRE SEPARATION: 10 FEET
  - 1,152 FOOTPRINT, 3 BR'S

- LOT 2: NEW BACK LOT**
- LOT 40 X ~69 = 2,753 SF
  - REAR LOTS ONLY HAVE SIDE SETBACKS
  - WEST SETBACK 8 FT\*
  - EAST SETBACK: 2 FT\*\*
  - SOUTH SIDE SETBACK: 18 FT
  - NORTH SIDE SETBACK: 9 FT
  - WEST FIRE SEPARATION: 10 FEET
  - EAST FIRE SEPARATION: 13 FEET
  - 1,152 FOOTPRINT, 3 BR'S

- LOT 3: NEW BACK LOT**
- LOT 46 X ~69 = 3,172 SF
  - REAR LOTS ONLY HAVE SIDE SETBACKS
  - WEST SETBACK 11 FT\*
  - EAST SETBACK: 5 FT
  - SOUTH SIDE SETBACK: 14 FT
  - NORTH SIDE SETBACK: 13 FT
  - FIRE SEPARATION: 13 FEET
  - 1,152 FOOTPRINT, 3 BR'S

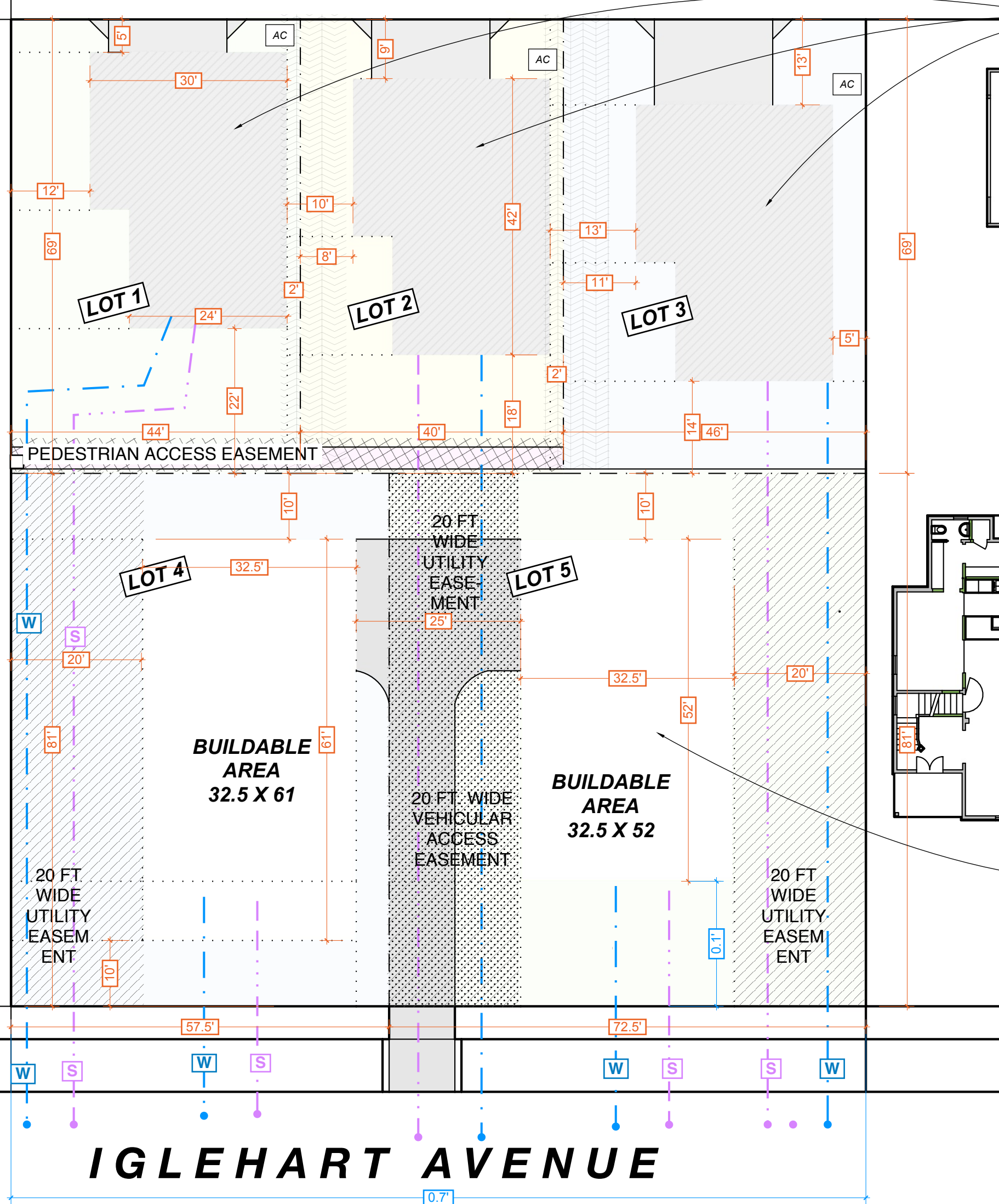
NOTES: HOWELL PARCEL SETBACKS

ALL SETBACKS MEASURED AT FOUNDATION

\* FRONT SETBACK FROM HOWELL ST. MIN REQUIRED 10 FT  
 \*\*INTERIOR SETBACK CAN BE WAIVED, SUBJECT TO EASEMENTS & MAINTENANCE AGREEMENTS

# HOWELL STREET NO.

## ALLEY



"HOWELL STREET TRIO"  
THREE REPEATED HOUSE PLANS



ARTIST'S RENDERING OF WEST-FACING FACADE

BUILDABLE LOTS  
(IGLEHART HOUSES T.B.D.)

	EAST-WEST WIDTH (FEET)	NORTH-SOUTH DEPTH (FEET)	LOT AREA (SF)	ZONING LOT AREA (SF), W/ 1/2 ALLEY	PROPOSED LOT COVERAGE
LOT 1 (ALLEY ACCESS)	44	68.96	3,034	3,724	30.9%
LOT 2 (ALLEY ACCESS)	40	68.96	2,758	3,448	33.4%
LOT 3 (ALLEY ACCESS)	46	68.96	3,172	3,862	29.8%
LOT 4 (NO ALLEY ACCESS)	57.5	81	4,658	NA	TBD
LOT 5 (NO ALLEY ACCESS)	72.5	81	5,873	NA	TBD
COMBINED LOT (W/ 1/2 ALLEY)	130	149.95	19,494	20,993	N.A.

Site Plan  
Scale: 1/16" = 1'-0"

# IGLEHART AVENUE LOTS

- LOT 4: NEW CORNER LOT**
- LOT 57.5 X 81 = 4,658 SF
  - MIN. FRONT SETBACK 10 FT\*
  - MIN. REAR SETBACK: 10 FT
  - EAST SIDE SETBACK: 5 FT
  - WEST SIDE SETBACK: 20 FT\*\*\*
  - FIRE SEPARATION: 25 FEET

- LOT 5: NEW INTERIOR LOT**
- LOT 72.5 X 81 = 5,872 SF
  - FRONT SETBACK 19 FT\*
  - REAR SETBACK: 20 FT
  - EAST SIDE SETBACK: 20 FT\*\*\*
  - WEST SIDE SETBACK: 20 FT\*\*\*
  - FIRE SEPARATION: 25 FEET

NOTES: IGLEHART PARCEL SETBACKS

ALL SETBACKS MEASURED AT FOUNDATION

\* FRONT SETBACK FROM IGLEHART AVE., VARIABLE SETBACK  
 \*\*INTERIOR SETBACK CAN BE WAIVED, SUBJECT TO EASEMENTS & MAINTENANCE AGREEMENTS  
 \*\*\* ZONING SIDE YARD SETBACK IS 5 FT, EFFECTIVE SETBACK INCLUDES EASEMENT

**IMPORTANT NOTE FOR ALL CONTRACTORS AND SUB-CONTRACTORS**

- The Owner/ General Contractor must take full responsibility including providing additional detailing, drawings, and engineering as needed, and to resolve configuration deficiencies in order to coordinate and properly complete the Work. The General Contractor has the right and responsibility to revise configurations and details depicted in the Construction Drawings, as required, to properly construct a code compliant and technically sound project.
- All structural requirements including but not limited to footing, foundation and framing work are to be specified by a licensed Structural Engineer, provided by the Owner.
- The General Contractor is responsible for verifying all covenants, zoning, building, fire, heating, plumbing and electrical

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IGLEHART & HOWELL  
MERRIAM PARK  
SAINT PAUL MN

ISSUE  
8/28/24  
RE-ISSUE  
10/30/24

PROJECT NO.  
R2403  
PROJECT  
AUGUSTUS  
CORNER

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SM  
DESCRIPTION  
PROPOSED SITE  
PLAN



# HOWELL TRIO THREE LANEWAY HOUSES



3 HOWELL STREET ELEVATION  
Scale: 1/16" = 1'-0"



2 SOUTH ELEVATION (IGLEHART)  
Scale: 1/16" = 1'-0"

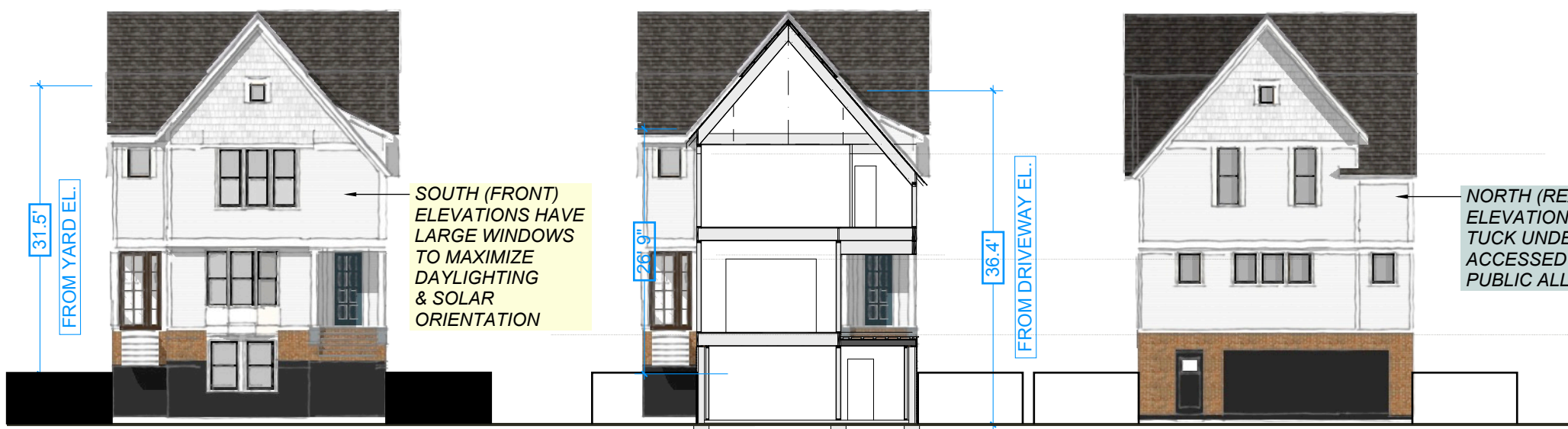


4 West Facing Side Elevation  
Scale: 1/16" = 1'-0"

5 East Facing Side Elevation  
Scale: 1/16" = 1'-0"

FOR WEST UNITS, THIS ELEVATION WILL FACE HOWELL STREET

FOR ALL UNITS, THIS ELEVATION WILL FACE THE INTERIOR, TOWARD NEIGHBOR'S YARD



6 South Facing Front Elevation  
Scale: 1/16" = 1'-0"

7 Cross Section Thru Front  
Scale: 1/16" = 1'-0"

8 North Facing Rear Elevation  
Scale: 1/16" = 1'-0"

**MAIN FLOOR GFA:** 1,114 SF  
**2ND LEVEL GFA:** 1,200 SF  
**TOTAL ABOVE GRADE GFA:** 2,254 SF

GFA EXCLUDES FRONT PORCHES, INCLUDES STAIRS & 4-SEASON SUNPORCH, IGNORES IMPACTS FROM SLOPING CEILINGS

**GARAGE + MECH ROOM:** 677 SF  
**FINISHED GFA:** 475 SF  
**TOTAL BELOW GRADE GFA:** 1,152 SF

GFA EXCLUDES PORCHES, INCLUDES STAIRS

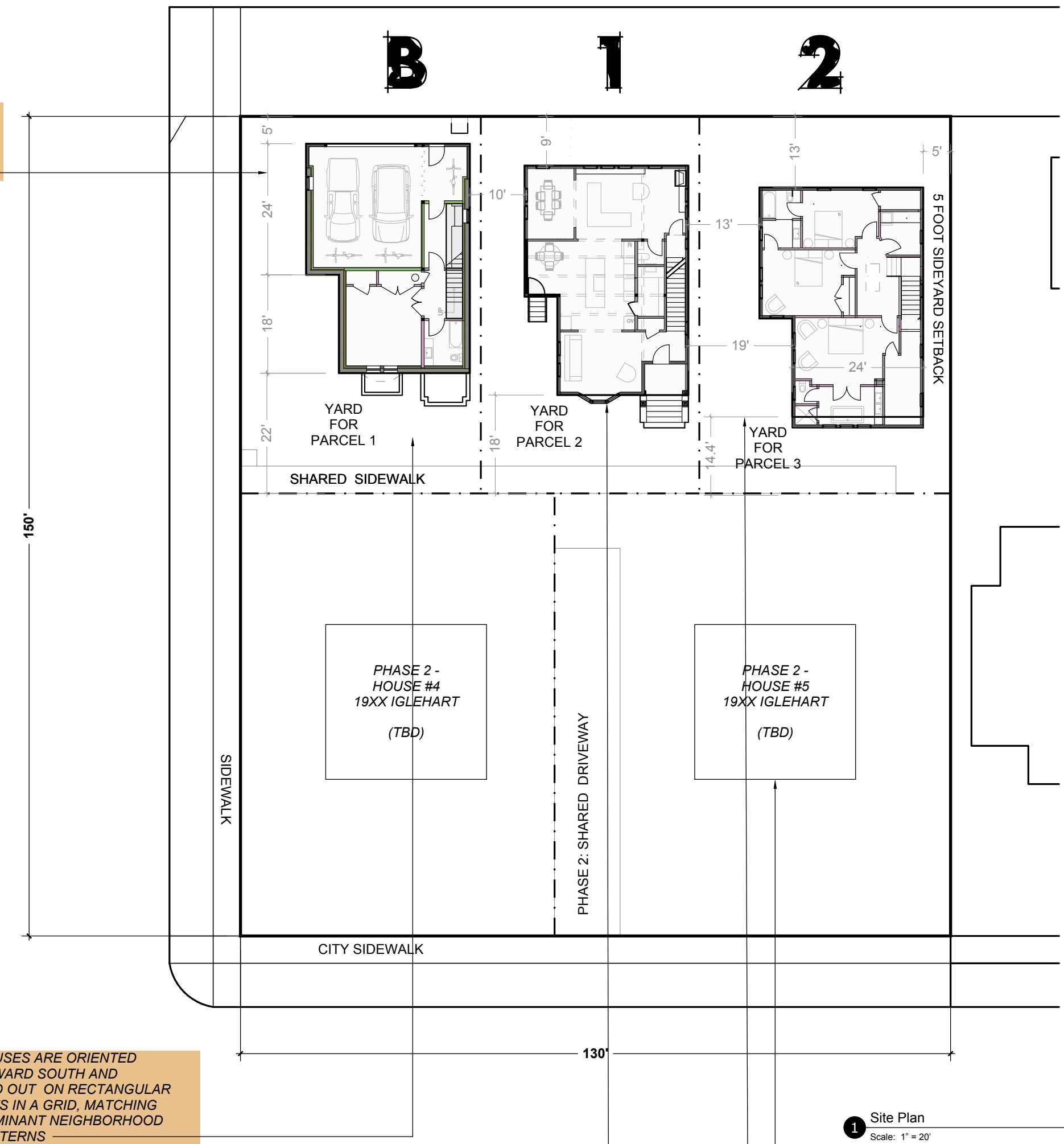
HOUSES ARE STAGGERED IN SITE PLAN TO INCREASE ACCESS TO DAYLIGHT, VIEWS, AND CREATE INDENTITY

EAST (SIDE) ELEVATIONS HAVE FEWER & SMALLER WINDOWS WITH RAISED SILL HEIGHT TO INCREASE SENSE OF PRIVACY BETWEEN HOUSES

HOUSES ARE ORIENTED TOWARD SOUTH AND LAID OUT ON RECTANGULAR LOTS IN A GRID, MATCHING DOMINANT NEIGHBORHOOD PATTERNS

EACH HOUSE HAS AN OPEN FRONT PORCH AND A SIDE SUNPORCH, CREATING SOCIAL TRANSITIONS AND ALIGNING WITH HISTORICAL ARCHITECTURAL STYLES IN MERRIAM PARK

L-SHAPE HOUSE MAXIMIZES OUTDOOR SPACE WITH LARGE OPEN AREA ON SOUTHWEST OF EACH LOT



1 Site Plan  
Scale: 1" = 20'

IGLEHART LOTS PRINTED TOWARD SOUTH, MATCHING DOMINANT NEIGHBORHOOD PATTERNS. A SHARED DRIVEWAY WILL MINIMIZE CURB CUTS

**IMPORTANT NOTE FOR ALL CONTRACTORS AND SUB-CONTRACTORS**

1. The Owner/ General Contractor must take full responsibility including providing additional detailing, drawings, and engineering as needed, and to resolve configuration deficiencies in order to coordinate and properly complete the Work. The General Contractor has the right and responsibility to revise configurations and details depicted in the Construction Drawings, as required, to properly construct a code compliant and technically sound project.
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3. The General Contractor is responsible for verifying all covenants, zoning, building, fire, heating, plumbing and electrical

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