



# APPLICATION FOR APPEAL

## Saint Paul City Council – Legislative Hearings

310 City Hall, 15 W. Kellogg Blvd.

Saint Paul, Minnesota 55102

Telephone: (651) 266-8585

RECEIVED

AUG 12 2015

We need the following to process your appeal

- \$25 filing fee (non-refundable) (payable to the City of Saint Paul) (if cash: receipt number Check #1112)
  - Copy of the City-issued orders/letter being appealed
  - Attachments you may wish to include
  - This appeal form completed
  - Walk-In OR  Mail-In
- for abatement orders only:  Email OR  Fax

<b>HEARING DATE &amp; TIME</b> (provided by Legislative Hearing Office) Tuesday, <u>August 25, 2015</u>
Time <u>1:30 p.m.</u>
Location of Hearing: <u>Room 330 City Hall/Courthouse</u>

### Address Being Appealed:

Number & Street: 107 Hamline Ave N. City: St. Paul State: MN Zip: 55104

Appellant/Applicant: VIVIAN M. Hempel + Colin T. Hempel Email: colin.hempel@gmail.com

Phone Numbers: Business \_\_\_\_\_ Residence \_\_\_\_\_ Cell 317-608-7462

Signature: Vivian Hempel Colin T. Hempel Date: 7-30-2015

Name of Owner (if other than Appellant): VIVIAN M. Hempel

Mailing Address if Not Appellant's: 409 Shady Lane, Greenwood IN 46142

Phone Numbers: Business \_\_\_\_\_ Residence \_\_\_\_\_ Cell 317-608-7462

### What Is Being Appealed and Why? Attachments Are Acceptable

- Vacate Order/Condemnation/Revocation of Fire C of O
- Summary/Vehicle Abatement
- Fire C of O Deficiency List/Correction
- Code Enforcement Correction Notice
- Vacant Building Registration
- Other (Fence Variance, Code Compliance, etc.)

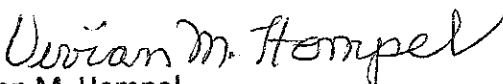
Letter of Explanation Attached

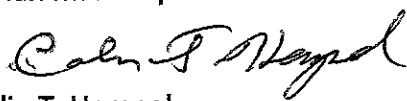
REASON FOR APPEAL – FIRE CERTIFICATE OF OCCUPANCY  
107 HAMLINE AVENUE NORTH, 55104

REQUEST REMOVAL FROM FIRE CERTIFICATE PROGRAM

1. House has been examined in August of 2014 by Fire Inspector, Adrian Neese. It was deemed to be in compliance with the fire safety code.
2. Owner is now over 102 years of age. She resides in Indiana near her only child, Colin, 600 miles away from this property.
3. Even though the house is not occupied, the house and yard are maintained. Interior lights and radios on timers create the appearance of an occupied home. The exterior property is maintained. The grass is mowed, leaves are raked, and the sidewalks are shoveled of snow. The house is not occupied, it is not and will not be a rental property. There is no mail delivery or trash pick-up.
4. Owner lived in St. Paul for almost 75 years and in this dwelling 60 years. During her extremely long lifetime she accumulated a vast number of possessions. These need to be carefully gone through so that precious family memories and other items can be separated from items to be donated or discarded. After dwelling is cleared of possessions, house will be renovated and put on the market for sale.
5. In the event the owner passes away, ownership of the house will transfer to her son. A transfer on death deed has been filed to transfer ownership to her son, Colin T. Hempel
6. At time of transfer of ownership to Colin T. Hempel, the continuation of the exemption from the Fire Certificate of Occupancy is appropriate and requested. He will not be residing in the house, and would only be continuing the process of eliminating contents, renovating, and then placing the house on the market for sale.

Thank you for your attention to this matter.

  
Vivian M. Hempel

  
Colin T. Hempel

Cell Phone: 317-608-7462

Email: [colin.hempel@gmail.com](mailto:colin.hempel@gmail.com)

Address: 409 Shady Lane, Greenwood, IN 46142



CITY OF SAINT PAUL  
Christopher B. Coleman, Mayor

CITY OF SAINT PAUL  
375 Jackson Street, Ste 220  
Saint Paul MN 55101-1806

Telephone: 651-266-9090  
Facsimile: 651-266-9124

2015

**INVOICE FOR PROVISIONAL FIRE CERTIFICATE OF OCCUPANCY**  
For 1 and 2 family dwellings

Dear Property Owner:

The St. Paul City Council approved changes to Chapter 40 of the Legislative Code that will require non owner-occupied properties to have a Fire Certificate of Occupancy.

**\*\*\*With the exception of owner-occupied dwellings, all residential property and commercial buildings must now obtain a Fire Certificate of Occupancy.**

A Provisional Fire Certificate of Occupancy will be issued upon payment of \$100. When your property is scheduled for inspection, you will receive an appointment letter and some additional information that will help you improve inspection results. You will continue to receive an annual invoice for the Provisional Fire Certificate of Occupancy until your inspection is completed. A regular Fire Certificate of Occupancy will be issued after an inspection when all deficiencies have been corrected and inspection fees paid.

Residential properties will be scored based on code deficiencies noted by the inspector. Properties will be classified for future inspections based upon the inspection score. This new classification system provides financial incentive to landlords to maintain their properties. Owners of properties with low inspection scores will save money because the Fire Certificate of Occupancy renewal fees and inspections will be due less frequently.

Additional information regarding the Fire Certificate of Occupancy program and the new classification process can be found on the City of Saint Paul website at [www.stpaul.gov/dsi](http://www.stpaul.gov/dsi). Telephone inquiries should be directed to the Information and Complaint line at 651-266-8989.

**\*\*\*\*PLEASE COMPLETE AND RETURN THE ENCLOSED APPLICATION AND OWNER'S AFFIDAVIT WITH YOUR PAYMENT.** Be sure to return the Invoice. If you no longer own this property, please enter the new owner information on the invoice and return it to our office.

Thank you for working with us on the Certificate of Occupancy Program to make the City of Saint Paul a safe and healthy place to live and work.

**Phillip Owens**

Manager  
Fire Safety Division



# Invoice

Jun 29, 2015

## City of Saint Paul

Department of Safety & Inspections  
375 Jackson Street, Suite 220  
Saint Paul, MN 55101-1806  
Phone: 651-266-8989  
Fax: 651-266-9124  
[www.stpaul.gov/dsi](http://www.stpaul.gov/dsi)

### Invoice To:

VIVIAN M HEMPEL  
409 SHADY LN  
GREENWOOD IN 46142-8363

Customer Number: 1464116

**Please return this invoice  
with your payment for  
proper credit.**

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15-134670 Certificate of Occupancy 107 HAMLINE AVE N  
SubType: Residential 1 Unit

Fee Description	Amount
Provisional CO Fee 2015	\$100.00

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**Pay this Amount: \$100.00**

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Please return this invoice with your payment for proper credit.  
Make check payable to: City of Saint Paul

Customer Number: 1464116

**Pay this Amount: \$100.00**

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CITY OF SAINT PAUL  
Christopher B. Coleman, Mayor

375 Jackson Street., Suite 220  
Saint Paul, MN 55101-1806

Telephone: 651-266-8989  
Facsimile: 651-266-1919  
Web: [www.stpaul.gov/dsi](http://www.stpaul.gov/dsi)

- Yog hais tias koj hais tsis to taub tsab ntawv no, hu rau tus txhais lus ntawm (651) 266-8989. Nws yog pab dawb zwb.
- Si necessita un traductor, por favor llamamos al (651)266-8989. No costo.

334

September 23, 2014

Vivian M Hempel  
409 Shady Ln  
Greenwood IN 46142-8363

Occupant  
107 Hamline Ave. N.  
St. Paul, MN 55104

## CORRECTION NOTICE

RE: 107 HAMLINE AVE N  
File #: 14-331592

Dear Sir or Madam:

The City of Saint Paul, Department of Safety and Inspections has inspected the above referenced property on **September 23, 2014** and has determined that the following deficiencies exist in violation of the Saint Paul Legislative Code<sup>1</sup> (see footnote 1, below).

1. GARAGE DAMAGED BY FIRE; REPAIR OR RAZE. DISCONTINUE USE AND SECURE.

You are hereby notified to correct these deficiencies in accordance with the appropriate codes. The Enforcement Officer will reinspect these premises on or after **January 23, 2015**, by which date the violations noted must be corrected. **Failure to correct these deficiencies may result in the issuance of criminal charges<sup>2</sup>** and/or a civil lawsuit, and possible abatement/assessment by the City. All repairs and new installations must be made in accordance with the appropriate codes. Permits may be obtained by calling 651-266-8989.

You may file an appeal to this notice by contacting the City Clerk at 651-266-8585. Any appeal must be made in writing within 10 days of this notice. (You must submit a copy of this Notice when you appeal, and pay a filing fee.)

**If you have any questions or request additional information, please contact me. To arrange an appointment or request an extension of time to complete repairs, you will need to speak directly to me at 651-266-1908.**

Sincerely,

Mark Kaisersatt  
Badge # 334

CODE ENFORCEMENT OFFICER

Footnotes:

- <sup>1</sup> To see the Legislative Code go to [www.stpaul.gov](http://www.stpaul.gov) on the internet, click on "Departments", then click on "Department of Safety and Inspections", scroll down the page for the "Codes". Most Correction Notices derive from Chapter 34.
- <sup>2</sup> Criminal charges can be brought on the day the violation is observed, but generally we allow time to correct unless this is a repeat violation.

mk

**WARNING** Code inspection and enforcement trips cost the taxpayers money. If the violations are not corrected within the time period required in this notice, the city's costs in conducting a reinspection after the due date for compliance will be collected from the owner rather than being paid by the taxpayers of the city. If additional new violations are discovered within the next following 12 months, the city's costs in conducting additional inspections at this same location within such 12 months will be collected from the owner rather than being paid by the taxpayers of the city. Any such future costs will be collected by assessment against the real property and are in addition to any other fines or assessments which may be levied against you and your property.

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