



SAINT PAUL
MINNESOTA

PLAN SNAPSHOT REPORT DSIBZA-000226-2025 FOR CITY OF SAINT PAUL

Plan Type: DSI Board of Zoning Appeal Variance

Work Class: Major Variance

District: Ward 6

Assigned To: Eide, David

Description: Construct a security fence and access controls per Minnesota Session Laws – 2023, Regular Session, Ch 72, HF 669, 4th Engrossment – 93rd Legislature, Art. 1 Sec. 15. Public Safety, Subd. 3. BCA Maryland Building.

Parcel: 272922210045	Main	Address: 1430 Maryland Ave E St. Paul, MN 55106	Main	Zone: T2(Traditional Neighborhood)
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Applicant
Erik Daniels
6465 Wayzata Boulevard,
Suite 410
St Louis Park, MN 55426

Business Owner
Ryan Allen
50 SHERBURNE AVE 309
SAINT PAUL, MN 55155

Plan Custom Fields

Type of Variance	Commercial, Industrial or Institutional use	Applicant Interest in the Owner Property	Describe Leasehold/Contingent Interest; Add Proof	Applicant is the Architect hired by the State of Minnesota to design the new perimeter security fence and access controls at the site.
Variance Code Citation(s)	63.300 Off Street Parking Facility Standards, 63.314 Landscaping. (b) Screening landscape. In all districts except industrial districts, screening shall be provided consisting of a masonry wall or decorative fence (not including chain link) supplemented with landscape material, forming a screen a minimum of three (3) feet in height, a maximum of four and one-half (4½) feet in height not including trees, and not less than fifty (50) percent opaque.	State the Requirement and Variance Requested	Section (b) states that screen landscape should be a maximum of 4'-6" tall. By Minnesota Session Laws – 2023, Regular Session, Ch 72, HF 669, 4th Engrossment – 93rd Legislature, Art. 1 Sec. 15. Public Safety, Subd. 3. BCA Maryland Building is required to design, construct, renovate, equip, and furnish unfinished space in the Bureau of Criminal Apprehension building in St. Paul to provide new offices and to design, construct, and equip a new perimeter security fence and access controls at the site. These types of facilities need to have an anti-climbable 8' tall security fence to comply with the law. We are asking for variance to 63.314 for a length of 532' along Phalen Blvd and 276.5' along Barclay Street. Which is only 36% of the total length of the Fencing to be installed.	In your opinion, are there practical difficulties in complying with the provision of the code from which a variance is requested? Will the property be used in a reasonable manner not permitted by the provision? Why or why not?

PLAN SNAPSHOT REPORT (DSIBZA-000226-2025)

In your opinion, is the plight of the landowner due to a circumstance unique to the property not created by landowner? Why or why not?	This construction of the security fence is a result of continual threat security analysis of the risks the facility could potentially be exposed to and what measure might be taken to mitigate them. When the BCA Maryland Building was originally built as the headquarters for state law enforcement, site security was less of a concern than it is now for these types of facilities. The threat of terrorism has increased, the nature of the surrounding neighborhood has changed, and public demonstrations related to high-profile crime cases being investigated at the facility have been staged on the site.	Will the variance permit any use that is not allowed in the zoning district in which the property is located?	This variance request does not change the use of the site but completes the fencing that currently surrounds half of the site now and will be replaced due to the fact that the fence has reached the end of its useful life since it is no longer securely anchored to its footings or other supporting elements and does not provide the required level of security. The fence will continue to allow public access for the fingerprinting and background checks critical for the Minnesotan workforce. The proposed fence is an industry manufacturer ornamental, considered in the fencing realm, is a decorative steel prefinished fence typical for this setting which was recently installed at the St. Paul Police Dept and Ramsey Co. Law Enforcement Center campus at Lafayette Rd and University Ave. This is in contrast to using chain-link and razor wire security fence that is commonly used at correctional institutions.	In your opinion, will the variance alter the essential character of the surrounding area? Why or why not?	The essential character of the surrounding area will stay the same or will be improved as the BCA will be able to remove temporary security measures; like concrete jersey barriers protecting the critical building utility entrances and ground windows from vehicles that leave Maryland Avenue from high-speed chases or intentionally targeting the building. This variance will cut down on the pedestrian traffic through the parking lot which will allow the BCA to focus more on their mission in assisting all other law enforcement agencies with processing evidence and provide staff and public a more secure site. Pedestrians will still have the existing southern public sidewalk that was specifically designed when the site was built to provide a pathway through the block on the south part of the parking lot.
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District Council Contact	info@greatereastsidesp.org	District Council	Greater East Side Community Council	Special Sign Overlay District	SSD-GE-PB Grt East Phalen Blvd
District ID	2				

Attachment File Name	Added On	Added By	Attachment Group	Notes
Signature_Erik_Daniels_12/15/2025.jpg	12/15/2025 15:53	Daniels, Erik		Uploaded via CSS



admin.info@state.mn.us

50 Sherburne Ave.
St. Paul, MN 55155

651-201-2555

November 25, 2025

Board of Zoning Appeals
City of Saint Paul
390 City Hall
15 Kellogg Blvd. West
Saint Paul MN 55102

RE: BCA Maryland Fence Project – Variance Request Resubmittal, 1430 Maryland Avenue, St. Paul, Minnesota (previous Docket No. DSIBZA-000031-2025)

Dear Members of the Board of Zoning Appeals:

On behalf of the Minnesota Department of Administration, and in continued consultation with the City's Department of Safety and Inspections, we are resubmitting a variance request related to the security fence component of the Bureau of Criminal Apprehension (BCA) project, which was funded by the Minnesota Legislature during the 2023 session. This request follows the Board's initial consideration at its September 15, 2025, hearing (Docket No. DSIBZA-000031-2025).

At the September hearing, the Board declined to vote on approving the variance request, and thus the variance was not granted. Following the Board's decision, the Department engaged in constructive dialogue with City staff and the City Attorney's Office to explore a path forward. City staff continue to support our variance request. We recognize the Board's responsibility in evaluating neighborhood character and local planning considerations. At the same time, we must also emphasize the State's obligation to ensure the safety and security of critical public infrastructure.

While the State is not subject to municipal zoning authority, we are voluntarily re-engaging in this process in the spirit of intergovernmental cooperation. Our intent is to work collaboratively toward a solution that respects local perspectives while fulfilling the State's broader public safety mandate. We remain concerned, however, that the initial process did not yield actionable guidance to reconcile these interests, and we hope this renewed submission will help facilitate completion of the necessary security improvements. We look forward to answering any additional questions at the next hearing and receiving the variance.

We appreciate the Board's time and consideration of this important matter.

Sincerely,

A handwritten signature in black ink, appearing to read 'Tamar Gronvall'.

Digitally signed by Tamar
Gronvall
Date: 2025.11.25 15:20:40
-06'00'

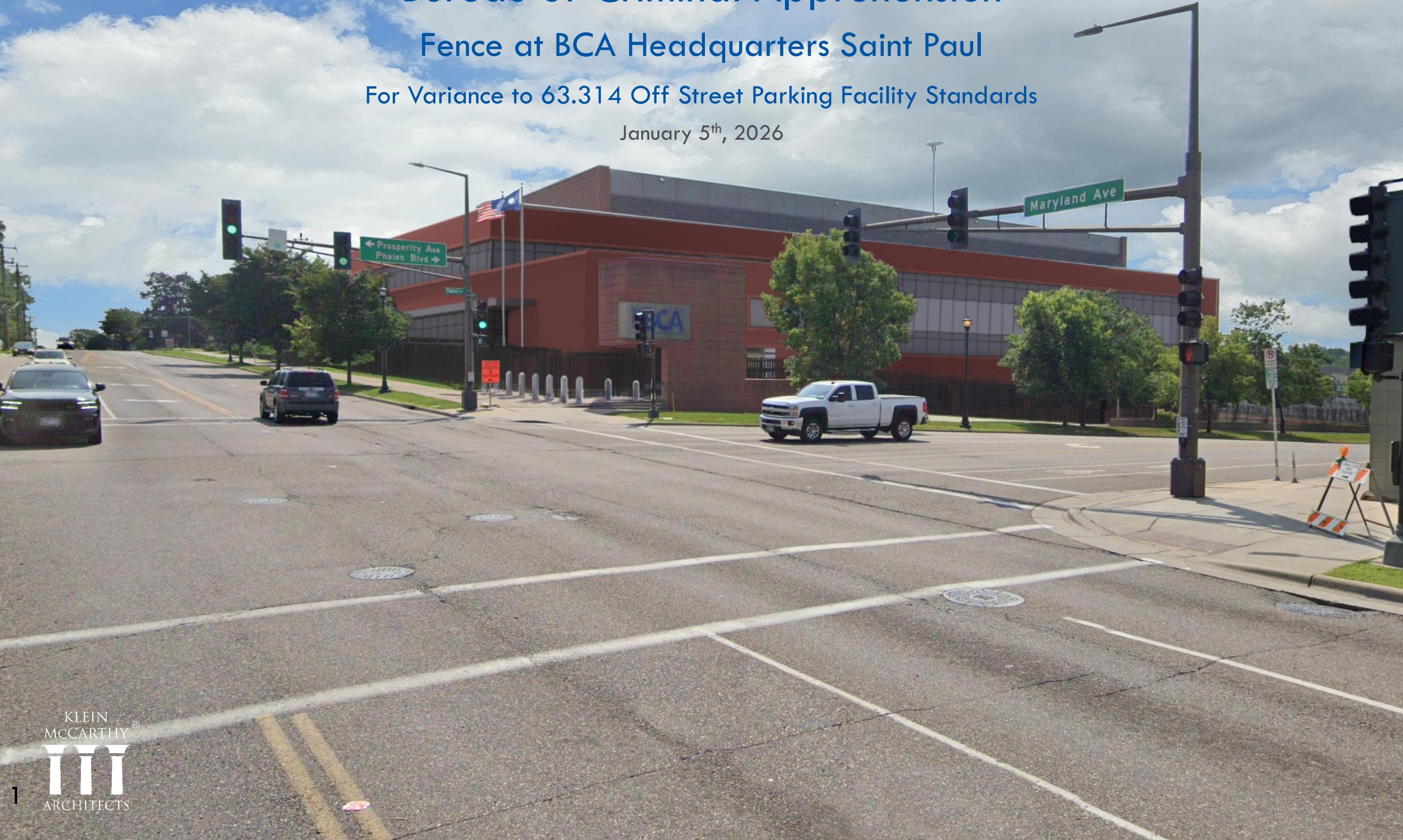
Tamar Gronvall
Commissioner

Bureau of Criminal Apprehension

Fence at BCA Headquarters Saint Paul

For Variance to 63.314 Off Street Parking Facility Standards

January 5th, 2026



About the BCA

■ Mission

- The Bureau of Criminal Apprehension prevents, investigates and solves crimes in collaboration with our criminal justice partners.

■ Vision

- Delivering exceptional law enforcement services for a safer Minnesota

■ Services fall into four general categories.

- Forensic laboratory analysis
- Criminal histories
- Investigations
- Professional services including criminal justice training and development

The BCA employs over 750 people, over 600 work at the Maryland Ave building supporting an additional 13 field offices across Minnesota, and its forensic lab at the Maryland Ave Building has an international reputation as one of the finest in the country. The BCA's Crime Scene Team of criminal investigators and laboratory specialists responds to requests from Minnesota law enforcement agencies for assistance in investigating suspicious deaths. Trains over 10,000 law enforcement personal every year.

Site Security Issues Studied Found the following:

- The fence is not continuous around the site; it only encloses the south and east sides of the property.
- The risk assessment suggested that an anti-climbable security fence be installed at least 8 ft tall. The existing fence is only 6 ft tall.
- The fence is not securely anchored to its footings or other supporting elements. In some places, the top of the fence can easily be shaken several inches back and forth.
- The fence pickets are small enough that they could be pried apart with the aid of tools.

Based on the deficiencies of the existing fence, it is recommended to remove it and replace it with a fence that forms a continuous perimeter around the facility, clearly delineates public and secure areas of the site, and is more securely constructed.



Minnesota Bureau of
Criminal Apprehension

**PERIMETER
SECURITY STUDY**

MAY 2019 - FINAL STUDY

BWBR Project Number: 03.2018269.00
380 Saint Peter Street
Suite 600
Saint Paul, MN 55102

Site Security Issues Studied Found the following:

- Public and private areas of the site are not separated from each other.
- Public parking stalls located immediately adjacent to the building provide easy access for a car bomb to be parked next to building.
- High-speed vehicle chases occur on Maryland Avenue (on the north side of the site), sometimes resulting in vehicles driving off the road and into the adjacent properties. This poses the risk of vehicles being driven into the building. Intentional vehicle crashes into the building are also a possibility.
- There is a lot of pedestrian traffic going across the site that's unrelated to business at the facility. This pedestrian traffic should be using the pedestrian path that the State has dedicated an easement through the site on the south side. Being there is a lot of pedestrian traffic going across the site this posses a safety risk to with the amount of vehicle traffic.
- Space open to the public should be clear for wayfinding and keep public from non-public parking or entrances. The green space in the northeast corner of the site makes this area more inviting for vandalism or other unwanted access onto the site.

Site Security Issues Studied Found the following:

- Regulatory Considerations

Zoning

The City of St. Paul's zoning ordinance was analyzed during the study to find applicable requirements, and it was found that the requirements for fences aren't applicable to the project based on the zoning of the site and the facility being a commercial use. City staff from both the Planning and Economic Development Zoning office and the Department of Safety and Inspections Zoning office confirmed this and said that the project would not be required to be submitted for zoning review. However, the project will be required to be submitted for a building permit plan review.

State Law Required the BCA To Do

By the law, the BCA is Required to do the following:

- Minnesota Session Laws – 2023, Regular Session, Ch 72, HF 669, 4th Engrossment – 93rd Legislature, Art. 1 Sec. 15. Public Safety, Subd. 3. BCA Maryland Building
 - To design, construct, renovate, equip, and furnish unfinished space in the Bureau of Criminal Apprehension building in St. Paul to provide new offices and to design, construct, and equip a new perimeter security fence and access controls at the site.
- This construction of the security fence is a result of continual threat analysis of the risks the facility could potentially be exposed to and what measure might be taken to mitigate them. When the BCA was originally built, site security was less of a concern than it is now. The threat of terrorism has increased, the nature of the surrounding neighborhood has changed, and public demonstrations related to high-profile crime cases being investigated at the facility have been staged on the site.

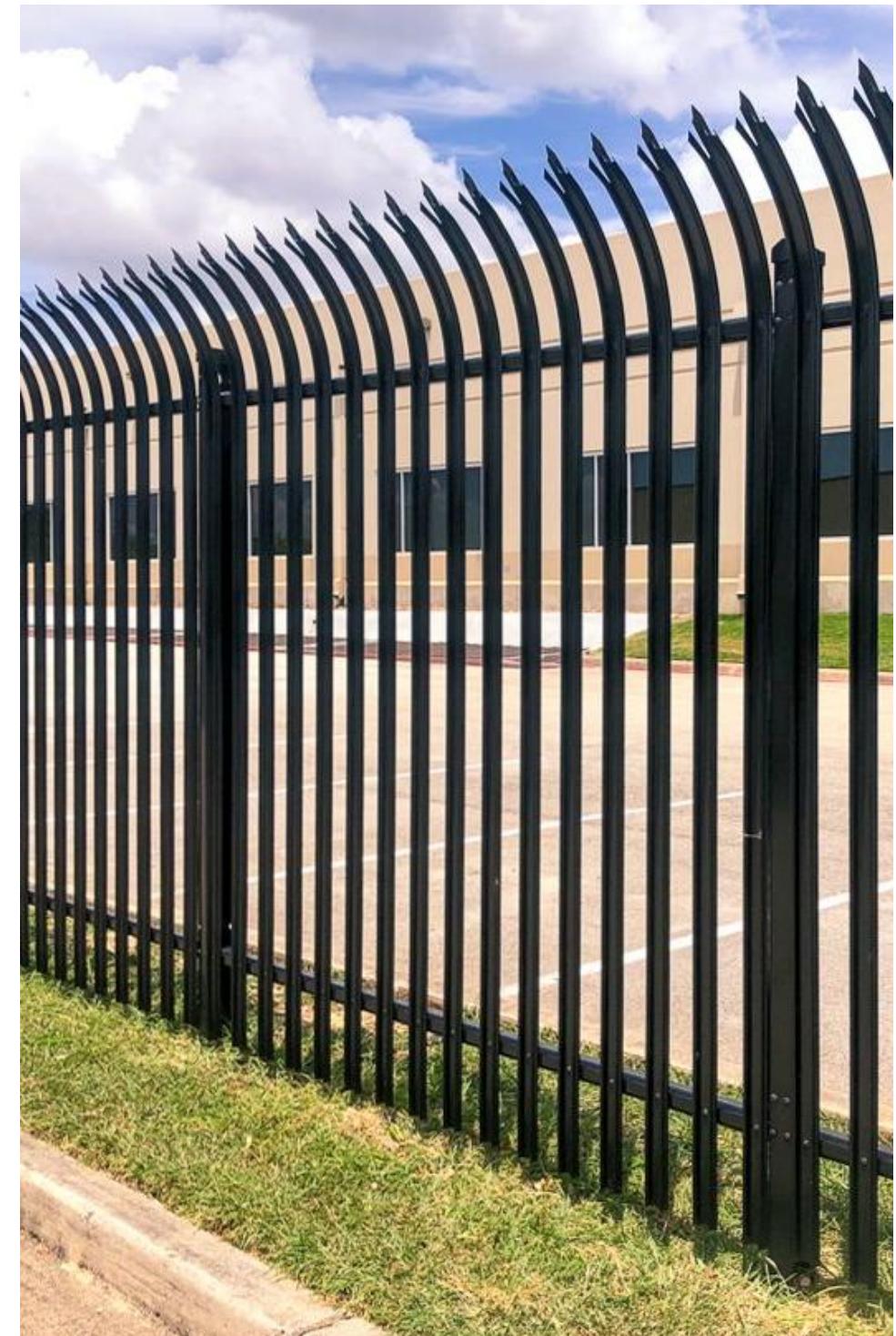


Typical Correctional Chain-link and razor wire, non-decorative security fence.

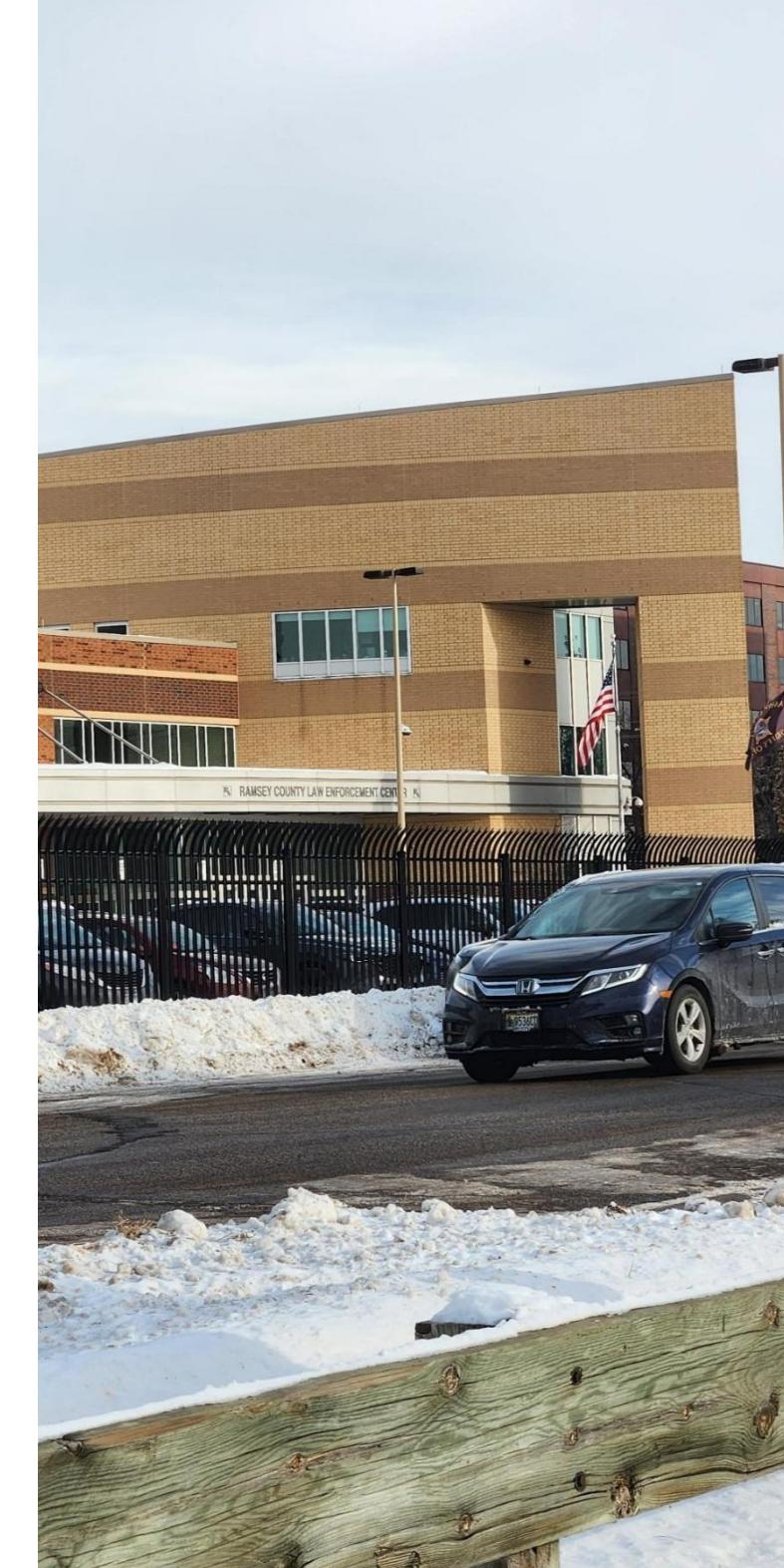
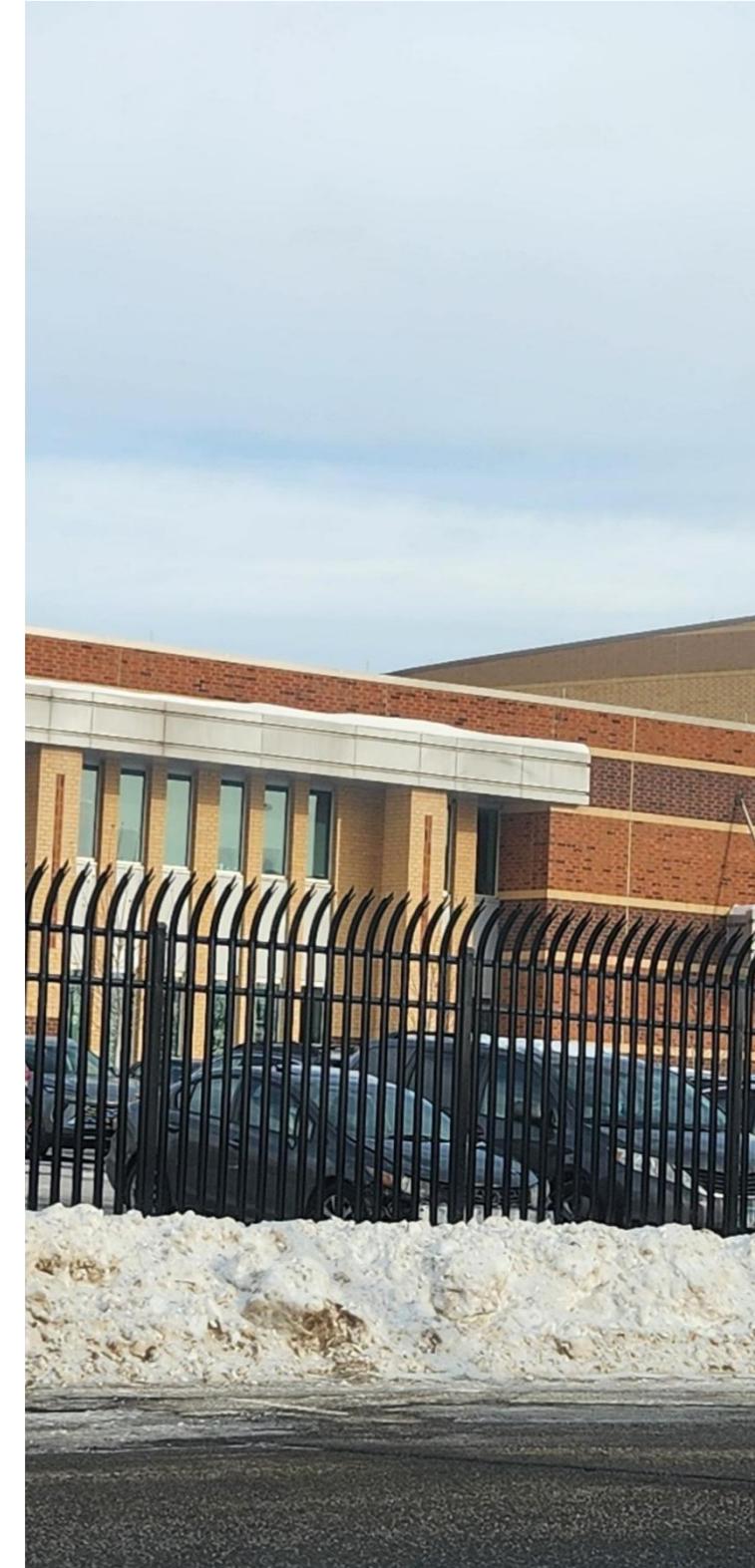
What is a Security Fence

What is a Security Fence?

- Enclose an Area to prevent unauthorized entry or exit.
- Define the perimeter of protected area.
- Provide a physical and psychological deterrent to entry and prevent unauthorized personnel from entering a protected area.
- Offer Maximum Security for assets, storage areas, and open spaces.
- Ornamental steel security fence was selected as the preferred type of fence based on these objectives. A recommended example of this type of fence is Ameristar's "Aegis II" fence with the "Invincible" outward-curved pickets. This fence was recently installed at the St Paul Police Department and Ramsey County Law Enforcement Campus on Lafayette Road & University Ave.



Ramsey County Sheriff's & City of St. Paul Police



Existing Fence East & South Sides of the Property

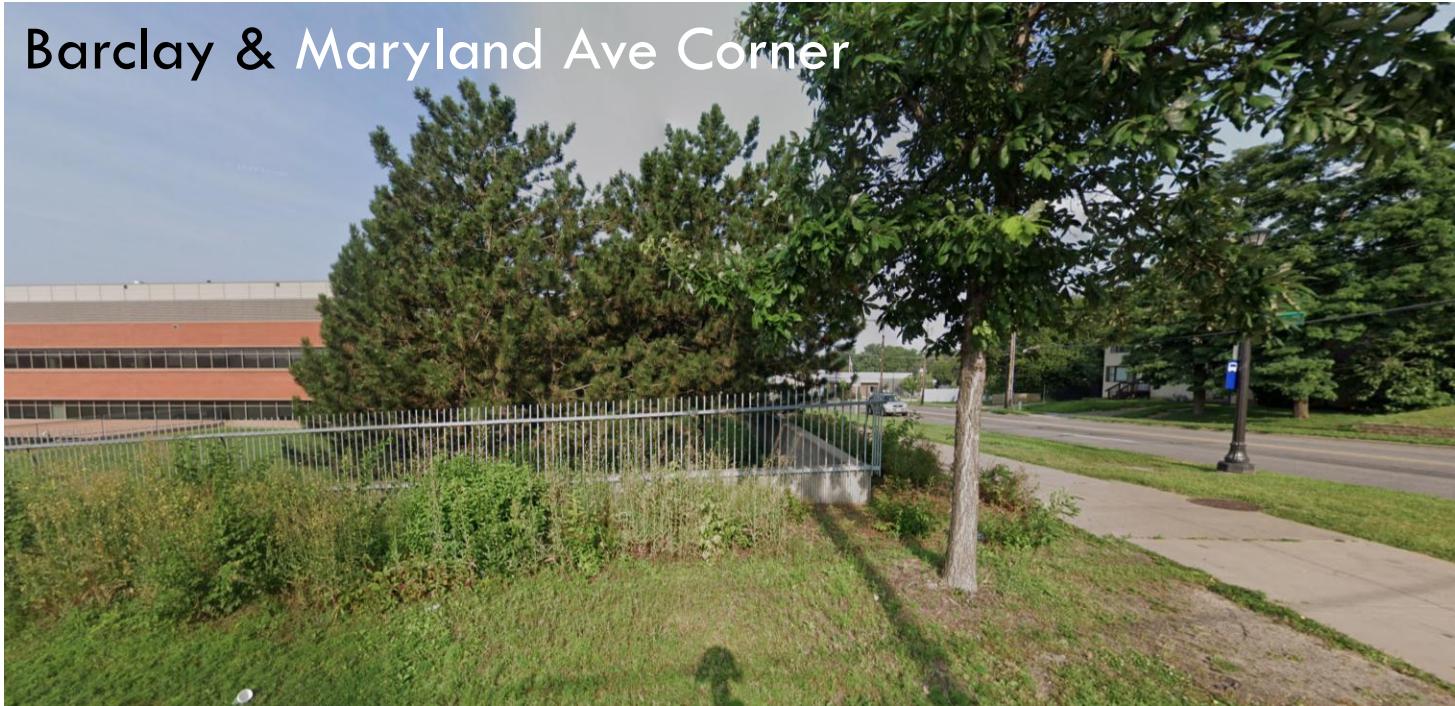
Along Barclay



Barclay Restricted Gate



Barclay & Maryland Ave Corner

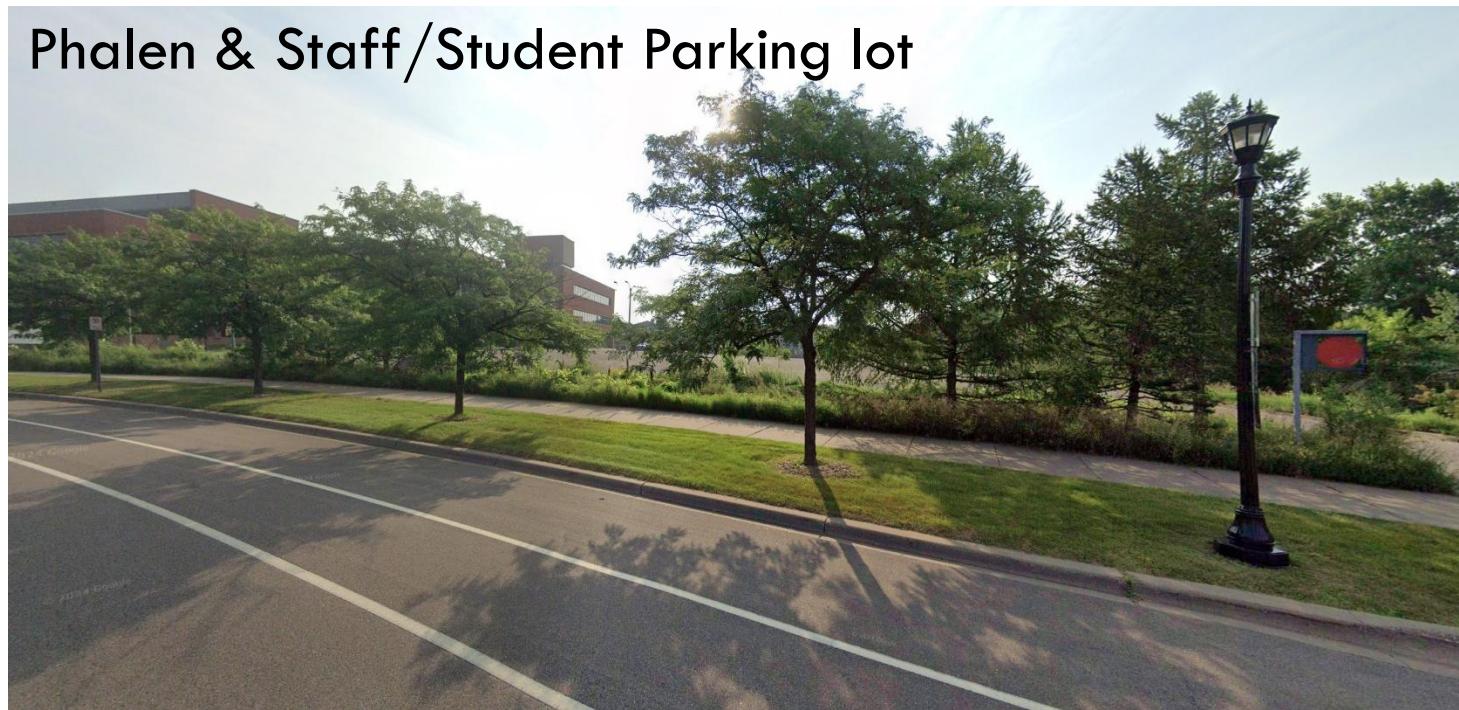


Phalen & Public Path Easement



Existing West Sides of the Property

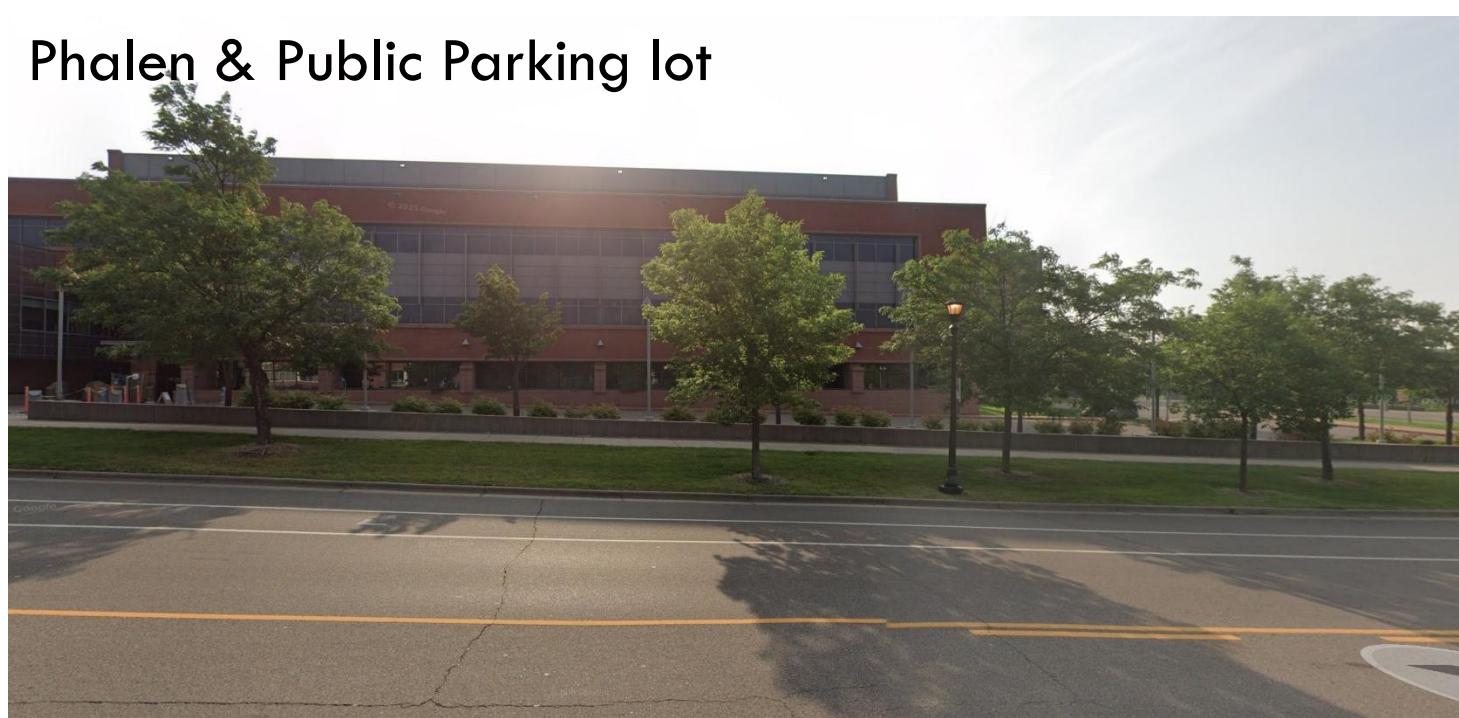
Phalen & Staff/Student Parking lot



Main Gate



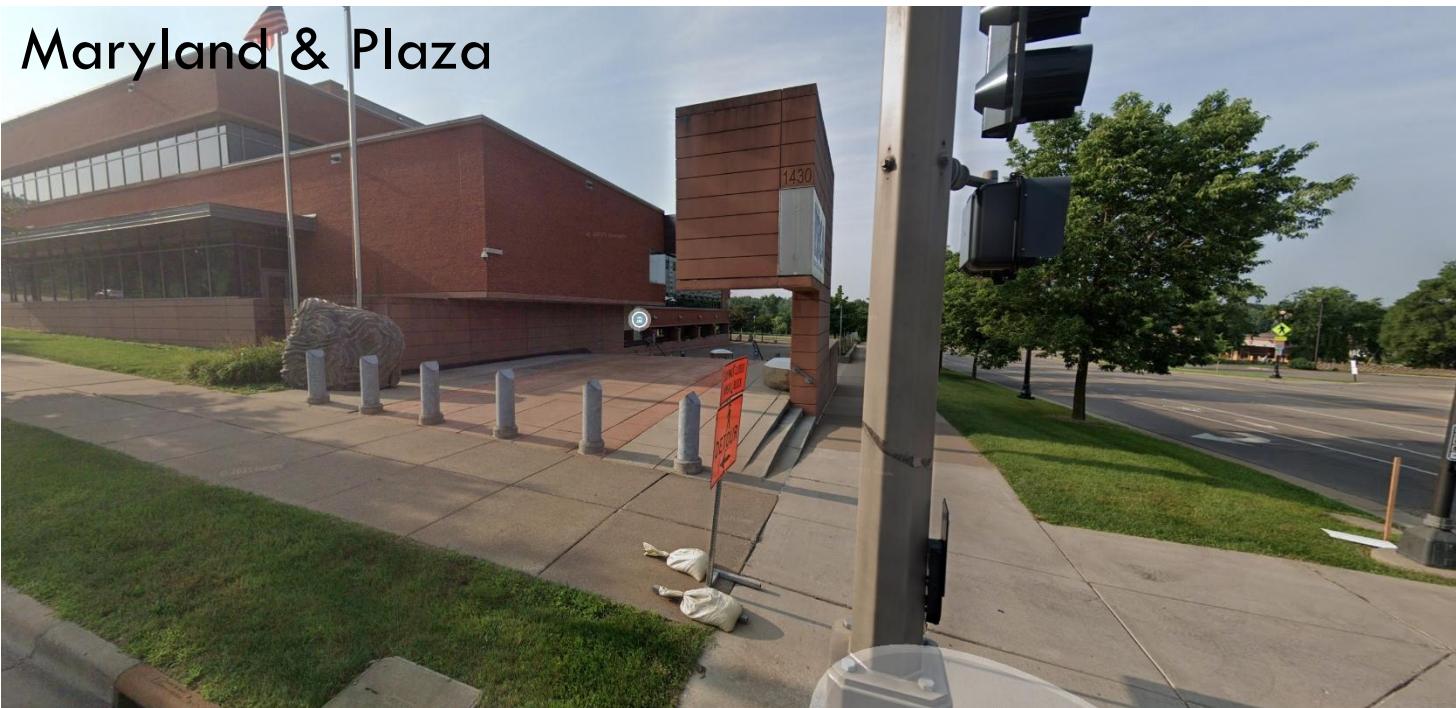
Phalen & Public Parking lot



Phalen & Building Signage

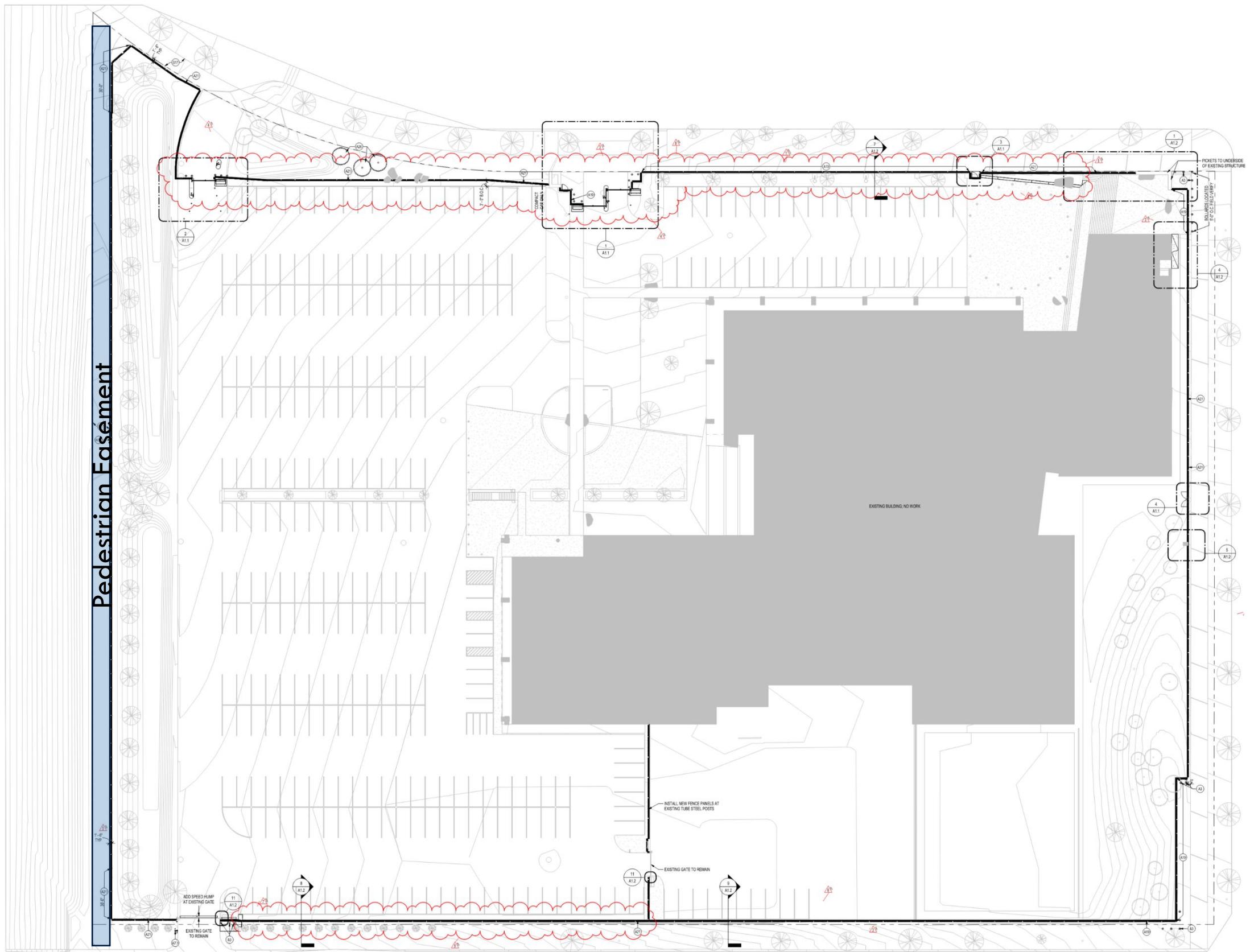


Existing North Sides of the Property



Site Plan

Site Plan



Site Renderings



Site Renderings



Site Renderings



FENCE AT BCA, ST. PAUL
 1430 MARYLAND AVE, EAST
 ST. PAUL, MINNESOTA
 RECS # 07SP0007

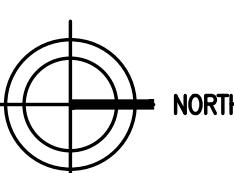
EEA

305 2nd Street Northwest
 Suite 105
 New Brighton, Minnesota 55112
 Tel (651) 632-2300
 Fax (651) 632-2397

CONSULTING
 ENGINEERS

ERICKSEN ELLISON AND ASSOCIATES INC.



CITY MAP  NORTH

DRAWING INDEX	
DRAWING	DESCRIPTION
T0.0	TITLE SHEET
A0.0	OVERALL SITE PLAN
A0.1	FIRST LEVEL - DEMOLITION PLAN
A1.1	SITE PLAN - ENLARGED PLANS
A1.2	SITE PLAN - ENLARGED PLANS
C100	CIVIL NOTES
C200	SITE DEMOLITION PLAN
C300	SITE RESTORATION PLAN
C400	CIVIL DETAILS
E0.0	TITLE SHEET, SITE MAP, GENERAL NOTES AND ELECTRICAL SYMBOLS
E1.0	ELECTRICAL SITE PLAN
E2.0	ELECTRICAL FIRST LEVEL PLAN

CERTIFICATION
 I hereby certify that this plan, specifically the report, was prepared by
 me or under my direct supervision and
 that I am duly licensed Professional
 Engineer under the laws of the State of
 Minnesota

Todd A. Peterson

Print Name 

Signature

Date: 07/23/2024 License # 23427

REVISIONS

No.	Date	Descriptions
△		
△		
△		
△		
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PROJECT
 FENCE AT BCA ST. PAUL

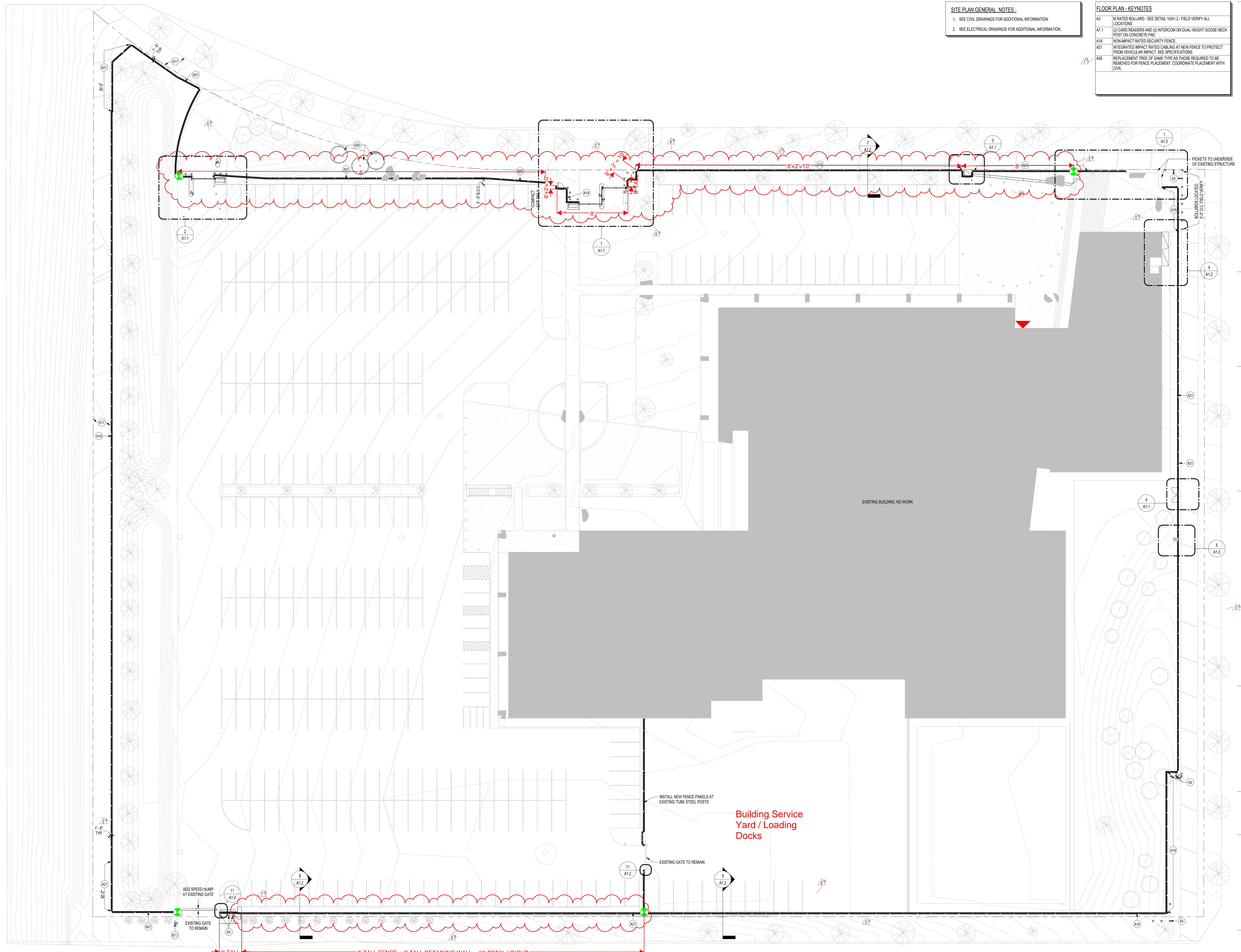
RECS PROJECT NO 07SP0007

Proj. No. 7147.00
 Drawn By : TEH
 Designed By : TAP
 Date : 07/23/2023

SHEET TITLE

TITLE SHEET

SHEET
 T0.0



EEA

305 2nd Street
 Northwest
 Suite 105
 New Brighton,
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 Fax (651) 632-2397

CONSULTING ENGINEERS

KLEIN McCARTHY
 ARCHITECTS

6465 Mayzata Boulevard, Suite 410
 St. Louis Park, MN 55428
 952.908.9999 • www.kleinmccarthy.com



GENERAL NOTES:

1. REFER TO CIVIL, STRUCTURAL, ELECTRICAL, AND SECURITY ELECTRONICS PLANS FOR RELATED WORK AND SPECIAL REQUIREMENTS.
2. REPORT CONFLICTS & OR DISCREPANCIES IN PLANS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO STARTING WORK.
3. TRIM EXISTING ADJACENT TREES, BUSHES, AND PLANTS AS NEEDED TO ACCOMMODATE NEW SWINGING ACCESS CONTROL GATE.
4. UNLESS NOTED OTHERWISE - SLOPE GRADE TO DRAIN AWAY FROM BUILDING @ 5/8" PER FOOT (0.6% MIN) AND PAVEMENTS TO DRAIN AWAY FROM BUILDING @ 1/4" PER FOOT (2.0% MIN). SEE CIVIL - GROOVING, DRAINAGE, AND EROSION CONTROL PLANS.

FLOOR PLAN - KEYNOTES

A1 GATE ARM
A2.1 LEFT HAND GATE OPERATOR HOUSING ON CONCRETE PAD
A2.2 RIGHT HAND GATE OPERATOR HOUSING ON CONCRETE PAD
A3 M-RATED BOLLARD - SEE DETAIL 10A1.2 - FIELD VERIFY ALL LOCATIONS
A4 YOKE ON CONCRETE PAD - SEE 10A1.1 FOR PARALLEL FENCE, SEE 11A1.1 FOR PERPENDICULAR FENCE
A5 GATE ARM TO MATCH ADJACENT FENCE STYLE, HEIGHT, AND PROFILE
A7.1 (2) CARD READERS AND (2) INTERCOM ON SINGLE HEAD GOOSE NECK POST ON CONCRETE PAD
A7.2 CARD READER AND INTERCOM ON SINGLE HEAD GOOSE NECK POST
A8 INDUCTION LOOP IN PAVEMENT
A9 PERMIT TO MATCH NEW ADJACENT FENCE STYLE, HEIGHT, AND PROFILE
A10.1 3'-6" WIDE X 8' HIGH EGRESS FENCE GATE TO MATCH EXISTING ADJACENT FENCE STYLE AND PROFILE. PROVIDE ELECTRONIC MORTISE LOCKSET, CLOSER, HINGES, AND CARD READER. SEE 7A1.1
A10.2 7'-0" WIDE X 8' HIGH FENCE GATE TO MATCH EXISTING ADJACENT FENCE STYLE AND PROFILE. PROVIDE ELECTRONIC MORTISE LOCKSET, CLOSER, HINGES, AND CARD READER. SEE 8A1.1
A11 CONCRETE CURB AND PAVEMENT - MATCH EXISTING ADJACENT CONCRETE HEIGHT
A14 CONCRETE PAVEMENT - MATCH EXISTING ADJACENT CONCRETE PAVEMENT
A15 FENCE TO BE LOCATED ALONG TOP OF EXISTING CONCRETE WALL, AND SET BACK CENTERLINE 0.3' 1/2" FROM THE PUBLIC FACE OF THE WALL
A16 SLOPE GATE TO MATCH SLOPE OF ENTRY DRIVE - VERIFY SLOPE IN FIELD
A18 BOLLARD - SEE DETAIL 6A1.2 - FIELD VERIFY ALL LOCATIONS
A21 INTEGRATED IMPACT RATED CABLING AT NEW FENCE TO PROTECT FROM VEHICULAR IMPACT. SEE SPECIFICATIONS
A25 ADA BOLLARD - SEE SPECIFICATIONS - FIELD VERIFY ALL LOCATIONS

REVISIONS

No.	Date	Description
1	8/7/2025	ADDENDUM NO. 1
3	11/20/2022	PR #3
4	4/3/19/2022	REVISED PR#3
5	6/7/25/2022	AS#1
6	6/7/25/2022	AS#1

CERTIFICATION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: *[Signature]*
Print Name: Scott Fettig
License #: 22914
Date: 12/25/2024

PROJECT
FENCE AT BCA ST. PAUL

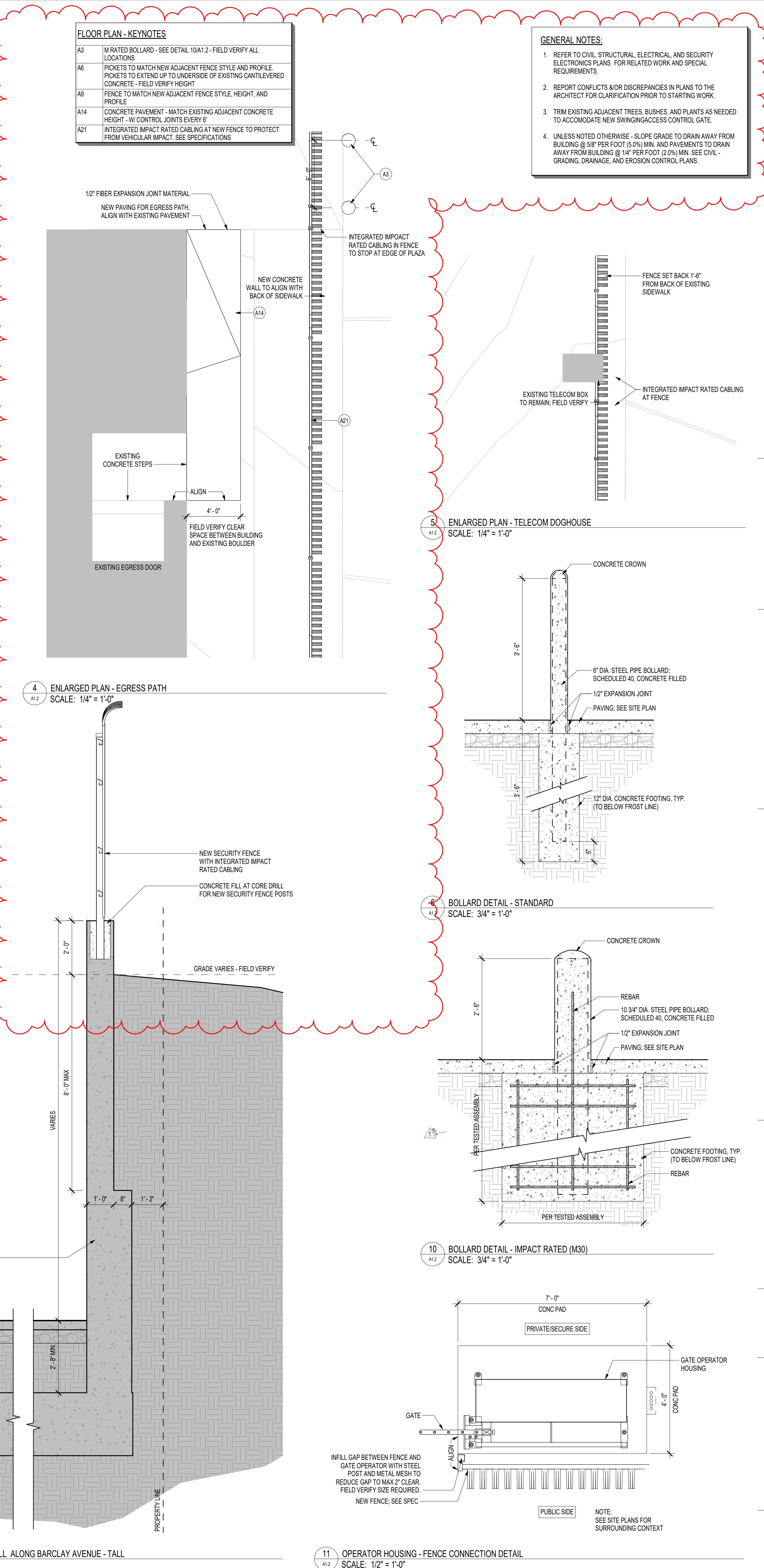
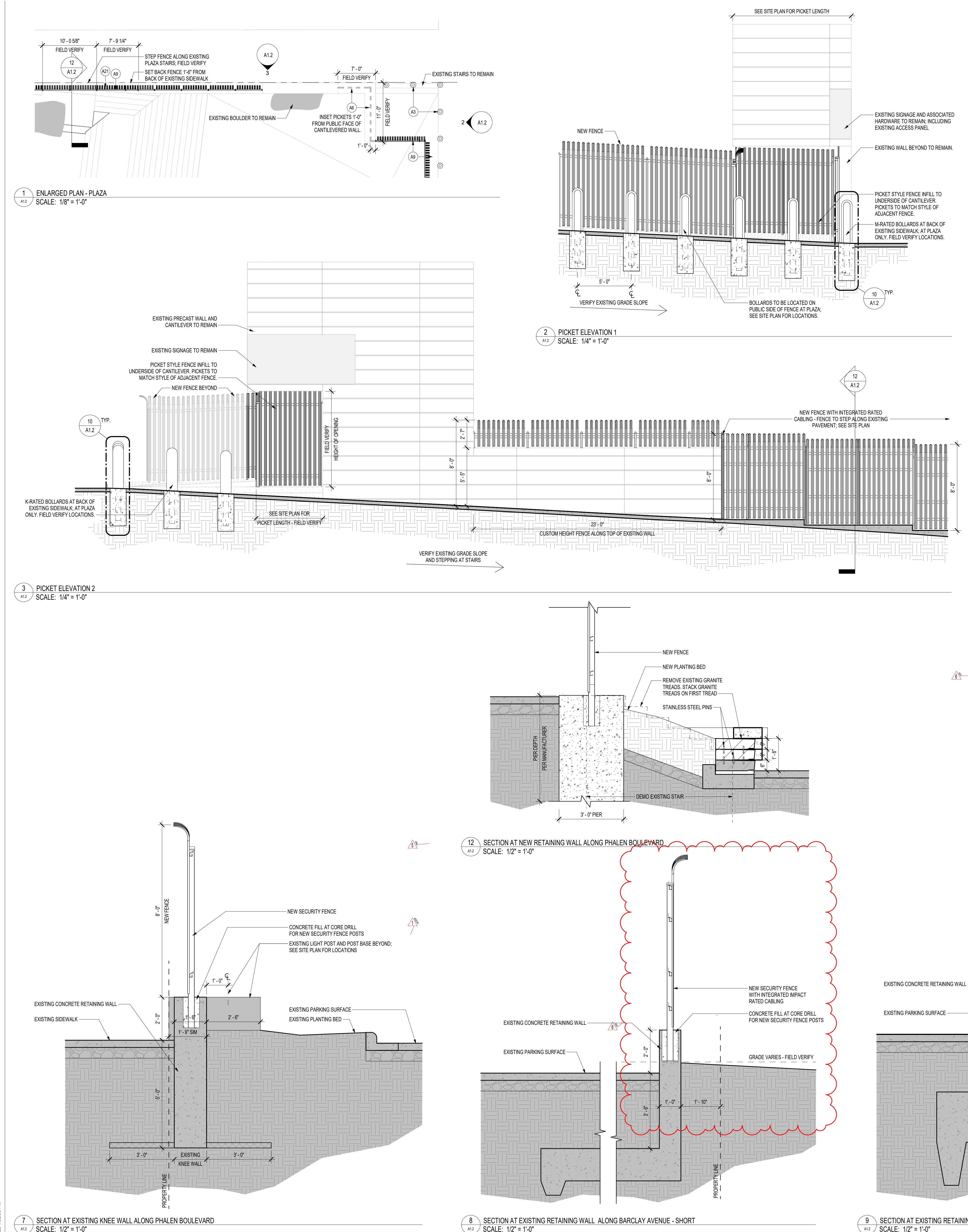
RECS PROJECT NO 07SP0007

Drawn By : EK
Designed By : ETD
Date : 12/5/2024

SHEET TITLE
SITE PLAN - ENLARGED PLANS

CD SUBMITTAL
SHEET

A1.1



EROSION CONTROL NOTES

1. APPLY AND ACQUIRE NPDES PERMIT. CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS WITHIN STORM WATER POLLUTION PREVENTION PLAN (SWPPP).
2. SEE SWPPP PLANS AND SPECIFICATION 312500 FOR FURTHER INFORMATION AND DIRECTION OF EROSION AND SEDIMENT CONTROL MEASURES AND MONITORING.
3. INSTALL PERIMETER EROSION CONTROL AT THE LOCATIONS SHOWN ON THE PLANS. DURING CONSTRUCTION, HAY BALES ARE NOT AN ACCEPTABLE PERIMETER CONTROL. EROSION CONTROL SHALL BE PLACED ALONG THE PERIMETER OF THE SITE EXCAVATION. EROSION CONTROL SHALL BE PLACED SO IT DOES NOT DISTURB THE EXISTING PAVEMENT OR DRIVE LANES THAT ARE TO REMAIN. MANY METHODS OF EROSION CONTROL WORK WELL. THE CONTRACTOR IS RESPONSIBLE TO INSTALL THE MEASURE MOST APPROPRIATE TO THE SITE CONDITIONS AND THAT WHICH MEETS THE CITY OF ST. PAUL AND MPCA STANDARDS. PERIMETER EROSION CONTROL IS GRAPHICALLY SHOWN ON THE PLANS AT THE LIMITS OF CONSTRUCTION FOR CLARITY BUT THE CONTRACTOR IS RESPONSIBLE TO MARK THE LOCATIONS NOT TO DAMAGE EXISTING PAVEMENT AND/OR CURBS TO MINIMIZE DAMAGED PAVEMENT AND/OR CURBS SHALL BE PAID FOR SOLELY BY THE CONTRACTOR. SEE DETAILS AND SPECIFICATIONS.
4. INSTALL TREE PROTECTION FENCING AROUND ALL TREES TO REMAIN PRIOR TO BEGINNING CONSTRUCTION. SEE DETAILS.
5. BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. USE TWO INCH OF GREATER DIAMETER ROCK IN A LAYER AT LEAST 12 INCHES THICK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE. EXTEND THE ROCK ENTRANCE AT LEAST 50 FEET INTO THE CONSTRUCTION SITE. USE ONE INCH OF ROCK OVERLAIN WITH THE AGGREGATE IN ORDER TO PREVENT MIGRATION OF SOIL INTO THE ROCK FROM BELOW. SEE DETAILS. OTHER METHODS OF VEHICULAR CONSTRUCTION ENTRANCES MEET MPCA REQUIREMENTS AND MAY BE ALLOWED IN LIEU OF ROCK ENTRANCES. CONTRACTOR SHALL SUBMIT ALTERNATE METHODS FOR REVIEW BY ENGINEER PRIOR TO INSTALLATION.
6. REMOVE ALL SOILS AND SEDIMENTS TRAPPED OR OTHERWISE DROPPED INTO PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS WHEN TRACKING OCCURS. SWEEPING MAY BE ORDERED BY AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION AND DONE IN A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.
7. INSTALL INLET PROTECTION AT ALL PUBLIC AND PRIVATE CATCH BASIN INLETS WHICH RECEIVE RUNOFF FROM THE DISTURBED AREAS. CATCH BASINS ARE REQUIRED IN DISTURBED AREAS THAT RECEIVE RUNOFF FROM PUBLIC AREAS. NOTE: HAY BALES OR FABRIC WRAPPING THE GRATES ARE NOT EFFECTIVE OR AN ACCEPTABLE FORM OF INLET PROTECTION.
8. LOCATE SOIL OR DIRT STOCKPILES NO LESS THAN 50 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. IF REMAINING FOR MORE THAN SEVEN DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS. CONTROL EXPOSED SOIL IN ALL STOCKPILES BY DUST BANNERS AROUND THE PILES. TEMPORARY STOCKPILES LOCATED OUTSIDE STOCKPILES MUST BE NO LESS THAN TWO FEET FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF LEFT MORE THAN 24 HOURS.
9. MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A DAILY BASIS AND REPLACE DETERIORATED, DAMAGED, OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.
10. TEMPORARILY OR PERMANENTLY STABILIZE ALL CONSTRUCTION AREAS WHICH HAVE BEEN FRESH GRADED AND ALL AREAS IN WHICH GRADING OR SLOPING CONSTRUCTION ACTIVITIES ARE TO BE CONDUCTED UNDERLYING SOIL EROSION DUE TO TROWEL, WHEEL AND RUNNING WATER WITHIN 7-14 DAYS. USE SEEDING AND MULCHING, EROSION CONTROL MATTING, AND/OR SODDING AND STAKING IN GREEN SPACE AREAS. APPLICATION OF GRAVEL BASE ON AREAS TO BE PAVED RECOMMENDED TO MINIMIZE EROSION POTENTIAL.
11. REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL, NON-Biodegradable EROSION AND SEDIMENT CONTROL DEVICES AFTER CONSTRUCTION HAS BEEN COMPLETED. FIND A STABILIZED, PERMANENT VEGETATION COVER HAS BEEN ESTABLISHED, MINIMUM VEGETATION ESTABLISHMENT IS 70% COVERAGE, MAINTAIN ALL TEMPORARY EROSION CONTROL DEVICES UNTIL 70% ESTABLISHED COVER IS ACHIEVED.
12. READY MIXED CONCRETE AND CONCRETE BATCH PLANTS PROHIBITED WITHIN THE PUBLIC RIGHT-OF-WAY. UNDER NO CIRCUMSTANCES MAY WASHOUT WATER DRAIN INTO THE PUBLIC RIGHT-OF-WAY OR INTO THE STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DESIGN AND CONSTRUCTION WASHOUT AREA THAT COMPLIES WITH MPCA REQUIREMENT.
13. ALL EROSION CONTROL ELEMENTS ARE TEMPORARY. CONTRACTOR TO INSTALL EROSION CONTROL ELEMENTS PRIOR TO START OF LAND DISTURBING ACTIVITIES. MAINTAIN IN GOOD CONDITION DURING CONSTRUCTION AND REMOVE FROM THE SITE UPON COMPLETION OF FINAL PAVING AND TURF ESTABLISHMENT.
14. CONTRACTOR TO PROVIDE TEMPORARY SEED AND MULCH ON ALL NON-PAVED AREAS WITHIN 7 DAYS AFTER ROUGH GRADING IS COMPLETED. SEED WITH ANNUAL RYE SEED AT 60 LBS PER ACRE AND WOOD MULCH FIBER AT 45 LBS PER 1,000 SF.
15. CONTRACTOR TO PREVENT DIRT AND/OR DEBRIS FROM ENTERING STORM SEWER OR BEING TRANSPORTED OFF-SITE IN AN UNCONTROLLED MANNER. CONTRACTOR TO VERIFY AT PROJECT CLOSOUT THAT STORM SEWER SYSTEM AND STORMWATER MANAGEMENT SYSTEM IS CLEAR OF SEDIMENT AND/OR DEBRIS AND IS FULLY FUNCTIONAL.
16. STRAWBALES ARE NOT ALLOWED ON SITE IN ANY CAPACITY.

NOTES

1. ALL EXISTING INFORMATION TAKEN FROM SURVEY BY SUNDE LAND SURVEYING CERTIFICATION DATED MAY 1, 2024.
2. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING LOCATIONS OF EXISTING UTILITIES, AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
3. ALL AREAS DISTURBED BY CONSTRUCTION WHICH ARE OUTSIDE THE LIMITS OF PAVING ARE TO BE RESTORED AND REVEGETATED.
4. ALL UTILITY DEMOLITION AND/OR ABANDONMENT TO BE PERFORMED IN ACCORDANCE WITH THE CITY OF SAINT PAUL AND STATE OF MINNESOTA REGULATIONS AND STANDARDS.
5. EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS. CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES WHICH MAY INCLUDE BUT IS NOT LIMITED TO: ELECTRIC, TELEPHONE, GAS, CABLE TV, COMPUTER CABLE, FIBER OPTIC CABLE, SANITARY SEWER, STORM SEWER, STEAM, CONDENSATE, ELECTRICAL DUCTBANK AND WATERMAIN. CONTRACTOR TO CONTACT GOPHER ONE-CALL BEFORE EXCAVATING.
6. ALL EXISTING UTILITIES AND OTHER IMPROVEMENTS ARE TO REMAIN UNLESS NOTED OTHERWISE.
7. CONTRACTOR TO PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS, LANDSCAPING, STRUCTURES AND UTILITIES THAT ARE TO REMAIN. CONTRACTOR TO REPAIR ANY DAMAGE AT OWN EXPENSE.
8. ALL WORK TO CONFORM WITH CITY OF SAINT PAUL AND STATE OF MINNESOTA STANDARDS AND REGULATIONS.
9. ALL EXCAVATIONS MUST COMPLY WITH THE REQUIREMENTS OF OSHA 29 CFR, PART 1926, SUBPART P "EXCAVATIONS AND TRENCHES". THIS DOCUMENT STATES THAT EXCAVATION SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. PROVIDE BARRICADES AT STREETS AND SIDEWALKS PER CITY OF SAINT PAUL AND MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MN MUTCD).
11. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO STARTING CONSTRUCTION.
12. ALL MATERIALS FOR PROPOSED CONSTRUCTION OR REPAIR OF EXISTING FACILITIES SHALL BE NEW PRODUCTS DIRECT FROM THE FACTORY AND FREE FROM DEFECTS.
13. WHEN WORKING AROUND EXISTING TELEPHONE OR ELECTRICAL POLES, THE CONTRACTOR SHALL BRACE THE POLE FOR SUPPORT.
14. WHEN WORKING AROUND EXISTING UTILITIES THAT BECOME EXPOSED, THE CONTRACTOR SHALL PROVIDE SUFFICIENT SUPPORT TO PREVENT EXCESSIVE STRESS ON THE PIPING. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND FACILITIES.
15. CONTRACTOR TO FIELD VERIFY THE EXACT LOCATION AND ELEVATION OF EXISTING STORM AND SANITARY SEWER PRIOR TO THE START OF CONSTRUCTION. IF ELEVATION DIFFERS FROM SURVEYED ELEVATIONS SHOW ON PLAN, REPORT DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
16. SEPT. UTILITY CONTRACTOR TO FURNISH AND INSTALL ALL WATERMAIN, SANITARY SEWER AND STORM SEWER FACILITIES AND APPURTENANCES TO WITHIN FIVE FEET OUTSIDE THE BUILDING. COORDINATE WITH MECHANICAL CONTRACTOR FOR EXACT LOCATION AND DEPTH OF CONNECTION WITHIN BUILDING.
17. CATCH BASINS AND MANHOLES ARE SHOWN ON PLAN LARGER THAN ACTUAL SIZE. COORDINATE LOCATION OF MANHOLE COVER AND CASTING SO THAT IT IS PROPERLY LOCATED AT THE BACK OF CURBING FOR THE CURB INLETS OR CENTERED IN THE AREA AS SHOWN ON THE PLAN FOR THE AREA DRAINS AND MANHOLE COVERS.
18. CONTRACTOR SHALL COORDINATE WITH ARCHITECT'S DRAWINGS TO VERIFY LOCATION, SIZE AND QUANTITY OF ALL ROOF DRAINS AND UTILITY CONNECTIONS. LIMITS OF PROPOSED SITE PLUMBING FACILITIES SHALL BE FIVE FEET FROM EDGE OF BUILDING UNLESS OTHERWISE NOTED.
19. PROVIDE THE FOLLOWING MINIMUM COVER OVER THE TOP OF PIPE AS FOLLOWS:
 - A. 8' OVER WATERMAIN
 - B. 5' OVER SANITARY SEWER
 - C. 2' OVER STORM SEWER
 - D. 1' OVER STORM SEWER DRAINTILE
20. ALL WATERMAIN AND SERVICES TO BE INSTALLED IN ACCORDANCE WITH CITY OF SAINT PAUL WATER STANDARDS. ALL WATER MAIN AND SERVICES TO BE INSTALLED IN ACCORDANCE WITH RECOMMENDED STANDARDS FOR WATER WORKS BY THE GREAT LAKES UPPER MISSISSIPPI RIVER BOARD OF STATE PUBLIC HEALTH AND ENVIRONMENTAL MANAGERS (IEN-STATE STANDARDS) AND ENGINEER'S ASSOCIATION OF MINNESOTA (SPECIFICATIONS/SEAMS) AND STATE OF MINNESOTA PLUMBING CODE, LATEST EDITIONS.
21. ALL PAVEMENT MARKINGS WITHIN EXISTING CITY OF SAINT PAUL PAVEMENT AREAS TO BE REMOVED TO MATCH EXISTING UNLESS NOTED OTHERWISE.
22. SHALLOW DRAINS SHALL BE ACCESSED NO MORE THAN 2' DEEP. MAXIMUM SLOPES FOR ALL DRAINAGE STALLS AND ADA ACCESS ASLINES SHALL NOT EXCEED 2.00% IN ANY DIRECTION. MAXIMUM RUNNING SLOPE FOR ALL SIDEWALKS SHALL NOT EXCEED 5.00%.
23. THE CONTRACTOR SHALL PROVIDE A CONTINUOUS, ACCESSIBLE AND SAFE PEDESTRIAN WALKWAY THAT MEETS ADA AND MINNESOTA MUTCD STANDARDS IF WORKING IN A SIDEWALK AREA, AND TRAFFIC CONTROL PER MINNESOTA MUTCD REQUIREMENTS FOR WORK IN THE PUBLIC RIGHT-OF-WAY.
24. WASTE MATERIALS INCLUDING PAVEMENT REMOVED DURING CONSTRUCTION, WASTE PIPING AND SUPPLIES, CONSTRUCTION DEBRIS AND EXCESS EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF PROPERLY BY THE CONTRACTOR.
25. CONTRACTOR SHALL NOT BLOCK DRAINAGE FROM OR DIRECT EXCESS DRAINAGE ONTO ADJACENT PROPERTY.
26. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY EXISTING DRAINAGE DITCH OR STRUCTURE DESTROYED DURING CONSTRUCTION SHALL BE RESTORED AND RETURNED TO THE SATISFACTION OF THE OWNING AUTHORITY. ALL CONSTRUCTION STORM RUNOFF SHALL COMPLY WITH THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS.
27. CARE MUST BE TAKEN DURING CONSTRUCTION AND EXCAVATION TO PROTECT ANY SURVEY MONUMENTS AND/OR PROPERTY IRONS.
28. COORDINATE SCHEDULING OF CLOSURES AND RE-OPENINGS OF EGRESSES, LOADING DOCKS, DUMPSITES, DRIVEWAYS, SIDEWALKS AND ROADS WITH OWNER AND CITY OF SAINT PAUL. TRAFFIC CONTROL SIGNAGE, TEMPORARY WALKWAYS AND TEMPORARY DRIVEWAYS TO CONFORM WITH CITY OF SAINT PAUL AND STATE OF MINNESOTA REQUIREMENTS AND STANDARDS.
29. DRAWINGS DO NOT INDICATE AREAS OF TEMPORARY SUPPORT SYSTEMS. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS AND SHALL HAVE TOTAL CONTROL OVER THE CONSTRUCTION OF SHORING, BRACING, ANCHORAGES, EXCAVATION SUPPORT WALLS, DIRECTIONAL BORING, AUGER JACKING, SOIL STABILIZATION AND OTHER METHODS OF PROTECTING EXISTING IMPROVEMENTS. SEE SPECIFICATIONS FOR SUBMITTAL REQUIREMENTS.
30. STORAGE AND PROTECTION OF EXISTING SITE FEATURES WHICH NEED TO BE REMOVED AND REPLACED FOR CONSTRUCTION OF PROJECT ARE THE RESPONSIBILITY OF THE CONTRACTOR. STORAGE SHALL BE WITHIN THE LIMITS OF STAGING AREA. CONTRACTOR SHALL PREVENT DAMAGE OR THEFT OF THESE ITEMS AND TO REPLACE AT OWN EXPENSE.
31. CONTRACTOR TO RECORD EXISTING CONDITIONS (PHOTOGRAPHS, VIDEO PHOTOGRAPHY, TALL SURVEYS, ETC.) TO ENABLE RECONSTRUCTION TO MATCH EXISTING CONDITIONS AS REQUIRED. CONTRACTOR TO DOCUMENT EXISTING CONDITIONS SO THAT RECONSTRUCTED AREAS WILL HAVE POSITIVE DRAINAGE SIMILAR TO EXISTING.
32. WHERE DEMOLITION, EXCAVATION, UNDERPINNING, PILE DRIVING, COMPACTING OR SIMILAR WORK IS TO BE PERFORMED ADJACENT TO OR IN THE IMMEDIATE VICINITY OF EXISTING STRUCTURES, THE CONTRACTOR WILL PROVIDE BUILDING SURVEYS AND SEISMIC MONITORING.
33. ALL EXISTING BUILDING EXITS AND DRIVEWAYS SHALL REMAIN UNOBSTRUCTED AND USABLE AT ALL TIMES. IF THERE ARE UNAVOIDABLE EXCEPTIONS, THEN CONTRACTOR SHALL PROVIDE TEMPORARY EXIT PLANS TO THE OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
34. SANITARY SEWER PIPE AND FITTINGS TO BE POLYVINYL CHLORIDE (PVC), SDR 26 MINIMUM AND COMPLY WITH ASTM D3034 AND F679. JOINTS TO BE SOLVENT CEMENT OR FLEXIBLE WATERTIGHT.

PERMANENT PAVEMENT MARKING NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAVEMENT MARKING RELATED ACTIVITIES SUCH AS, BUT NOT EXCLUSIVE TO, COLLECTING RELATING DATA FROM IN-PLACE LANE LINES AND MARKING PERMANENT MARKING ALIGNMENTS. THIS SHALL ALSO INCLUDE ANY LANE CLOSURES OR TRAFFIC CONTROL NECESSARY TO COMPLETE THESE PROJECTS SAFELY.
2. EDGE LINES AND LANE LINES ARE TO BE BROKEN ONLY AT INTERSECTIONS WITH PUBLIC ROADS AND AT PRIVATE ENTRANCES. THE BREAK POINT IS TO BE AT THE START OF THE RADIUS FOR THE INTERSECTION OR AT MARKED STOP LINES OR CROSSWALKS.
3. A TOLERANCE OF 1/4 INCH UNDER OR 1/4 INCH OVER THE SPECIFIED WIDTH WILL BE ALLOWED FOR STRIPE PROVIDED THE VARIATION IS GRADUAL AND DOES NOT DETRACT FROM THE GENERAL APPEARANCE. ALIGNMENT DEVIATIONS FROM THE CONTROL GUIDE SHALL NOT EXCEED 1 INCH. MATERIAL SHALL BE APPLIED IN A COHESIVE FLOW. THE ESTABLISHMENT OF APPLICATION TOLERANCES SHALL NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY TO COMPLY AS CLOSELY AS PRACTICABLE WITH THE PLANNED DIMENSIONS.
4. JUST PRIOR TO THE PLACEMENT OF PAVEMENT MARKINGS THE ROAD SURFACE SHALL BE CLEANED AND FREE OF CONTAMINATION AS RECOMMENDED BY THE MATERIAL MANUFACTURER AND ACCEPTABLE TO THE ENGINEER.
5. APPLY ALL PAVEMENT MARKINGS AS RECOMMENDED BY THE MATERIAL MANUFACTURER.
6. PERMANENT PAVEMENT MARKINGS SHALL NOT BE PLACED OVER TEMPORARY TAPE MARKINGS.
7. THE FILLING OF TANKS, POURING OF MATERIALS OR CLEANING OF EQUIPMENT SHALL NOT BE PERFORMED ON UNPROTECTED PAVEMENT SURFACES UNLESS ADEQUATE PROVISIONS ARE MADE TO PREVENT SPILLAGE OF MATERIAL.
8. PAVEMENT MARKINGS SHALL ONLY BE APPLIED IN SEASONABLE WEATHER WHEN AIR AND PAVEMENT SURFACE TEMPERATURES ARE 50° F OR HIGHER AND SHALL NOT BE APPLIED IN RAIN. THE CONTRACTOR CAN USE A FILM OF DUST TO BE DEPOSITED ON THE PAVEMENT SURFACE AFTER CLEANING AND BEFORE THE MARKING MATERIAL CAN BE APPLIED.
9. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO UTILIZE THE 'ONE CALL EXCAVATION NOTICE SYSTEM' (TELEPHONE NUMBER 651-454-0003). THIS IS REQUIRED BY MINNESOTA STATUTE 2160.
10. ALL PAVEMENT MARKINGS WITHIN THE PARKING LOTS SHALL BE STANDARD STRIPING PAINT WHILE ROADWAY PAVEMENT MARKINGS SHALL BE GROOVING-IN, WET-REFLECTIVE MULTI-COMPONENT.
11. THE ENGINEERS INVOLVEMENT IN THE APPLICATION OF THE MATERIAL SHALL BE LIMITED TO FIELD CONSULTATION AND INSPECTION. THE CONTRACTOR IS PLACED NEARLY "SPECIFY THE APPROPRIATE POINTS TO PROVIDE HORIZONTAL CONTROL FOR STRIPING AND TO DETERMINE NECESSARY STARTING AND CUTOFF POINTS, LONGITUDINAL JOINTS, PAVEMENT EDGES AND EXISTING MARKINGS MAY SERVE AS HORIZONTAL CONTROL WHEN SO DIRECTED.
12. CONTRACTOR TO FOLLOW MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MN MUTCD), MINNESOTA TEMPORARY TRAFFIC CONTROL MANUAL, FIELD MANUAL, TEMPORARY BARRIERS GUIDE MANUAL, MINNESOTA FLAGGING HANDBOOK, AND WORK ZONE SAFETY PROGRAM, LATEST EDITIONS AND SUPPLEMENTS. ALL INFORMATION IS AVAILABLE ON MNDOT WEBSITE WWW.DOT.STATE.MN.US/TRAFFICENG/WORKZONE/

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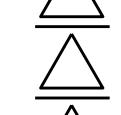
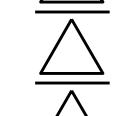
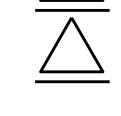
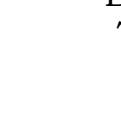
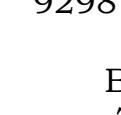
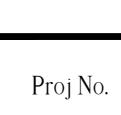
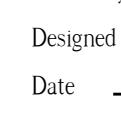
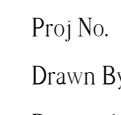
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CERTIFICATION
I hereby certify that this drawing, specification or report was prepared by me or under my direct supervision and that I am duly Licensed Professional Engineer under the laws of the State of Minnesota

Kevin Gardner
Print Name


Signature

Date 07/23/2024 License # 4818

REVISIONS
No. Date Descriptions
   
   
   
   
   
   
   
   
   

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TEL 763-537-1311

PROJECT
FENCE
AT BCA ST. PAUL

RECS PROJECT #07SP0007

Proj No. 7147.00
Drawn By JF
Designed By KG
Date 07/23/2024

SHEET TITLE
CIVIL NOTES

SHEET
C100

ERTIFICATION
hereby certify that this plan, specification or report
is prepared by me or under my direct supervision
and that I am duly Licensed Professional Engineer
under the laws of the State of Minnesota

Kevin Gardner

Ken Sanden
nature

No.	Date	Descriptions
1	11-20-2024	PR #1
2	03-19-2025	PR #3
3	08-08-2025	PR #4

KEY NOTES

- 1 NEW FENCE AND FOOTINGS, SEE ARCHITECTURAL
- 2 BOLLARD, SEE ARCHITECTURAL SITE PLAN
- 3 CONCRETE ISLAND, SEE ARCHITECTURAL
- 4 CONCRETE EQUIPMENT PAD, SEE ARCHITECTURAL
- 5 BITUMINOUS PAVEMENT PATCH, SEE DETAIL 1/C400
- 6 CONCRETE PAVEMENT, SEE DETAIL 3/C400
- 7 TAPER TO FLUSH CURB AT SIDEWALK
- 8 RESTORE CONCRETE SIDEWALK AFTER BOLLARD INSTALLATION, SEE DETAIL 2/C400
- 9 INSTALL BITUMINOUS SPEED BUMP AT GATE CROSSING, SEE ARCHITECTURAL DETAILS
- 10 REPLACE CONCRETE CURB AND GUTTER

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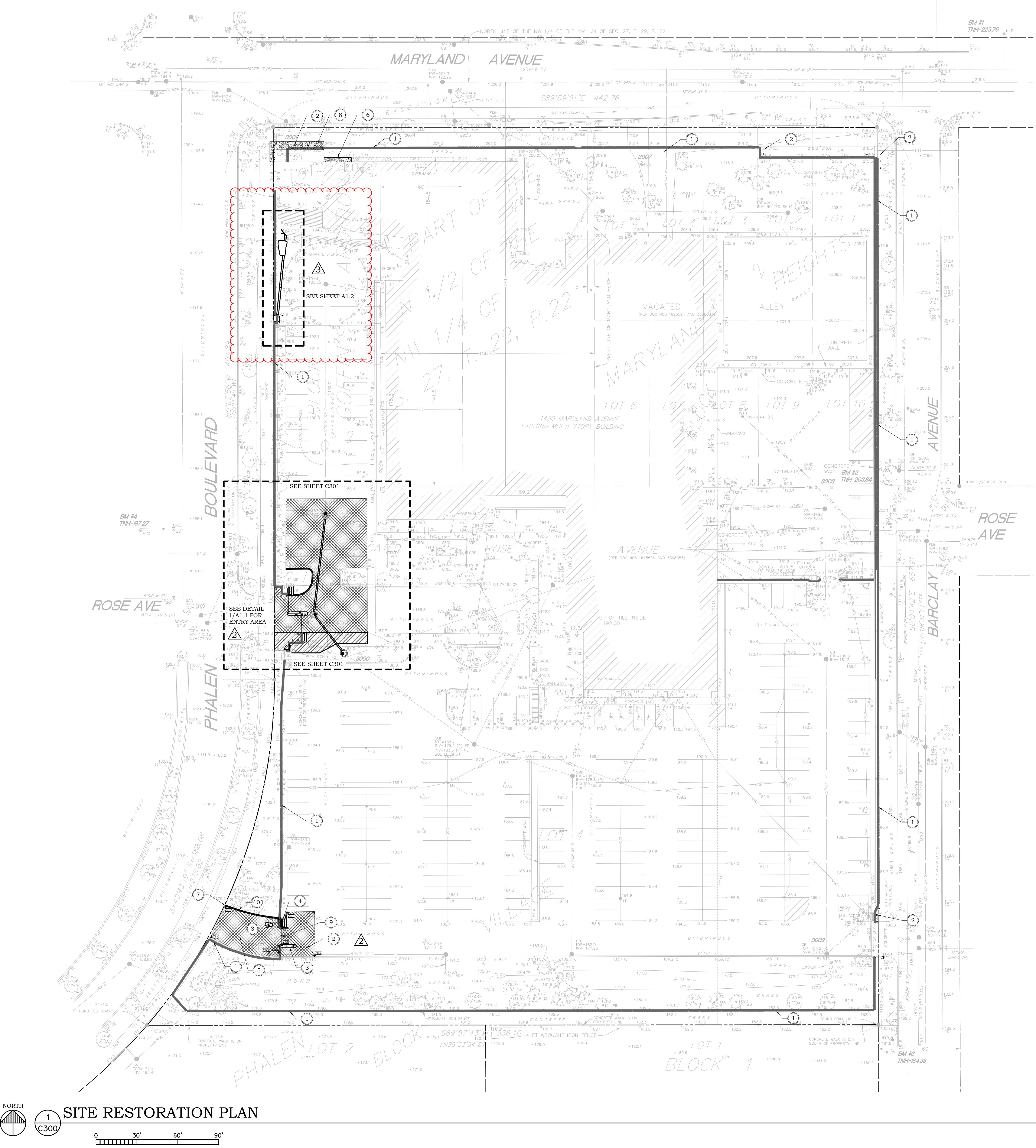
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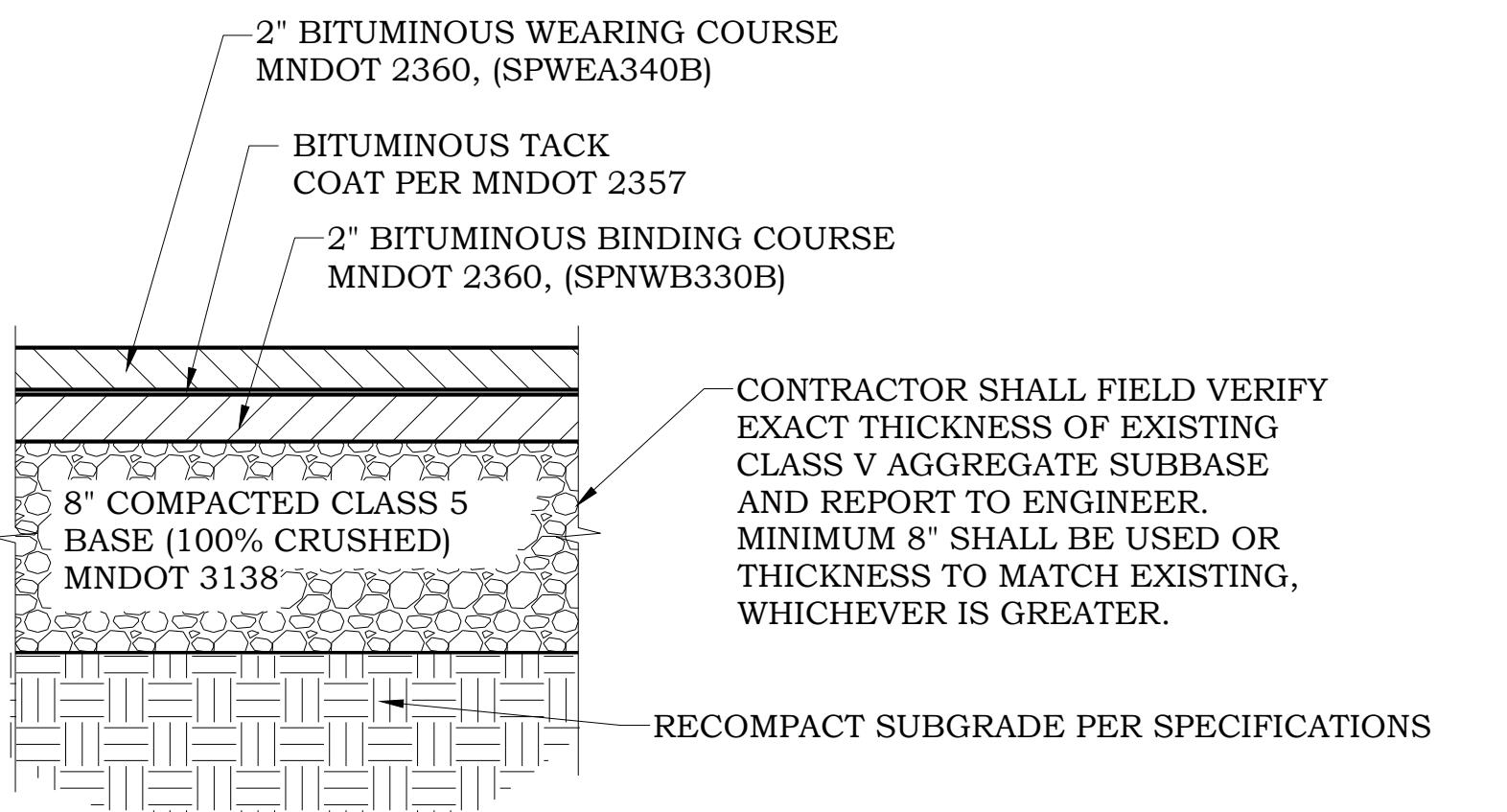
Proj No. 7147.00
Drawn By JF
Designed By KG
Date 07-23-2024

SHEET TITLE

SITE RESTORATION PLAN

SHEET
C300



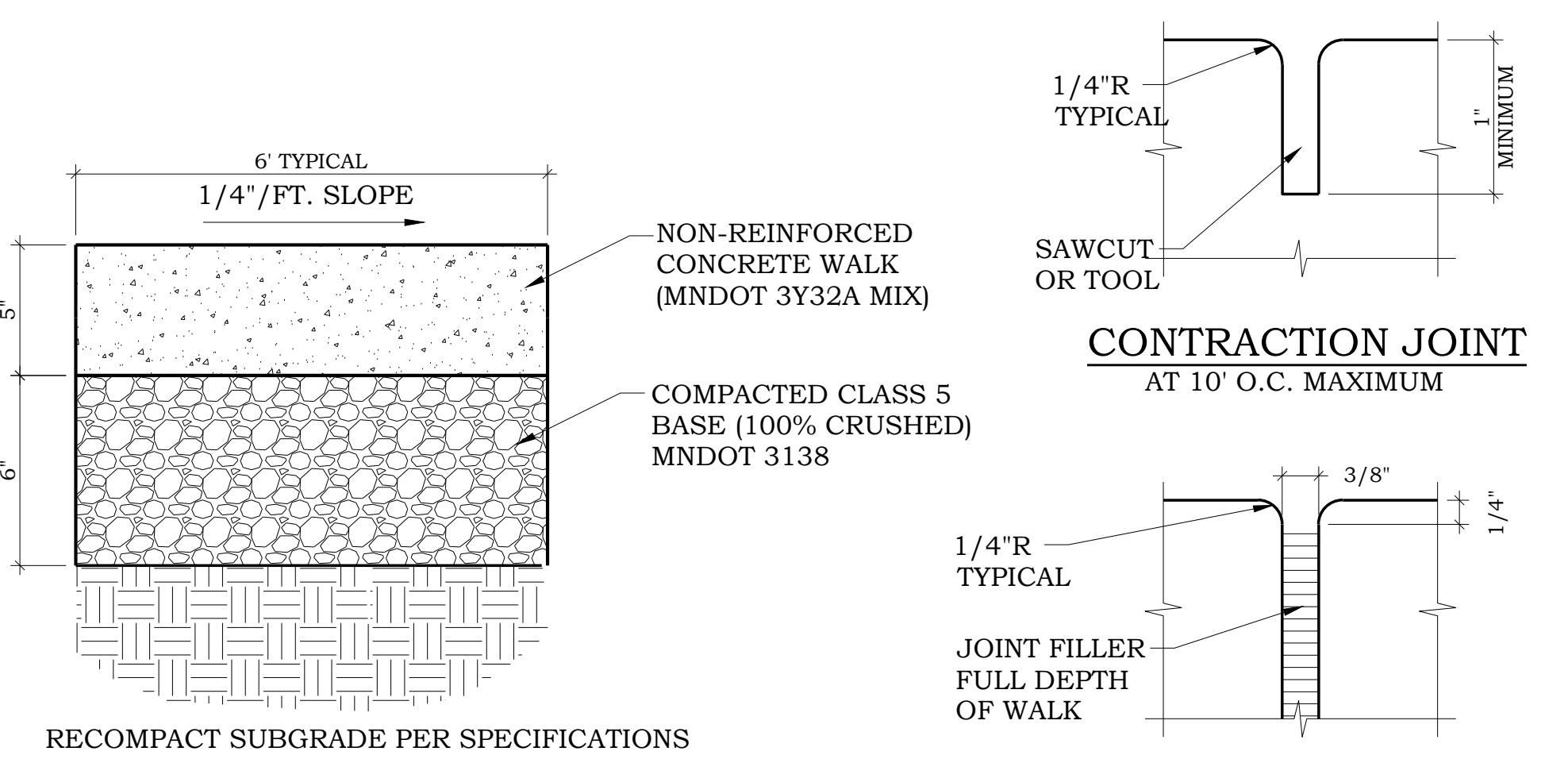




BITUMINOUS PAVEMENT REPLACEMENT

NO SCALE

NO SCALE



IFICATION
ertify that this plan, specification or report
ed by me or under my direct supervision
m duly Licensed Professional Engineer
aws of the State of Minnesota

Kevin Gardner

07-23-2024 License # 45815

ONS

Date	Descriptions
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AT 20' O.C. MAXIMUM

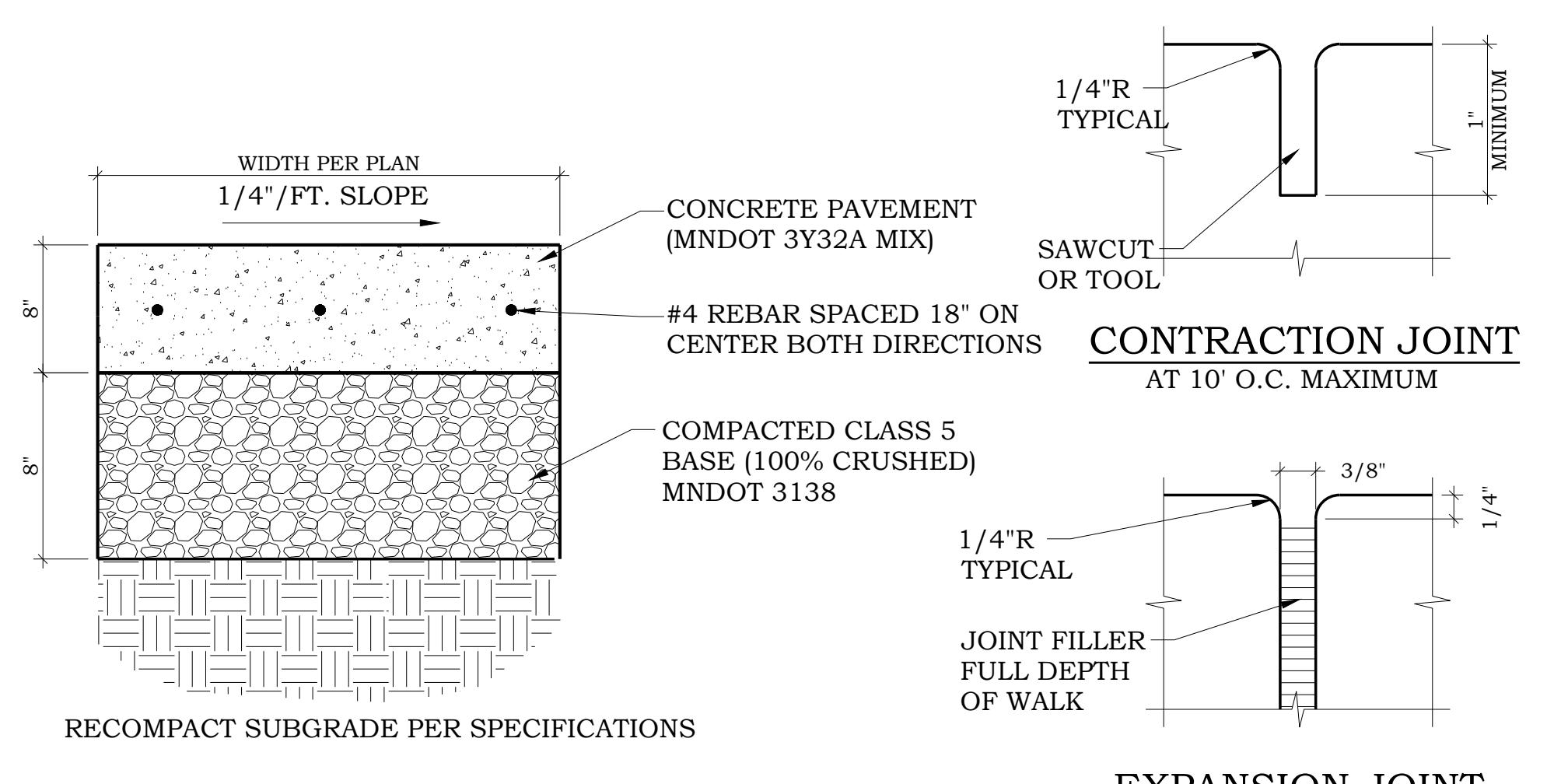
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CONCRETE SIDEWALK REPLACEMENT

C400

NO SCALE

SCALE



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PROJECT FENCE AT BCA ST. PAUL

RECS PROJECT #07SP0007

No.	<u>7147.00</u>
Own By	<u>JF</u>
Assigned By	<u>KG</u>

EFET TITLE

IV.7. DETAILS

EET

CONCRETE PAVEMENT

NO SCALE

ELECTRICAL SYMBOLS	
FIRE ALARM	WIRING
	HOME RUN
	#10.101 - PANEL NUMBER 3,4 - CIRCUIT NUMBER(S)
	INDICATES WIRE SIZE, IF NOTED #12 AWG CONDUCTORS SHALL BE USED
	NOTE: ANY CIRCUITS WITHOUT FURTHER DESIGNATION IS A TWO WIRE CIRCUIT. A GREATER NUMBER OF WIRES ARE INDICATED BY CROSS MARKING.
	SHADED DASHED LINES INDICATE EXISTING TO BE REMOVED.
	UNSHADED SOLID LINES INDICATE EXISTING TO REMAIN.
	ANY SYMBOL MAY BE FURTHER DESIGNATED BY ONE OR MORE OF THE FOLLOWING SUBSCRIPTS:
	HOT CONDUCTOR
	NEUTRAL CONDUCTOR
	CONDUIT CAPPED OR BUSHED
	CONDUIT UP
	CONDUIT DOWN
	BRANCH CIRCUIT (CEILING OR WALL)
	BRANCH CIRCUIT (SURFACE/EXPOSED)
	BRANCH CIRCUIT (UNDER FLOOR OR UNDER GROUND)
EQUIPMENT	SECURITY
	DURESS BUTTON
	DOOR CONTACTS
	MOTION SENSOR
	CARD READER
	EXISTING OUTLET/DEVICE TO BE REMOVED
	EXISTING OUTLET/DEVICE TO BE REMOVED OR COVERED W/BLANK COVER
	H.O. OPERATOR BUTTON

ELECTRICAL ABBREVIATIONS							
A/C	AIR CONDITIONING	EMS	ENERGY MANAGEMENT SYSTEM	LA	LIGHTING ARRESTOR	RM	ROOM
A/V	AUDIO/VIDEO	EVG	ELECTRIC WATER COOLER	LTC	LIGHTING	SCHED	SCHEDULE
ACG	ACCELERATED COUNTER	EXH	EXHAUST	DUST	EXISTING	SHT	SHOOT
ACT	ACOUSTIC TILE					SPEC	SPECIFICATION
AFF	ABOVE FINISHED FLOOR	F	FUSED	MAX	MAXIMUM	SUSP	SUSPENDED
A. AMP	AMPERE	FA	FIRE ALARM	MC	MECHANICAL CONTRACTOR	SW	SWITCH
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	FC	FLUORESCENT CONTACT	MCC	MOTOR CONTROL CENTER	SWB	SWITCHBOARD
ARCH	ARCHITECTURAL	FIT	FLUORESCENT	MDF	MOTOR DISTRIBUTION FRAME	SV	SOLENOID VALVE
ASD	ADJUSTABLE SPEED DRIVE	FLUOR	FLUORESCENT	MECH	MECHANICAL		
ATS	AUTOMATIC TRANSFER SWITCH	FS	FUSED SWITCH	MFR	MANUFACTURED	TEL	TELEPHONE
AUTO	AUTOMATIC	GB	GROUND BUS	MH	MANHOLE	TERM	TERMINAL
AUX	AUXILIARY	GEN	GENERATOR	MIN	MINIMUM	TFMR	TRANSFORMER
AWG	AMERICA WIRE GAUGE	GP	GROUNDED FAULT INTERRUPTING	MLO	MOTOR ONLY	T-STAT	THERMOSTAT
BSMT	BASEMENT	GND	GROUND	MS	MOTOR SWITCH	TV	TELEVISION
C	CONDUIT, CABLE	CYP	GYPSUM BOARD	MTD	EMPTY CONDUIT	TYP	TYPICAL
CAB	CABINET	HH	HANDLE	MTR	MOUNTED		
CAP	CAPACITOR	H-O-A	HANDLE-AUTOMATIC	MTG	MOUNTING	UEP	UNDERGROUND ELECTRIC PRIMARY
CB	CIRCUIT BREAKER	H-PORT	HORIZONTAL	MTR	MOTOR	UF	UNDERFLOOR
CCTV	CIRCUIT	HP	HORSEPOWER	NC	NORMALLY CLOSED	UG	UNDERGROUND
CLG	CLOSED CIRCUIT TELEVISION	HZ	HERTZ	NEC	NATIONAL ELECTRIC CODE	UPS	UNINTERRUPTIBLE POWER SUPPLY
CT	CEILING	INCAN	INCANDESCENT	NEU	NEUTRAL		
CU	CURRENT TRANSFORMER	INCAN	INCANDESCENT	NF	NON-FUSED	UTIL	UTILITY
DISC	DISCONNECT	JAN	JANITOR	NL	NIGHT LIGHT	UTP	UNSHIELDED TWISTED PAIR
DIST	DISTRIBUTION	JBL	JBL	NO	NORMALLY OPEN	V	VOLT
DIV	DIVISION	J-BOX	JUNCTION BOX	NTS	NOT TO SCALE	VERT	VERTICAL
DWG	DRAWING	JCT	JUNCTION	OC	ON CENTER	VM	VOLTMETER
EC	ELECTRICAL CONTRACTOR	KCMIL	THOUSAND CIRCULAR MILS	PE	PNEUMATIC ELECTRIC SWITCH	W	WIRE OR WATT
ELEC	ELECTRICAL	KVA	KILOVOLT AMPERE	PF	POWER FACTOR	WP	WEATHERPROOF
EM	EMERGENCY	KVAR	KILOVOLT AMPERE REACTIVE	PH (-)	PHASE FACTOR		
		KW	KILOWATT	PNL	PANEL		
		KWH	KILOWATT HOUR	PP	POWER POLE	XFMR	TRANSFORMER

GENERAL NOTES:	
1.	FINAL CONNECTIONS TO EQUIPMENT SHALL BE PER MANUFACTURER'S APPROVED WIRING DIAGRAMS, DETAILS, AND INSTRUCTIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE MATERIALS AND EQUIPMENT COMPATIBLE WITH EQUIPMENT ACTUALLY SUPPLIED.
2.	IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS TO ESTABLISH A STANDARD OF QUALITY. THE ENGINEER RESERVES THE RIGHT TO APPROVE METHODS AND MATERIALS NOT REFLECTED HEREIN.
3.	CONTRACTOR SHALL VISIT SITE PRIOR TO BID AND VERIFY EXISTING CONDITIONS. CONTRACTOR SHALL INCLUDE IN HIS BID, COSTS REQUIRED TO MAKE HIS WORK MEET EXISTING CONDITIONS.
4.	WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER TO THE SATISFACTION OF THE ENGINEER.
5.	WORK, MATERIALS, AND EQUIPMENT SHALL CONFORM TO THE LATEST APPLICABLE EDITIONS OF LOCAL, STATE, AND NATIONAL CODES AND ORDINANCES.
6.	PROVIDE PERMITS AND INSPECTIONS REQUIRED.
7.	VERIFY EXACT LOCATION OF EQUIPMENT TO BE FURNISHED BY OTHERS PRIOR TO ROUGH-IN.
8.	SYSTEMS SHALL BE TESTED FOR PROPER OPERATION. IF TESTS SHOW THAT WORK IS DEFECTIVE, CONTRACTOR SHALL MAKE CORRECTIONS NECESSARY AT NO COST TO OWNER.
9.	PROVIDE PULL BOXES AND JUNCTION BOXES AS REQUIRED TO COMPLETE WORK INDICATED.
10.	CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING EQUIPMENT WHICH IS DAMAGED DUE TO INCORRECT FIELD WIRING OR FACTORY WIRING IN EQUIPMENT PROVIDED BY THIS CONTRACTOR.
11.	CONTRACTOR'S FAILURE TO ORDER OR RELEASE ORDER FOR MATERIALS AND/OR EQUIPMENT WILL NOT BE ACCEPTED AS A REASON TO SUBSTITUTE ALTERNATE MATERIALS, EQUIPMENT, OR INSTALLATION METHODS.
12.	SYSTEMS SHALL BE COMPLETE, OPERABLE, AND READY FOR PERMANENT CONTINUOUS OPERATION.
13.	ALL BRANCH CIRCUIT AND FEEDER CONDUITS SHALL HAVE A CODE SIZED COPPER NEUTRAL AND GROUNDING CONDUCTOR. INCREASE CONDUIT SIZE AS REQUIRED.
14.	ALL ELECTRICAL SYSTEMS COMPONENTS SHALL BE LISTED OR LABELED BY UL OR OTHER RECOGNIZED TESTING FACILITY.
15.	EXISTING SECURITY SYSTEM SHALL BE MODIFIED FOR NEW WORK SHOWN ON THESE DRAWINGS.
16.	NO EXISTING EQUIPMENT, CONDUIT, BOXES, AND WIRING SHALL BE ABANDONED IN PLACE. ANY EQUIPMENT AND WIRING RENDERED NOT USED BY THIS PROJECT SHALL BE REMOVED IN ITS ENTIRETY INCLUDING ALL ASSOCIATED, CONDUIT, BOXES, AND WIRING.
17.	WHERE AN ELECTRICAL SYSTEM IS CALLED OUT TO BE CONNECTED WITH AN EXISTING SYSTEM, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE POINT OF CONNECTION AS WELL AS THE MEANS OF CONNECTION WITH THE EXISTING SYSTEM. CONTRACTOR SHALL PROVIDE ALL NEW HARDWARE COMPONENTS REQUIRED TO INTEGRATE THE NEW COMPONENTS INTO THE EXISTING SYSTEM.
18.	WHEREVER THE INSTALLATION OF ELECTRICAL EQUIPMENT CONFLICTS WITH EXISTING CONDITIONS, THE CONTRACTOR SHALL DETERMINE A SATISFACTORY ALTERNATIVE MEANS OF INSTALLATION AND OBTAIN APPROVAL FROM THE ENGINEER BEFORE ACTUAL EQUIPMENT INSTALLATION.
19.	WHERE WORK IS CALLED FOR WITHIN THE EXISTING BUILDING: (1) THE CONTRACTOR SHALL TAKE ALL THE NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE OCCUPANTS. (2) THE CONTRACTOR SHALL ALERT THE OCCUPANTS OF WHERE THE WORK WILL BE DONE AT LEAST ONE DAY IN ADVANCE. (3) CONTRACTOR SHALL CLEAN WORK AREA AT THE END OF EACH WORK DAY.

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CERTIFICATION
I hereby certify that this plan, specifically the report, was prepared by me or under my direct supervision and that I am duly licensed Professional Engineer under the laws of the State of Minnesota.

Todd A. Peterson

Print Name

Signature
Date: 07/23/2024 License # -23427

REVISIONS
No. Date Descriptions

PROJECT
FENCE AT BCA ST. PAUL

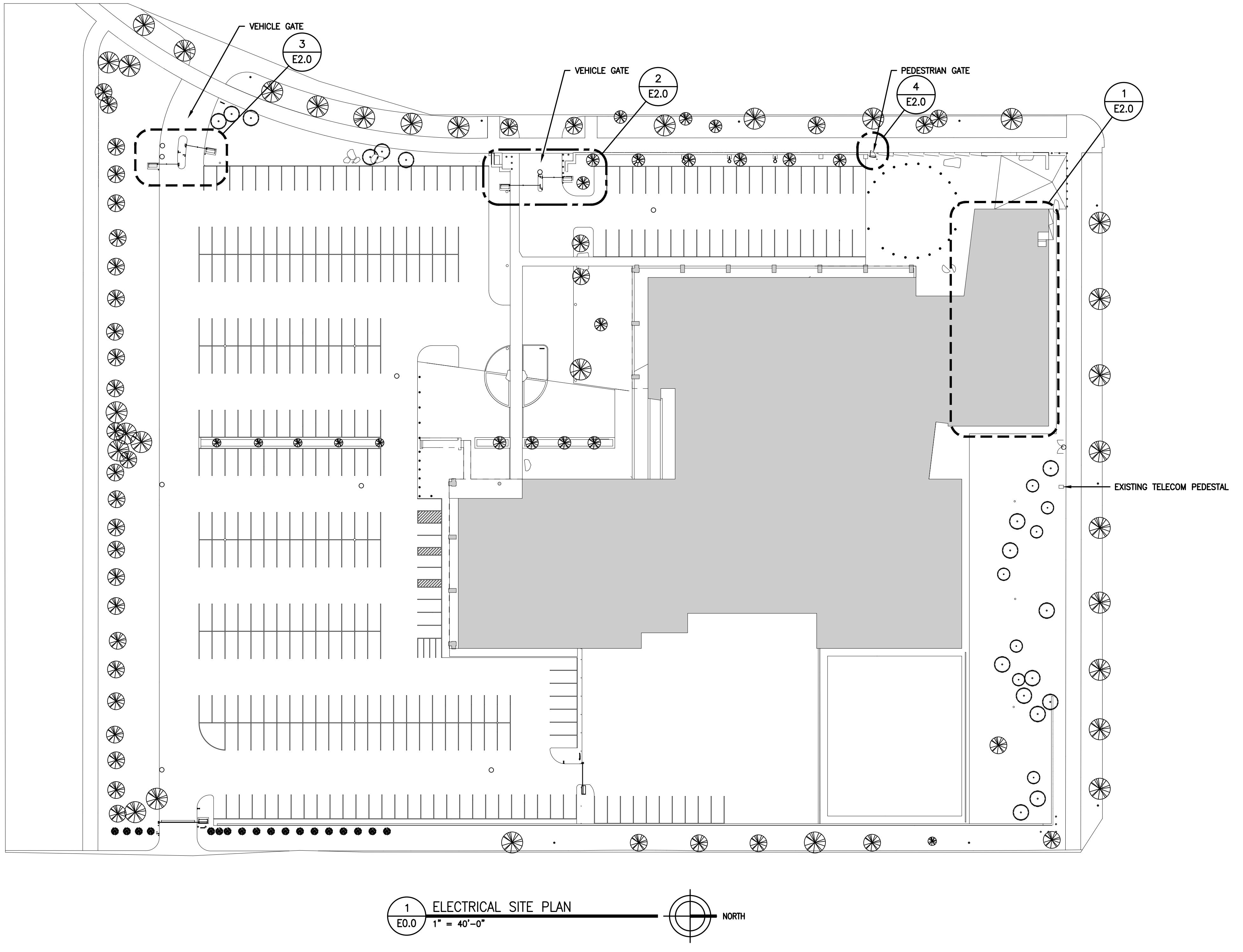
RECS PROJECT NO 07SP0007

Proj No. 7147.00
Drawn By: TEH
Designed By: TAP
Date: 07/23/2023

SHEET TITLE

TITLE SHEET, SITE MAP,
GENERAL NOTES AND
ELECTRICAL SYMBOLS

SHEET
E0.0



EEA

305 2nd Street Northwest
Suite 105
New Brighton, Minnesota 55112
Tel (651) 632-2300
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CONSULTING
ENGINEERS

CERTIFICATION
I hereby certify that this plan,
specifications and report was prepared by
me or under my direct supervision and
that I am duly licensed Professional
Engineer under the laws of the State of
Minnesota

Todd A. Peterson

Print Name



Signature

Date: 07/23/2024

Licenses # 23427

REVISIONS
No. Date Descriptions
1 08/07/24 ADDENDUM 1
2 03/19/25 PR #3R1
3
4
5
6
7

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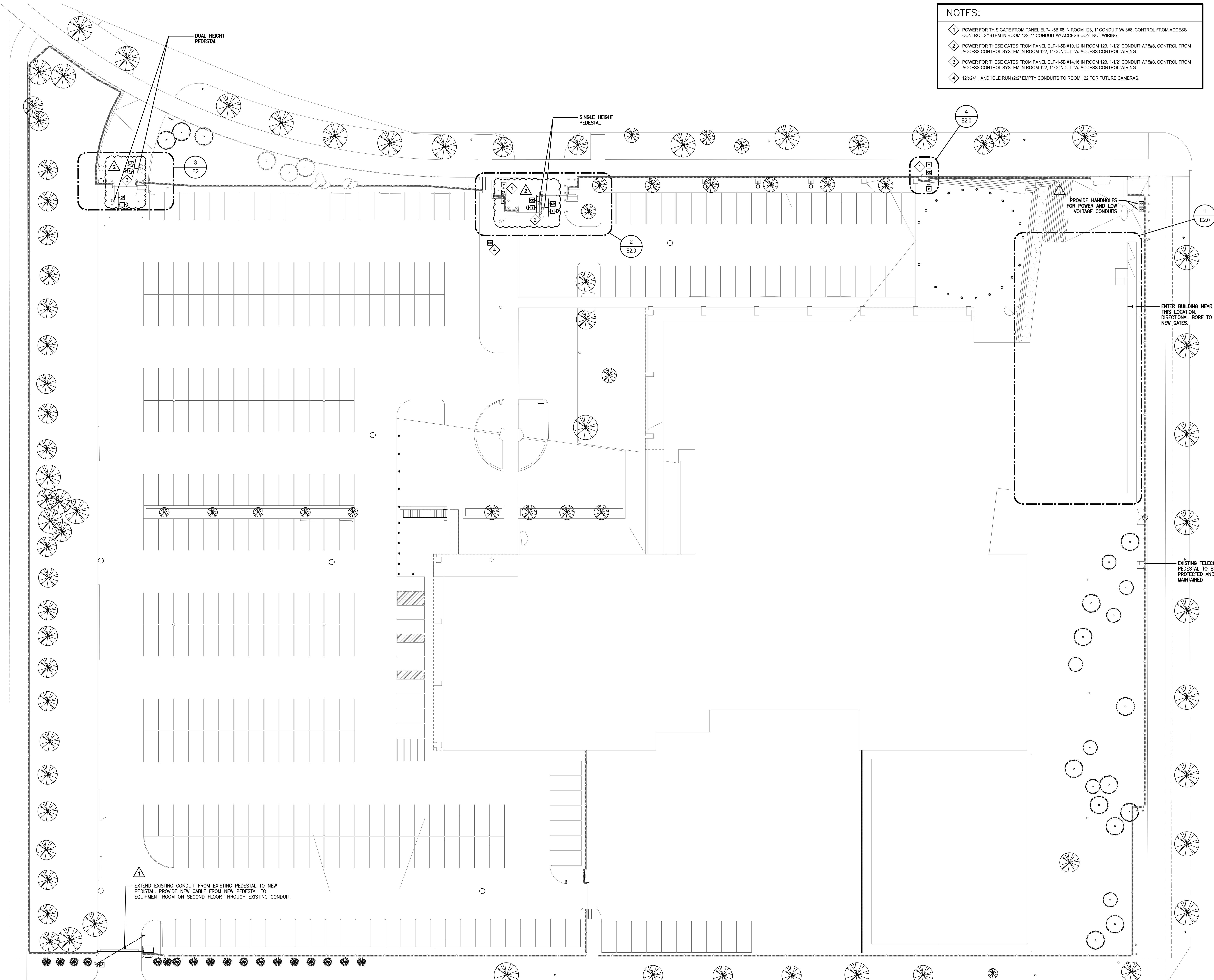
SHEET TITLE
ELECTRICAL SITE PLAN

SHEET

E1.0

NOTES:

- 1 POWER FOR THIS GATE FROM PANEL ELP-1-5B #8 IN ROOM 123, 1" CONDUIT W/ 3#B. CONTROL FROM ACCESS CONTROL SYSTEM IN ROOM 122, 1" CONDUIT W/ ACCESS CONTROL WIRING.
- 2 POWER FOR THESE GATES FROM PANEL ELP-1-5B #10,12 IN ROOM 123, 1-1/2" CONDUIT W/ 5#B. CONTROL FROM ACCESS CONTROL SYSTEM IN ROOM 122, 1" CONDUIT W/ ACCESS CONTROL WIRING.
- 3 POWER FOR THESE GATES FROM PANEL ELP-1-5B #14,16 IN ROOM 123, 1-1/2" CONDUIT W/ 5#B. CONTROL FROM ACCESS CONTROL SYSTEM IN ROOM 122, 1" CONDUIT W/ ACCESS CONTROL WIRING.
- 4 12x24" HANDHOLE RUN (2)2" EMPTY CONDUITS TO ROOM 122 FOR FUTURE CAMERAS.



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REVISIONS

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PROJECT
FENCE AT BCA ST. PAUL

RECS PROJECT NO 07SP0007

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SHEET TITLE
ELECTRICAL FIRST LEVEL
PLAN

SHEET

E2.0

NOTES:

- 1 ADD ACCESS CONTROL PANEL AND CONNECT TO EXISTING SYSTEM.
- 2 EXISTING PANELBOARDS FOR NEW GATE POWER, CONNECT EXISTING SPARE BREAKERS.
- 3 WIRE CARD READER, INTERCOM AND ALL SAFETIES TO GATE CONTROLLER. HOME RUN FROM CONTROLLER TO BUILDING FROM HERE. PROVIDE A HAND HOLE NEAR CONTROLLER.
- 4 WEATHER PROOF JUNCTION BOX MOUNTED TO FENCE NEAR CARD READER PEDESTAL FOR POWER SUPPLIES, RELAYS AND ANY OTHER SECURITY DEVICES.

