LUTHER SEMINARY

OLSON CAMPUS CENTER + GULLIXSON HALL RENOVATION



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Luther Seminary 2481 Como Avenue, St. Paul, MN 55108



Gensler

706 2nd Avenue South Suite 1200 Minneapolis, MN 55402 United States

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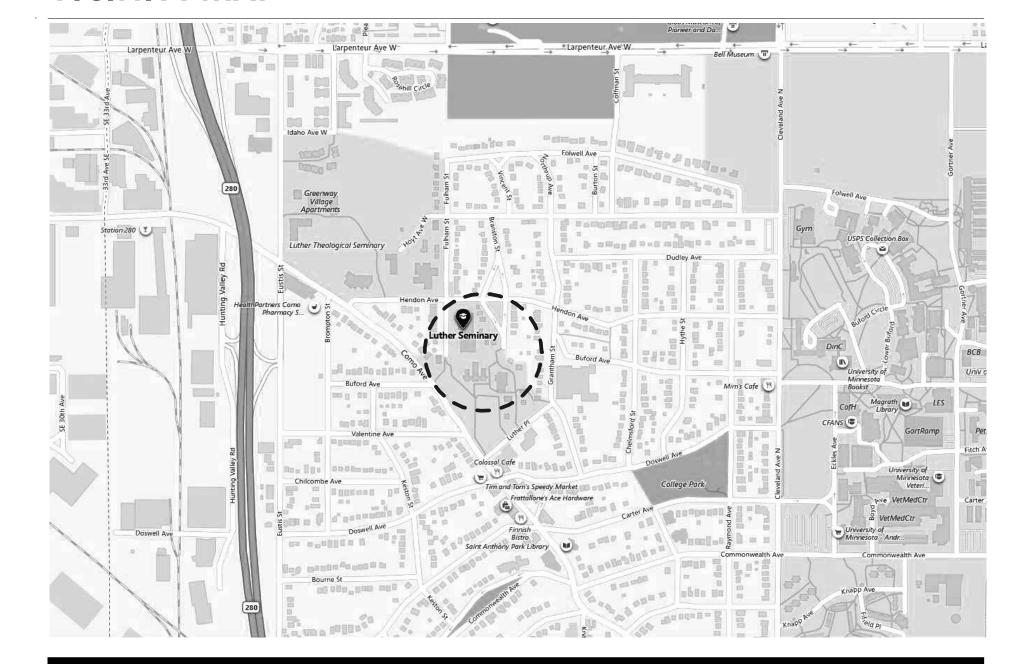
Architect
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of

GULLIXSON HALL Project Number

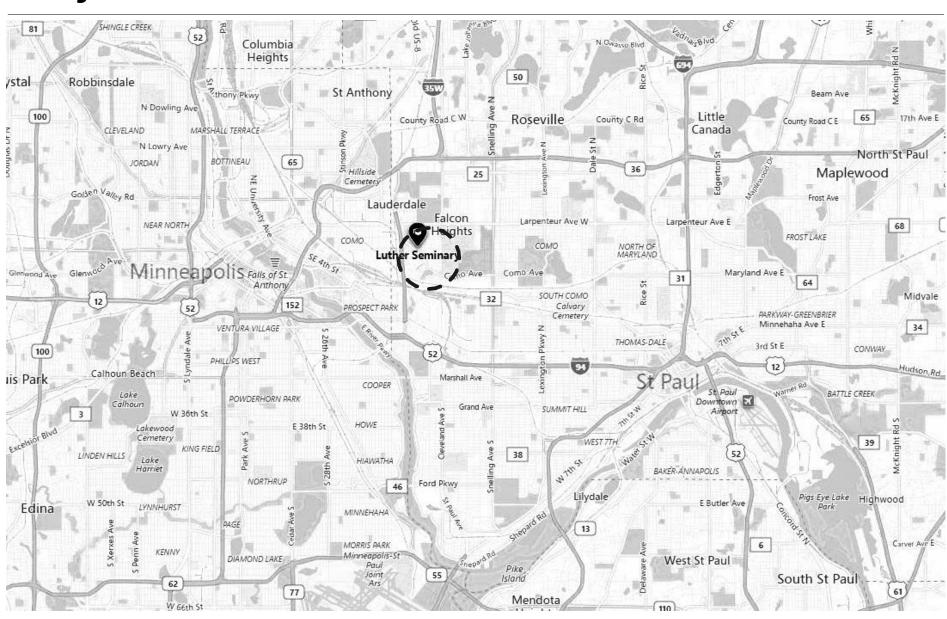
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VICINITY MAP



PROJECT LOCATION MAP



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P2.102 P2.103	PLUMBING RISERS - OLSON SOUTH PLUMBING RISERS - OLSON SOUTH
P4.100 PE1.101OL	PLUMBING DETAILS - OLSON PLUMBING & ELECTRICAL SCHEDULES - OLSON
ELECTRICAL GI	ULLIXSON
E0.001G E0.100G	ELECTRICAL TITLE SHEET - GULLIXSON POWER & SYSTEMS DEMOLITION PLAN - LOWER LEVEL - GULLIXSON
E0.110G E0.120G	POWER & SYSTEMS DEMOLITION PLAN - LEVEL 01 - GULLIXSON POWER & SYSTEMS DEMOLITION PLAN - LEVEL 02 - GULLIXSON
E0.130G	POWER & SYSTEMS DEMOLITION PLAN - LEVEL 03 - GULLIXSON
E0.140G E0.200G	POWER & SYSTEMS DEMOLITION PLAN - ROOF - GULLIXSON LIGHTING DEMOLITION PLAN - LOWER LEVEL - GULLIXSON
E0.210G E0.220G	LIGHTING DEMOLITION PLAN - LEVEL 01 - GULLIXSON LIGHTING DEMOLITION PLAN - LEVEL 02 - GULLIXSON
E0.230G	LIGHTING DEMOLITION PLAN - LEVEL 03 - GULLIXSON POWER & SYSTEMS PLAN - LOWER LEVEL - GULLIXSON
E1.100G	
E1.110G	POWER & SYSTEMS PLAN - LEVEL 01 - GULLIXSON POWER & SYSTEMS PLAN - LEVEL 02 - GULLIXSON
E1.110G E1.120G E1.130G	POWER & SYSTEMS PLAN - LEVEL 02 - GULLIXSON POWER & SYSTEMS PLAN - LEVEL 03 - GULLIXSON
E1.110G E1.120G E1.130G E1.140G E1.200G	POWER & SYSTEMS PLAN - LEVEL 02 - GULLIXSON POWER & SYSTEMS PLAN - LEVEL 03 - GULLIXSON POWER & SYSTEMS PLAN - ROOF - GULLIXSON LIGHTING PLAN - LOWER LEVEL - GULLIXSON
E1.110G E1.120G E1.130G E1.140G E1.200G E1.210G E1.220G	POWER & SYSTEMS PLAN - LEVEL 02 - GULLIXSON POWER & SYSTEMS PLAN - LEVEL 03 - GULLIXSON POWER & SYSTEMS PLAN - ROOF - GULLIXSON LIGHTING PLAN - LOWER LEVEL - GULLIXSON LIGHTING PLAN - LEVEL 01 - GULLIXSON LIGHTING PLAN - LEVEL 02 - GULLIXSON
E1.110G E1.120G E1.130G E1.140G E1.200G E1.210G	POWER & SYSTEMS PLAN - LEVEL 02 - GULLIXSON POWER & SYSTEMS PLAN - LEVEL 03 - GULLIXSON POWER & SYSTEMS PLAN - ROOF - GULLIXSON LIGHTING PLAN - LOWER LEVEL - GULLIXSON LIGHTING PLAN - LEVEL 01 - GULLIXSON
E1.110G E1.120G E1.130G E1.140G E1.200G E1.210G E1.220G E1.230G E1.300G E1.310G	POWER & SYSTEMS PLAN - LEVEL 02 - GULLIXSON POWER & SYSTEMS PLAN - LEVEL 03 - GULLIXSON POWER & SYSTEMS PLAN - ROOF - GULLIXSON LIGHTING PLAN - LOWER LEVEL - GULLIXSON LIGHTING PLAN - LEVEL 01 - GULLIXSON LIGHTING PLAN - LEVEL 02 - GULLIXSON LIGHTING PLAN - LEVEL 03 - GULLIXSON
E1.110G E1.120G E1.130G E1.140G E1.200G E1.210G E1.220G E1.230G E1.300G E1.310G E1.320G E1.330G	POWER & SYSTEMS PLAN - LEVEL 02 - GULLIXSON POWER & SYSTEMS PLAN - LEVEL 03 - GULLIXSON POWER & SYSTEMS PLAN - ROOF - GULLIXSON LIGHTING PLAN - LOWER LEVEL - GULLIXSON LIGHTING PLAN - LEVEL 01 - GULLIXSON LIGHTING PLAN - LEVEL 02 - GULLIXSON LIGHTING PLAN - LEVEL 03 - GULLIXSON COMMUNICATION PLAN - LOWER LEVEL - GULLIXSON COMMUNICATIONS PLAN - LEVEL 01 - GULLIXSON COMMUNICATION PLAN - LEVEL 02 - GULLIXSON COMMUNICATIONS PLAN - LEVEL 03 - GULLIXSON
E1.110G E1.120G E1.130G E1.140G E1.200G E1.210G E1.220G E1.230G E1.330G E1.310G E1.320G E1.330G E1.330G E4.001G E4.002G	POWER & SYSTEMS PLAN - LEVEL 02 - GULLIXSON POWER & SYSTEMS PLAN - LEVEL 03 - GULLIXSON POWER & SYSTEMS PLAN - ROOF - GULLIXSON LIGHTING PLAN - LOWER LEVEL - GULLIXSON LIGHTING PLAN - LEVEL 01 - GULLIXSON LIGHTING PLAN - LEVEL 02 - GULLIXSON LIGHTING PLAN - LEVEL 03 - GULLIXSON COMMUNICATION PLAN - LOWER LEVEL - GULLIXSON COMMUNICATIONS PLAN - LEVEL 01 - GULLIXSON COMMUNICATION PLAN - LEVEL 02 - GULLIXSON COMMUNICATIONS PLAN - LEVEL 03 - GULLIXSON COMMUNICATIONS PLAN - LEVEL 03 - GULLIXSON ELECTRICAL RISER - GULLIXSON COMMUNICATION RISER - GULLIXSON
E1.110G E1.120G E1.130G E1.140G E1.200G E1.210G E1.220G E1.230G E1.330G E1.330G E1.330G E1.330G E4.001G E4.002G E5.001G	POWER & SYSTEMS PLAN - LEVEL 02 - GULLIXSON POWER & SYSTEMS PLAN - LEVEL 03 - GULLIXSON POWER & SYSTEMS PLAN - ROOF - GULLIXSON LIGHTING PLAN - LOWER LEVEL - GULLIXSON LIGHTING PLAN - LEVEL 01 - GULLIXSON LIGHTING PLAN - LEVEL 02 - GULLIXSON LIGHTING PLAN - LEVEL 03 - GULLIXSON COMMUNICATION PLAN - LOWER LEVEL - GULLIXSON COMMUNICATIONS PLAN - LEVEL 01 - GULLIXSON COMMUNICATION PLAN - LEVEL 02 - GULLIXSON COMMUNICATIONS PLAN - LEVEL 03 - GULLIXSON COMMUNICATIONS PLAN - LEVEL 03 - GULLIXSON COMMUNICATION PLAN - LEVEL 03 - GULLIXSON ELECTRICAL RISER - GULLIXSON COMMUNICATION RISER - GULLIXSON ELECTRICAL SECTIONS & ENLARGED PLANS - GULLIXSON ELECTRICAL DETAILS - GULLIXSON
E1.110G E1.120G E1.130G E1.140G E1.200G E1.210G E1.220G E1.230G E1.330G E1.330G E1.330G E1.330G E4.001G E4.002G E5.001G	POWER & SYSTEMS PLAN - LEVEL 02 - GULLIXSON POWER & SYSTEMS PLAN - LEVEL 03 - GULLIXSON POWER & SYSTEMS PLAN - ROOF - GULLIXSON LIGHTING PLAN - LOWER LEVEL - GULLIXSON LIGHTING PLAN - LEVEL 01 - GULLIXSON LIGHTING PLAN - LEVEL 02 - GULLIXSON LIGHTING PLAN - LEVEL 03 - GULLIXSON COMMUNICATION PLAN - LOWER LEVEL - GULLIXSON COMMUNICATIONS PLAN - LEVEL 01 - GULLIXSON COMMUNICATION PLAN - LEVEL 02 - GULLIXSON COMMUNICATIONS PLAN - LEVEL 03 - GULLIXSON COMMUNICATIONS PLAN - LEVEL 03 - GULLIXSON COMMUNICATION RISER - GULLIXSON ELECTRICAL RISER - GULLIXSON ELECTRICAL SECTIONS & ENLARGED PLANS - GULLIXSON
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E1.3210L COMMUNICATIONS PLAN - LEVEL 02 SOUTH - OLSON

E3.001OL ELECTRICAL SECTIONS & ENLARGED PLANS - OLSON

FOODSERVICE COVER SHEET - FOR REFERENCE ONLY

FOODSERVICE SPECIAL CONDITIONS - FOR REFERENCE ONLY

FOODSERVICE DETAILS - FOR REFERENCE ONLY

FOODSERVICE FIXTURE PLAN & ROUGH-IN SCHEDULE - FOR REFERENCE ONLY

FOODSERVICE ELECTRICAL ROUGH-IN PLAN - FOR REFERENCE ONLY FOODSERVICE MECHANICAL ROUGH-IN PLAN - FOR REFERENCE ONLY

E2.001OL ELECTRICAL RISER DIAGRAM - OLSON

E4.001OL ELECTRICAL DETAILS - OLSON

E4.003OL ELECTRICAL DETAILS - OLSON
E5.001OL ELECTRICAL SCHEDULES - OLSON
E5.002OL ELECTRICAL SCHEDULES - OLSON
E5.003OL ELECTRICAL SCHEDULES - OLSON
E5.004OL ELECTRICAL SCHEDULES - OLSON

E5.005OL ELECTRICAL SCHEDULES - OLSON

E4.002OL

E2.002OL COMMUNICATION RISER DIAGRAM - OLSON

ELECTRICAL DETAILS - OLSON



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| ____ | Date | Description

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06/10/19 Issue for Permit & Construction

Architect
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

Signature: William Baxley

Date: 06/05/2019 License Number: 23866

Seal / Signature

Project Name

LUTHER SEMINARY OLSON CENTER +

GULLIXSON HALL
Project Number
30.7644.000

Scale

Description

DRAWING INDEX, PROJECT INFO

50.001

WOOD (FINISHED)

WOOD (CONTINUOUS MEMBER)

WOOD (INTERRUPTED MEMBER)

ABBREVIATIONS

ELECTRICAL

ENTRANCE

EQUIPMENT

EXISTING

EQUAL

EMBEDD(ED)(ING)

ENGINEER(ED)

EMBED

ENGR

ENTR

EQUIP

§.	AND	EXP JT	EXPANSION JOINT	MEZZ	MEZZANINE	STD	STANDARD
ACCESS	ACCESSORY	EXPS	EXPOSE(D)	MFD	MANUFACTURED	STL	STEEL
ACOUS	ACOUSTIC(AL)	EXT	EXTERIOR	MFR	MANUFACTURER	STRFR	STOREFRONT
AFF	ABOVE FINISHED FLOOR	LXI	EXTERIOR	MIN	MINIMUM	STRUCT	STRUCTURAL
AL.	ALUMINUM	FAB	FABRICATION	MISC	MISCELLANEOUS	SURF	SURFACE
ALT	ALTERNATE	FD	FLOOR DRAIN	MLWK	MILLWORK	SUSP	SUSPENDED
ANNUNC	ANNUNCIATOR	FE	FIRE EXTINGUISHER	MOIST	MOISTURE	SYS	SYSTEM(S)
ANOD	ANODIZED	FEC	FIRE EXTINGUISHER AND CABINET	MOT	MOTOR(IZED)		TO 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
\PPL	APPLIANCE	FUO		MTD	MOUNTED	T&G	TOUNGUE AND GROO\
ARCH	ARCHITECT(URAL)	FHC	FIRE HOSE AND CABINET			THK	THICK
AUTO	AUTOMATIC	FIN	FINISH	NIC	NOT IN CONTRCT	TLT	TOILET
AVG	AVERAGE	FLDG	FOLDING	NO	NUMBER	TRAF	TRAFFIC
		FLR	FLOOR(ING)	NTS	NOT TO SCALE	TRANS	TRANSPARENT
3D	BOARD	FPLC	FIREPLACE			TRTD	TREATED
BLDG	BUILDING	FR	FIRE RAT(ING)(ED)	OPNG	OPENING(S)	TYP	TYPICAL
BLKG	BLOCKING	FRMG	FRAMING	OPR	OPERABLE		
BOLLD	BOLLARD	FURN	FURNITURE	ORD	OVERFLOW ROOF DRAIN	UNDRLAY	UNDERLAYMENT
BRDLM	BROADLOOM	FWC	FABRIC WALL COVERING	ORNA	ORNAMENTAL	UNO	UNLESS NOTED
3U	BUILT UP	FXD	FIXED	OVFL	OVERVLOW		OTHERWISE
	20:2: 0:	FXTR	FIXTURE	OVHD	OVERHEAD	UTIL	UTILITY
CAB	CABINET			OVIID	OVEINIE/IB		
CEM	CEMENT(ITIOUS)	GA	GAUGE	PBD	PARITICLE BOARD	VEH	VEHICLE
CER	CERAMIC	GFRC	GLASS FIBER REINFORCED	PEDR	PEDESTRIAN	VERT	VERTICAL
CIP	CAST-IN-PLACE	OI 110	CONCRETE	PLAM	PLASTIC LAMINATE	VIF	VERIFY IN FIELD
		GFRG	GLASS FIBER REINFORCED			V II	VERM THATTEED
CJ	CONTROL JOINT		GYPSUM	PLAS	PLASTER	W/	WITH
CLG	CEILING	GFRP	GLASS FIBER REINFORCED	PLSTC	PLASTIC	W/O	WITHOUT
CMU	CONCRETE MASONRY		PLASTER	PLYWD	PLYWOOD		
20470	UNIT	GL	GLASS	PNL	PANEL	WC	WATER CLOSET
COATG	COATING	GR	GRAD(E)(ING)	POLYST	POLYSTYRENE	WD	WOOD
COILG	COILING	GYP	GYPSUM	PORT	PORTABLE	WDW	WINDOW
CONC	CONCRETE			PREFAB	PREFABRICATED	WT	WEIGHT
CONSTR	CONSTRUCTION	HD	HEAD	PREFIN	PREFINISHED	WTRPRF	WATERPROOFING
CONT	CONTINUOUS(ATION)	HDWD	HARDWOOD	PRTECN	PROTECTION		
CONTR	CONTRACT(OR)	HDWE	HARDWARE	PTN	PARTITION		
COV	COVER	HM	HOLLOW METAL				
CPT	CARPET			RD	ROOF DRAIN		
		HORIZ	HORIZONTAL	RDL	ROOF DRAIN LEADER		
6	DOLLAR (US CURRENCY)	HP	HIGH POINT	RDR	READER		
OBL	DOUBLE	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	RECES	RECESSED		
DEPT	DEPARTMENT		AND AIR CONDITIONING	RECPT	RECEPTACLE		
DES	DESIGN(ED)	INICII TO	INFILTRATION	REF	REFER(ENCE)		
DET	DETAIL	INFILTR	INFILTRATION	REFL	REFLECTED		
OF .	DRINKING FOUNTAIN	INFO	INFORMATION				
DIA	DIAMETER	INSTRUM	INSTRUMENT(ATION)	REFR	REFRIGERATOR		
DIFF	DIFFUSER	INSUL	INSULATION	REINF	REINFORCED(D)(ING)(MEN		
		INT	INTERIOR	DEOD	T)		
OIM	DIMENSION	INTLK	INTERLOCK(ING)	REQD	REQUIRED		
DISP	DISPENSER			RESIL	RESILIENT		
VIC	DIVISION	JAN	JANITOR	RESIS	RESIST(ANT)(IVE)		
ON	DOWN			RFG	ROOFING		
OR .	DOOR	KIT	KITCHEN	RM	ROOM		
DSCON	DISCONNECT		· · · · · · · · ·	RO	ROUGH OPENING		
OWG	DRAWER	LAV	LAVATORY				
		LAV	POUND	SCR	SCRIBE		
ELAST	ELASTOMERIC	LB	LOW POINT	SECUR	SECURITY		
-1 -0	FLEOTDIOAL	ᄕ	LOWFORNI		OOLIADE EEET		

LIGHT

LEVELING

BRITISH POUND

(CURRENCY)

MAXIMUM

MECHANICAL

MEMBRANE

METAL

LOUVER

LVLG

MECH

MEMB

MET

SQUARE FEET

STAINLESS STEEL

SINGLE

SIMILAF

SHORING

SHORG

SIM

ACCESSIBILITY NOTES

- 1. PILE THICKNESS OF SPECIFIED CARPETS DOES NOT EXCEED 1/2".
- FLOOR SURFACES SPECIFIED ARE SLIP-RESISTANT.
- 3. ABRUPT CHANGES IN LEVEL ALONG ACCESSIBLE ROUTE DO NOT EXCEED 1/2" IN HEIGHT. CHANGES BETWEEN 1/4" AND 1/2" ARE BEVELED WITH A SLOPE NO STEEPER THAN 1:2 4. LATCHING AND LOCKING DOORS ARE SPECIFIED TO BE OPERABLE WITH A SINGLE EFFORT BY HARDWARE THAT DOES NOT
- REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. DOOR OPENING HARDWARE IS SPECIFIED TO BE MOUNTED BETWEEN 34" AND 48" ABOVE FLOOR FINISH. 5. CLOSERS FOR FIRE-RATED DOORS ARE SPECIFIED TO BE POWER LEVEL 3 FOR INTERIOR DOORS 38" OR LESS IN WIDTH.
- 6. MAXIMUM PULL OR PUSH EFFORT TO OPERATE NON-FIRE-RATED DOORS SHALL NOT EXCEED 8.5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS, MEASURED AT RIGHT ANGLES TO HINGED DOORS AND AT CENTER PLANE
- OF SLIDING OR FOLDING DOORS. SPECIFIED CLOSERS TO BE ADJUSTED TO COMPLY. 7. ALL DOORS ARE SPECIFIED TO BE NOT LESS THAN 3'-0" IN WIDTH AND NOT LESS THAN 6'-8" IN HEIGHT. DOORS ARE
- CAPABLE OF OPENING AT LEAST 90 DEGREES AND CLEAR WIDTH IS NOT LESS THAN 32".
- 8. FLOOR AREAS ON EACH SIDE OF DOORS ARE SPECIFIED TO BE LEVEL AND CLEAR. THE DIMENSIONS OF THE LEVEL AREAS ARE SPECIFIED TO MEET ANSI A117.3 2003, IAC AND ADA CLEARANCE REQUIREMENTS.
- 9. FLOORS OR LANDINGS ARE SPECIFIED TO BE NOT MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" IS SPECIFIED TO BE BEVELED WITH A SLOPE NO STEEPER THAN 1:2. 10. THE UPPER APPROACH AND THE LOWER TREAD OF EACH INTERIOR STAIR IS SPECIFIED TO BE MARKED WITH A STRIP OF CLEARLY CONTRASTING COLOR AT LEAST 2" WIDE, PLACED PARALLEL TO AND NOT MORE THAN 1" FROM THE NOSE OF

THE STEP OR LANDING. THE STRIP IS SPECIFIED TO BE A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER

- 11. ELECTRICAL RECEPTACLE OUTLETS ARE SPECIFIED TO BE NOT LESS THAN 15" ABOVE THE FLOOR OR WORKING
- 12. TOILET ROOM ACCESSORIES
- A. TOILET CAMPARTMENT DOORS SHALL PROVIDE 32 INCHES OF CLEAR WIDTH B. THE HEIGHT OF THE WATER CLOSET (TOP OF SEAT) SHALL BE BETWEEN 17" AND 19"
- C. THE WATER CLOSET SHALL BE CENTERED BETWEEN 16" 18" FROM THE SIDE WALL OR PARTITION D. CLEARANCE FOR WATER CLOSET SHALL BE 60" MINIMUM WIDTH BY 78" MINIMUM DEPTH WITH 48" MINIMUM CLEAR IN FRONT OF WATER CLOSET D. WHERE A 9" OPEN TOE SPACE IS NOT PROVIDED AT COMPARTMENT WALLS OR PARTITIONS, WATER CLOSET
- CLEARANCES SHALL BE 66" WIDTH BY 84" DEPTH MINIMUM E. FLUSH CONTROLS ARE MOUNTED NO MORE THAN 44" ABOVE THE FLOOR. ON THE SIDE OF THE TOILET WITH THE GREATEST CLEARANCE FROM ADJACENT WALL, TOILET PARTITION OR OTHER SURFACE. F. GRAB BARS ARE PROVIDED IN COMPLIANCE WITH 2015 MINNESOTA ACCESSIBILITY CODE.
- I. HORIZONTAL SIDE GRAB BARS SHALL BE 42" IN LENGTH AND LOCATED 12" FROM THE BACK WALL II. VERTICAL SIDE WALL GRAB BARS SHALL BE 18" MINIMUM IN LENGTH AND MOUNTED WITH THE BOTTOM OF THE BAR LOCATED 39" MINIMUM AND 41" MAXIMUM ABOVE THE FLOOR AND 39" - 41" FROM THE REAR WALL
- III. REAR GRAB BAR SHALL BE 24" MIMIMUM IN LENGTH AND CENTERED ON THE AFTER CLOSET IV. DIAMTER OF GRAB BARS TO BE 1-1/4" TO 1-1/2".
- V. PROVIDE 1-1/2" CLEARANCE BETWEEN GRAB BARS AND WALL VI. GRAB BARS (INCLUDING CONNECTORS, FASTENERS, SUPPORT BACKING, ETC.) SHALL SUPPORT A 250 POUND LOAD VII.GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS
- VIII. GRAB BARS AND ANY ADJACENT SURFACE SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS.
- X. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8" G. CLEAR FLOOR SPACE 30" X 48" IS PROVIDED IN FRONT OF LAVATORY TO PERMIT A FORWARD APPROACH. H. SINKS AND LAVATORIES ARE MOUNTED TO COMPLY WITH KNESSPACE REQUIREMENTS OF ANSI A117.1 2003
- I. FAUCET CONTROLS AND OPERATING MECHANISMS ARE TO BE OPERABLE WITH ONE HAND AND NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. SELF CONTROLS ARE TO REMAIN OPEN FOR AT LEAST 10 SECONDS J. HOT WATER AND DRAIN PIPES UNDER LAVATORIES ARE INSULATED OR OTHERWISED COVERED
- K. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES

POWER & COMMUNICATION NOTES

- 1. PRIOR TO CORING SLAB FOR POWER/COMM POKE-THROUGH DEVICES. COORDINATE LOCATIONS WITH OWNER AND/OR OWNER'S FURNISHINGS CONTRACTOR AND REVIEW WITH ARCHITECT. 2. INDICATED DIMENSIONS ARE TO THE CENTER LINE OF OUTLET OR SWITCH, OR CLUSTER OF OUTLETS OR SWITCHES,
- 3. INSTALL OUTLETS ON OPPOSITE SIDES OF PARTITIONS IN SEPARATE STUD CAVITIES. DO NOT INSTALL BACK-TO-BACK
- 4. COVER PLATES AND DEVICES TO MATCH ADJACENT FINISHED SURFACES AS DETERMINED BY THE ARCHITECT, UNLESS NOTED OTHERWISE.

FIRE PREVENTION NOTES

- 1. EVERY EXIT DOOR IS SPECIFIED TO BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY AND WITHOUT ANY
- SPECIAL KNOWLEDGE OR EFFORT.
- 2. INTERIOR WALL AND CEILING FINISHES ARE SPECIFIED TO BE CLASS 2 (FLAME SPREAD 26-75, SMOKE DEVELOPED 450 OR LESS) OR BETTER, UNLESS NOTED OTHERWISE
- 3. INTERIOR TRIM IS SPECIFIED TO BE CLASS 3 (FLAME SPREAD 76 TO 200, SMOKE DEVELOPED 450 OR LESS) OR BETTER. 4. INTERIOR TRIM FOR CEILINGS IS SPECIFIED TO BE 10% OR LESS OF TOTAL CEILING AREA. INTERIOR TRIM FOR WALLS
- IS SPECIFIED TO BE 20% OR LESS OF TOTAL WALL AREA.
- THIS PROJECT DOES NOT INCLUDE STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GAS OR HAZARDOUS SUBSTANCES.

SPECIAL INSPECTIONS

THE CONTRACTOR SHALL ENGAGE AN APPROVED INSPECTION AGENCY. INSPECTIONS SHALL INCLUDE: 1705.11.1 STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH AISC 341

1705.13 SPRAYED FIRE-RESISTANT SPECIAL INSPECTIONS SHALL INCLUDE THE FOLLOWING TESTS AND OBSERVATIONS: MATERIALS

1. CONDITION OF SUBSTRATES 2. THICKNESS OF APPLICATION 3. DENSITY IN POUNDS PER CUBIC FOOR (KG/m3) 4. BOND STRENGTH ADHESION/COHESION

5. CONDITION OF FINISHED APPLICATION

GENERAL NOTES

- 1. ALL WORK SHALL COMPLY WITH ALL LOCAL BUILDING CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS FOR THE PUBLIC AUTHORITIES GOVERNING THE WORK.
- 2. OBTAIN AND PAY FOR ALL PERMITS, INSPECTIONS AND FINAL SIGN-OFFS REQUIRED BY THE PUBLIC AUTHORITIES GOVERNING THE WORK.
- THE DRAWINGS AND PROJECT MANUAL ARE COMPLEMENTARY AND THEIR INTENT IS TO INCLUDE ALL THE NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL THE LABOR, MATERIALS, AND EQUIPMENT REQUIRED FOR THE CONSTRUCTION OF THE PROJECT. THE ORGANIZATION OF THE DRAWINGS AND PROJECT MANUAL SHALL

NOT CONTROL THE CONTRACTOR IN DIVIDING WORK AMONG THE SUBCONTRACTORS OR IN ESTABLISHING

- THE EXTENT OF WORK PERFORMED BY ANY TRADE. REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. THE CONTRACTOR SHALL REPORT ANY CONFLICTS AND/OR OMISSIONS TO THE ARCHITECT PRIOR TO PERFORMING ANY WORK IN QUESTION. OTHERWISE, THE CONTRACTOR SHALL BE
- RESPONSIBLE FOR ALL COSTS TO COMPLETE THE WORK STATED IN ON THE CONTRACT DOCUMENTS BASED UPON THE OPTIMAL ESTABLISHED QUALITY STANDARD.
- COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES AND USE OF ELEVATORS AS TO MINIMIZE
- DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS. OWNER WILL PROVIDE WORK NOTED AS "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE
- SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- INSTALL CONCEALED BLOCKING AS REQUIRED FOR WORK BY OWNER'S OTHER CONTRACTORS. COORDINATE SIZE, TYPE AND LOCATION OF REQUIRED BLOCKING.
- 8. MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS FOR DURATION OF WORK IN ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES.
- 9. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE FOR DURATION OF WORK. ALL DAMAGE DUE TO IMPROPER PROTECTION SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- 10. MAINTAIN WORK AREAS SECURE AND LOCAKABLE FOR THE DURATION OF WORK AND COORDINATE WITH OWNER/LANDLORD TO ENSURE SECURITY

11. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, THE CONTRACTOR

- SHALL SUBMIT A WRITTEN REQUEST FOR CLARIFICATION OR INFORMATION TO THE ARCHITECT. TELEPHONE INQUIRIES WILL NOT BE PERMITTED.
- 12. ALL PENETRATIONS THROUGH FIRE-RATED WALLS OR FLOORS SHALL BE FIRE-STOPPED IN ACCORDANCE WITH LOCAL CODES.

DEMOLITION NOTES

PLACE. COORDINATE LIFE SAFETY SYSTEM SHUTDOWNS WITH LANDLORD

- 1. REMOVE DESIGNATED PARTITIONS, CEILINGS COMPONENTS, BUILDING EQUIPMENT, AND FIXTURES. 2. REMOVE EXISTING WORK AS REQUIRED TO ACCOMODATE NEW WORK, EVEN WHERE NOT EXPRESSLY INDICATED ON DEMOLITION PLANS.
- 3. REMOVE ABANDONED HVAC EQUIPMENT, DUCT WORK, CONTROLS, REGISTERS, GRILLES AND ALL ASSOCIATED HARDWARE AND ACCESSORIES.
- 4. REMOVE ABANDONED ELECTRICAL, TELEPHONE, DATA, SECURITY AND SIMILAR OTHER CABLING, CONDUIT, EQUIPMENT AND DEVICES, UNLESS OTHERWISE NOTED.
- 5. REMOVE ABANDONED PLUMBING EQUIPMENT, VALVES, PIPING AND ALL ASSOCIATED HARDWARE AND ACCESSORIES. 6. REMOVE EXISTING FINISHES WHERE INDICATED AND PREPARE SUBSTRATE AS REQUIRED FOR NEW FLOOR FINISHES. 7 EXISTING EXIT SIGNS, EMERGENCY LIGHTING, SMOKE DETECTORS, FIRE HORN/STROBES TO REMAIN OPERATIONAL AND IN

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Ten x Ten Studio 575 SE 9TH ST. STE. 210 Minneapolis, MN 55414 Tel 612.440.8369

Date Description

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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Will MI Typed or Printed Name: William Baxley Date: _06/05/2019 ____ License Number: _23866

Seal / Signature

Project Name

LUTHER SEMINARY OLSON CENTER + **GULLIXSON HALL**

Project Number

30.7644.000

SYMBOLS AND ABBREVIATIONS, GENERAL

G1.001



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NOT FOR CONSTUCTION

OLSON CAMPUS CENTER + GULLIXSON HALL

Project Number

30.7644.001

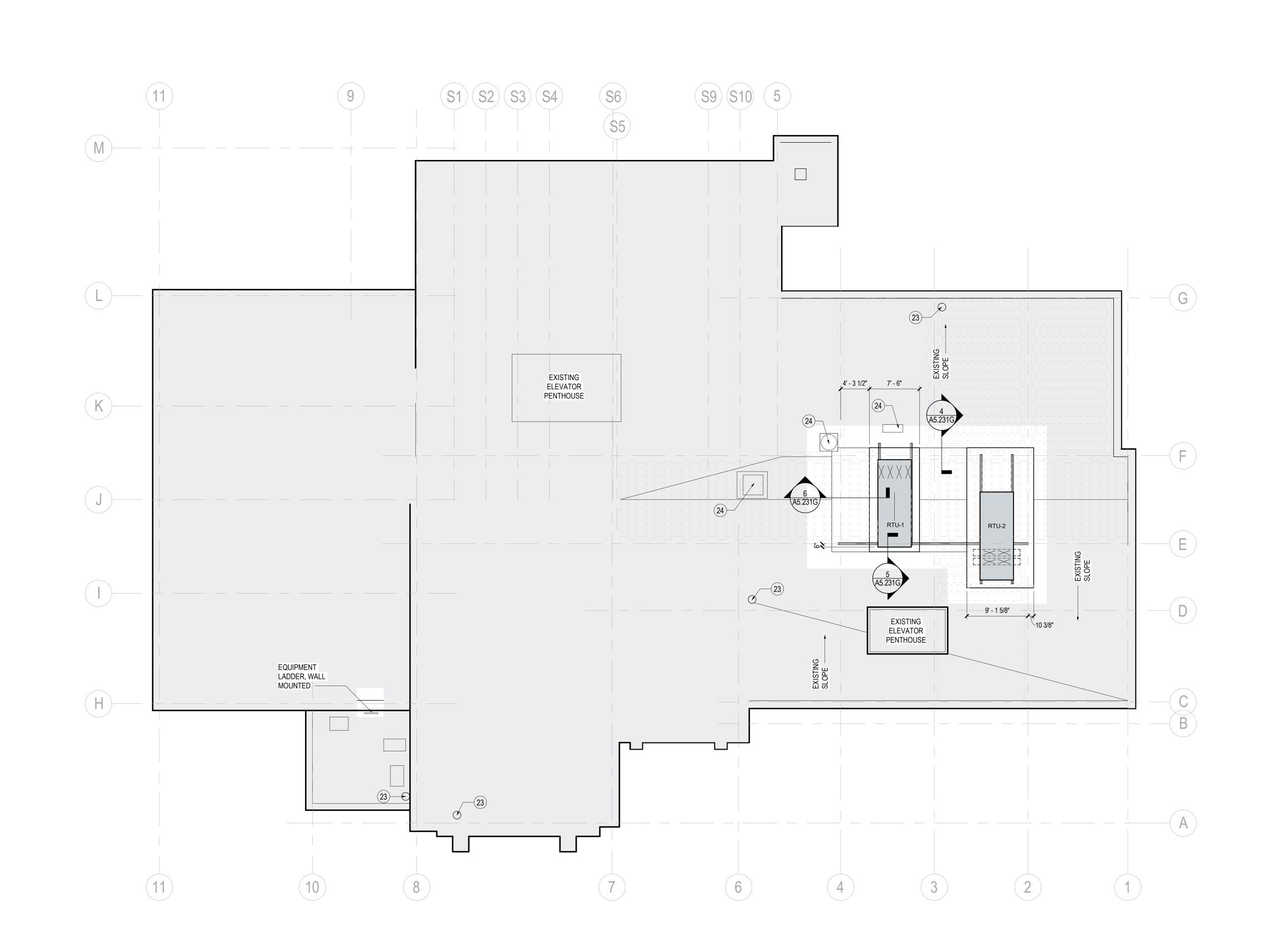
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1/8" = 1'-0"

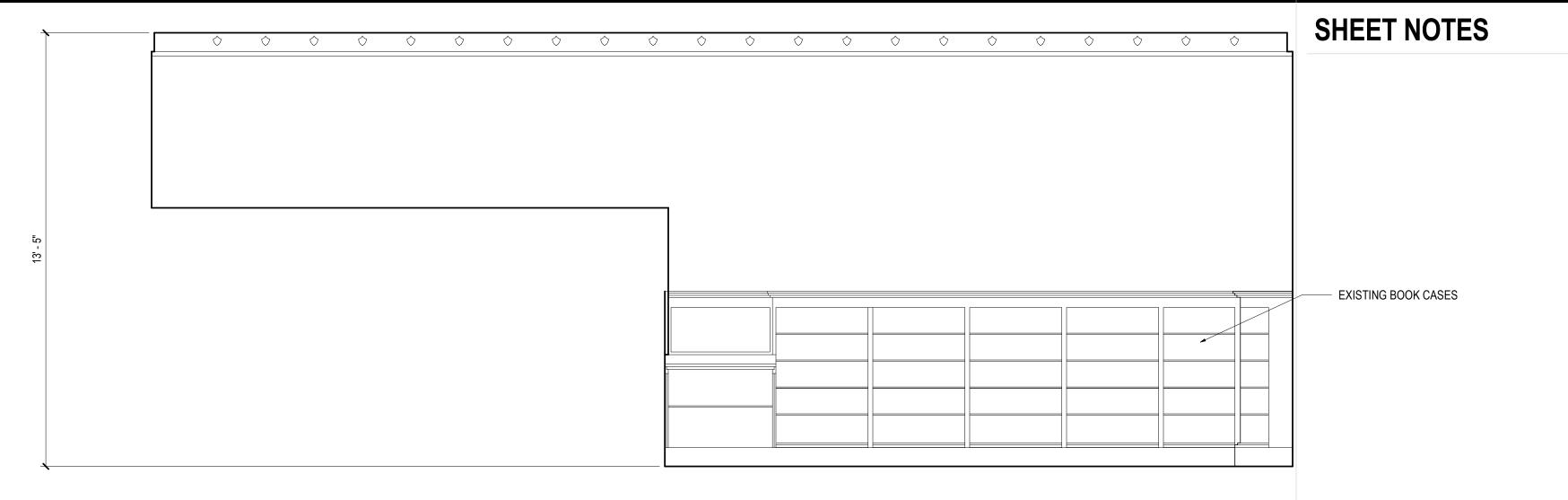
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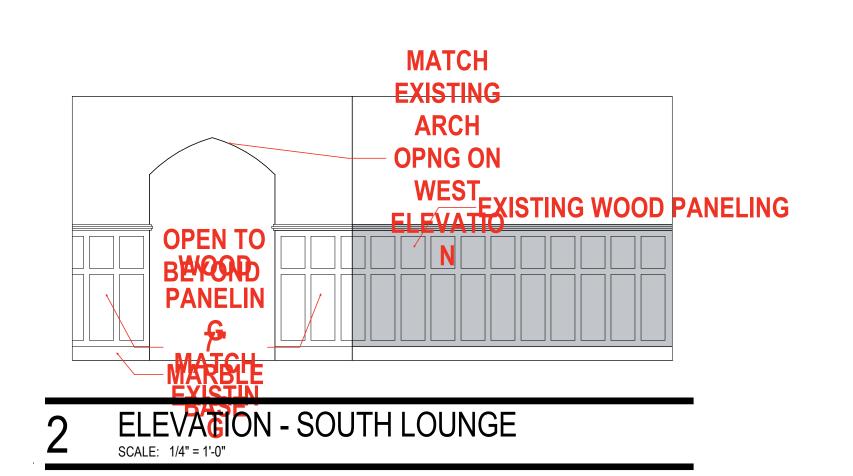
A1.140G

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CONSTRUCTION PLAN - ROOF GULLIXSON SCALE: 1/8" = 1'-0"





ELEVATION - WEST COLLABORATION HUB

SCALE: 3/8" = 1'-0"

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Project Name

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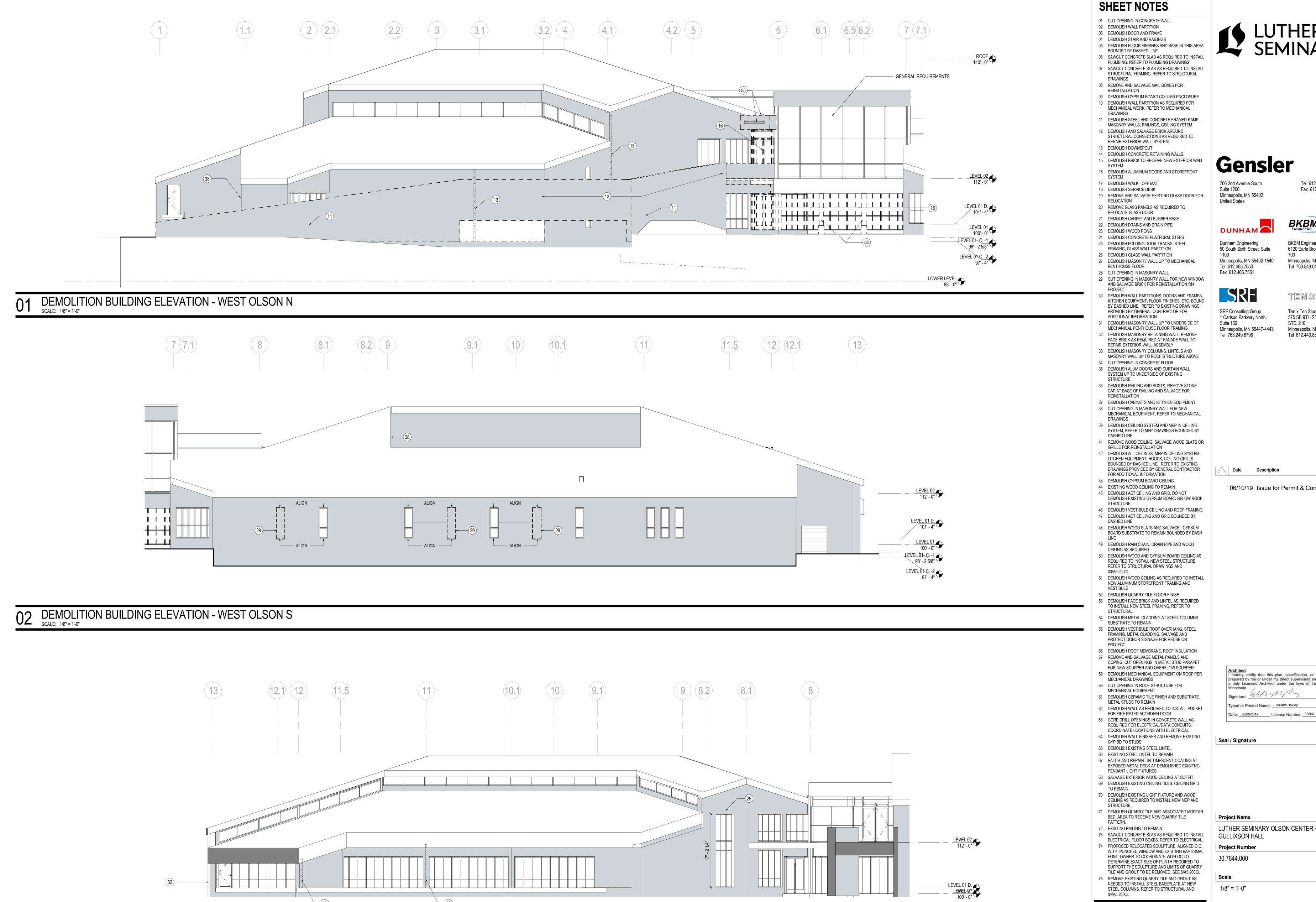
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As indicated

Description

ENLARGE PLANS, SECTIONS AND ELEVATIONS

A5.232G



GENERAL NOTES

ON THE PROJECT.

- 01 SALVAGE AND PROTECT ALL DEMOLISHED SIGNAGE RELATED TO RESTROOMS, ROOM NAMES, EGRESS, AND FIRE SUPERESSION.
- SALVAGE AND PROTECT ALL DEMOLISHED INTERIOR AND EXTERIOR BRICK FOR REUSE ON THE PROJECT.

SALVAGE AND PROTECT ALL DEMOLISHED

- FURNISH TO OWNER FOR REUSE ON PROJECT.
- EXISTING WOOD CEILING PLANKS FOR REUSE © 2016 Gensler

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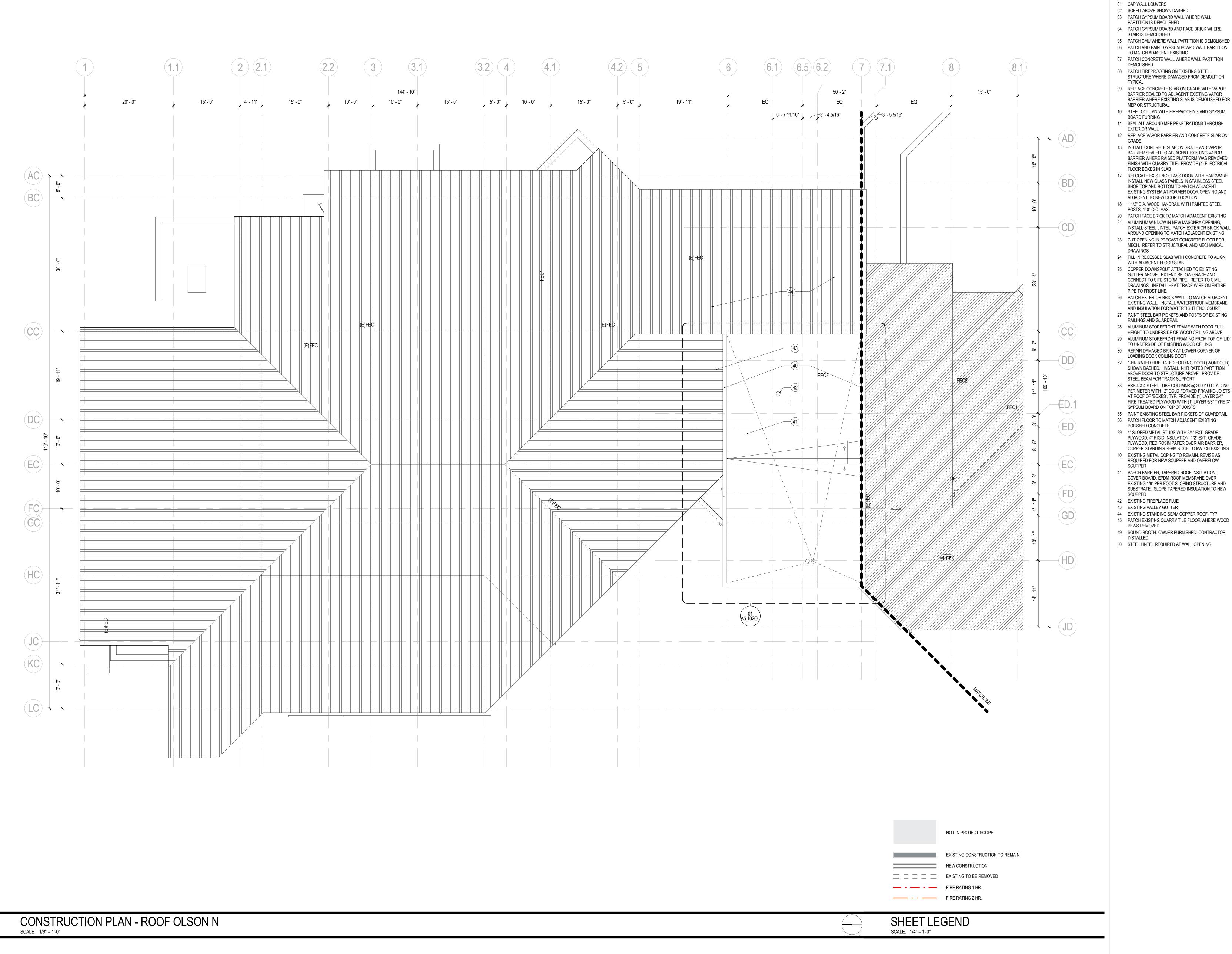
LUTHER SEMINARY OLSON CENTER +

GULLIXSON HALL Project Number

30.7644.000

Description DEMOLITION ELEVATIONS - OLSON

03 DEMOLITION BUILDING ELEVATION - EAST OLSON S



SHEET NOTES

- 01 CAP WALL LOUVERS
- 02 SOFFIT ABOVE SHOWN DASHED 03 PATCH GYPSUM BOARD WALL WHERE WALL
- 04 PATCH GYPSUM BOARD AND FACE BRICK WHERE STAIR IS DEMOLISHED
- 05 PATCH CMU WHERE WALL PARTITION IS DEMOLISHED 06 PATCH AND PAINT GYPSUM BOARD WALL PARTITION
- TO MATCH ADJACENT EXISTING 07 PATCH CONCRETE WALL WHERE WALL PARTITION
- DEMOLISHED 08 PATCH FIREPROOFING ON EXISTING STEEL STRUCTURE WHERE DAMAGED FROM DEMOLITION,
- 09 REPLACE CONCRETE SLAB ON GRADE WITH VAPOR
- BARRIER SEALED TO ADJACENT EXISTING VAPOR BARRIER WHERE EXISTING SLAB IS DEMOLISHED FOR
- MEP OR STRUCTURAL 10 STEEL COLUMN WITH FIREPROOFING AND GYPSUM BOARD FURRING
- 11 SEAL ALL AROUND MEP PENETRATIONS THROUGH EXTERIOR WALL
- 12 REPLACE VAPOR BARRIER AND CONCRETE SLAB ON 13 INSTALL CONCRETE SLAB ON GRADE AND VAPOR
- FINISH WITH QUARRY TILE. PROVIDE (4) ELECTRICAL FLOOR BOXES IN SLAB 17 RELOCATE EXISTING GLASS DOOR WITH HARDWARE. INSTALL NEW GLASS PANELS IN STAINLESS STEEL SHOE TOP AND BOTTOM TO MATCH ADJACENT
- EXISTING SYSTEM AT FORMER DOOR OPENING AND ADJACENT TO NEW DOOR LOCATION 18 1 1/2" DIA. WOOD HANDRAIL WITH PAINTED STEEL
- POSTS, 4'-0" O.C. MAX. 20 PATCH FACE BRICK TO MATCH ADJACENT EXISTING 21 ALUMINUM WINDOW IN NEW MASONRY OPENING, INSTALL STEEL LINTEL, PATCH EXTERIOR BRICK WALL
- AROUND OPENING TO MATCH ADJACENT EXISTING 23 CUT OPENING IN PRECAST CONCRETE FLOOR FOR MECH. REFER TO STRUCTURAL AND MECHANICAL DRAWINGS
- 24 FILL IN RECESSED SLAB WITH CONCRETE TO ALIGN WITH ADJACENT FLOOR SLAB
- 25 COPPER DOWNSPOUT ATTACHED TO EXISTING GUTTER ABOVE. EXTEND BELOW GRADE AND CONNECT TO SITE STORM PIPE. REFER TO CIVIL DRAWINGS. INSTALL HEAT TRACE WIRE ON ENTIRE PIPE TO FROST LINE.
- 26 PATCH EXTERIOR BRICK WALL TO MATCH ADJACENT EXISTING WALL. INSTALL WATERPROOF MEMBRANE AND INSULATION FOR WATERTIGHT ENCLOSURE 27 PAINT STEEL BAR PICKETS AND POSTS OF EXISTING
- RAILINGS AND GUARDRAIL 28 ALUMINUM STOREFRONT FRAME WITH DOOR FULL HEIGHT TO UNDERSIDE OF WOOD CEILING ABOVE
- 29 ALUMINUM STOREFRONT FRAMING FROM TOP OF 'LID' TO UNDERSIDE OF EXISTING WOOD CEILING 30 REPAIR DAMAGED BRICK AT LOWER CORNER OF LOADING DOCK COILING DOOR
- 32 1-HR RATED FIRE RATED FOLDING DOOR (WONDOOR) SHOWN DASHED. INSTALL 1-HR RATED PARTITION ABOVE DOOR TO STRUCTURE ABOVE. PROVIDE STEEL BEAM FOR TRACK SUPPORT
- 33 HSS 4 X 4 STEEL TUBE COLUMNS @ 20'-0" O.C. ALONG PERIMETER WITH 12" COLD FORMED FRAMING JOISTS AT ROOF OF 'BOXES', TYP. PROVIDE (1) LAYER 3/4" FIRE TREATED PLYWOOD WITH (1) LAYER 5/8" TYPE 'X'
- GYPSUM BOARD ON TOP OF JOISTS 35 PAINT EXISTING STEEL BAR PICKETS OF GUARDRAIL 36 PATCH FLOOR TO MATCH ADJACENT EXISTING POLISHED CONCRETE
- 39 4" SLOPED METAL STUDS WITH 3/4" EXT. GRADE PLYWOOD, 4" RIGID INSULATION, 1/2" EXT. GRADE PLYWOOD, RED ROSIN PAPER OVER AIR BARRIER, COPPER STANDING SEAM ROOF TO MATCH EXISTING
- REQUIRED FOR NEW SCUPPER AND OVERFLOW 41 VAPOR BARRIER, TAPERED ROOF INSULATION, COVER BOARD, EPDM ROOF MEMBRANE OVER EXISTING 1/8" PER FOOT SLOPING STRUCTURE AND
- SCUPPER 42 EXISTING FIREPLACE FLUE
- 43 EXISTING VALLEY GUTTER 44 EXISTING STANDING SEAM COPPER ROOF, TYP
- 45 PATCH EXISTING QUARRY TILE FLOOR WHERE WOOD PEWS REMOVED 49 SOUND BOOTH. OWNER FURNISHED. CONTRACTOR INSTALLED.
- 50 STEEL LINTEL REQUIRED AT WALL OPENING



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Typed or Printed Name: William Baxley

Date: 06/05/2019 License Number: 23866

Seal / Signature

LUTHER SEMINARY OLSON CENTER +

GULLIXSON HALL Project Number

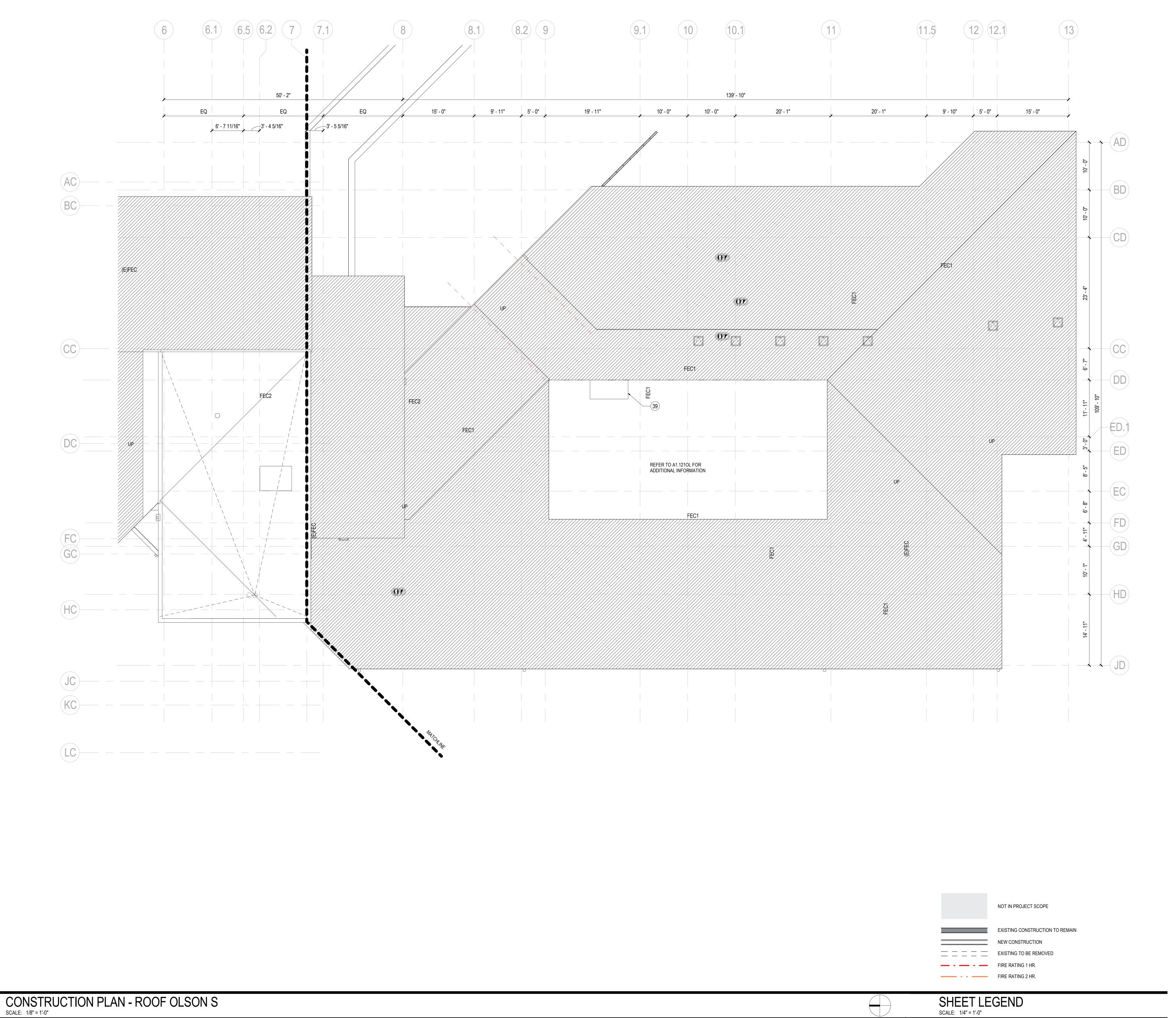
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As indicated

Description

CONSTRUCTION PLAN - ROOF NORTH OLSON

A1.1300L



SCALE: 1/8" = 1'-0"

SHEET NOTES

- 01 CAP WALL LOUVERS
- 02 SOFFIT ABOVE SHOWN DASHED 03 PATCH GYPSUM BOARD WALL WHERE WALL
- PARTITION IS DEMOLISHED 04 PATCH GYPSUM BOARD AND FACE BRICK WHERE
- STAIR IS DEMOLISHED 05 PATCH CMU WHERE WALL PARTITION IS DEMOLISHED
- 06 PATCH AND PAINT GYPSUM BOARD WALL PARTITION TO MATCH ADJACENT EXISTING
- 07 PATCH CONCRETE WALL WHERE WALL PARTITION DEMOLISHED
- 08 PATCH FIREPROOFING ON EXISTING STEEL STRUCTURE WHERE DAMAGED FROM DEMOLITION,
- 09 REPLACE CONCRETE SLAB ON GRADE WITH VAPOR BARRIER SEALED TO ADJACENT EXISTING VAPOR
- BARRIER WHERE EXISTING SLAB IS DEMOLISHED FOR MEP OR STRUCTURAL 10 STEEL COLUMN WITH FIREPROOFING AND GYPSUM
- **BOARD FURRING** 11 SEAL ALL AROUND MEP PENETRATIONS THROUGH
- EXTERIOR WALL 12 REPLACE VAPOR BARRIER AND CONCRETE SLAB ON
- 13 INSTALL CONCRETE SLAB ON GRADE AND VAPOR BARRIER SEALED TO ADJACENT EXISTING VAPOR BARRIER WHERE RAISED PLATFORM WAS REMOVED. FINISH WITH QUARRY TILE. PROVIDE (4) ELECTRICAL FLOOR BOXES IN SLAB
- 17 RELOCATE EXISTING GLASS DOOR WITH HARDWARE. INSTALL NEW GLASS PANELS IN STAINLESS STEEL SHOE TOP AND BOTTOM TO MATCH ADJACENT EXISTING SYSTEM AT FORMER DOOR OPENING AND ADJACENT TO NEW DOOR LOCATION
- 18 1 1/2" DIA. WOOD HANDRAIL WITH PAINTED STEEL POSTS, 4'-0" O.C. MAX.
- 20 PATCH FACE BRICK TO MATCH ADJACENT EXISTING 21 ALUMINUM WINDOW IN NEW MASONRY OPENING, INSTALL STEEL LINTEL, PATCH EXTERIOR BRICK WALL AROUND OPENING TO MATCH ADJACENT EXISTING
- 23 CUT OPENING IN PRECAST CONCRETE FLOOR FOR MECH. REFER TO STRUCTURAL AND MECHANICAL DRAWINGS 24 FILL IN RECESSED SLAB WITH CONCRETE TO ALIGN
- WITH ADJACENT FLOOR SLAB 25 COPPER DOWNSPOUT ATTACHED TO EXISTING GUTTER ABOVE. EXTEND BELOW GRADE AND CONNECT TO SITE STORM PIPE. REFER TO CIVIL DRAWINGS. INSTALL HEAT TRACE WIRE ON ENTIRE
- PIPE TO FROST LINE. 26 PATCH EXTERIOR BRICK WALL TO MATCH ADJACENT EXISTING WALL. INSTALL WATERPROOF MEMBRANE AND INSULATION FOR WATERTIGHT ENCLOSURE
- 27 PAINT STEEL BAR PICKETS AND POSTS OF EXISTING RAILINGS AND GUARDRAIL 28 ALUMINUM STOREFRONT FRAME WITH DOOR FULL
- HEIGHT TO UNDERSIDE OF WOOD CEILING ABOVE 29 ALUMINUM STOREFRONT FRAMING FROM TOP OF 'LID' TO UNDERSIDE OF EXISTING WOOD CEILING
- 30 REPAIR DAMAGED BRICK AT LOWER CORNER OF LOADING DOCK COILING DOOR 32 1-HR RATED FIRE RATED FOLDING DOOR (WONDOOR) SHOWN DASHED. INSTALL 1-HR RATED PARTITION
- ABOVE DOOR TO STRUCTURE ABOVE. PROVIDE STEEL BEAM FOR TRACK SUPPORT 33 HSS 4 X 4 STEEL TUBE COLUMNS @ 20'-0" O.C. ALONG PERIMETER WITH 12" COLD FORMED FRAMING JOISTS AT ROOF OF 'BOXES', TYP. PROVIDE (1) LAYER 3/4"
- GYPSUM BOARD ON TOP OF JOISTS 35 PAINT EXISTING STEEL BAR PICKETS OF GUARDRAIL 36 PATCH FLOOR TO MATCH ADJACENT EXISTING

FIRE TREATED PLYWOOD WITH (1) LAYER 5/8" TYPE 'X'

- POLISHED CONCRETE 39 4" SLOPED METAL STUDS WITH 3/4" EXT. GRADE PLYWOOD, 4" RIGID INSULATION, 1/2" EXT. GRADE PLYWOOD, RED ROSIN PAPER OVER AIR BARRIER,
- COPPER STANDING SEAM ROOF TO MATCH EXISTING 40 EXISTING METAL COPING TO REMAIN, REVISE AS REQUIRED FOR NEW SCUPPER AND OVERFLOW
- 41 VAPOR BARRIER, TAPERED ROOF INSULATION, COVER BOARD, EPDM ROOF MEMBRANE OVER EXISTING 1/8" PER FOOT SLOPING STRUCTURE AND SUBSTRATE. SLOPE TAPERED INSULATION TO NEW
- SCUPPER 42 EXISTING FIREPLACE FLUE
- 43 EXISTING VALLEY GUTTER 44 EXISTING STANDING SEAM COPPER ROOF, TYP 45 PATCH EXISTING QUARRY TILE FLOOR WHERE WOOD
- PEWS REMOVED 49 SOUND BOOTH. OWNER FURNISHED. CONTRACTOR
- INSTALLED. 50 STEEL LINTEL REQUIRED AT WALL OPENING

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Date: _06/05/2019 ____ License Number: _23866

Seal / Signature

Project Name

LUTHER SEMINARY OLSON CENTER + **GULLIXSON HALL** Project Number

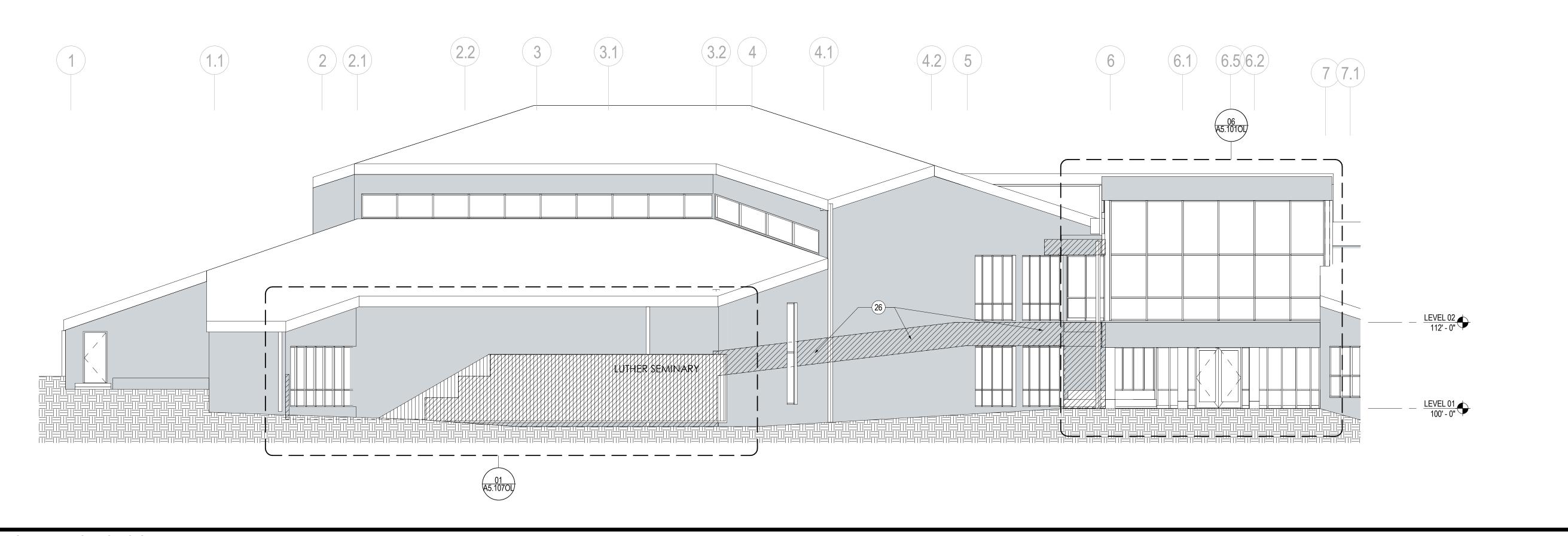
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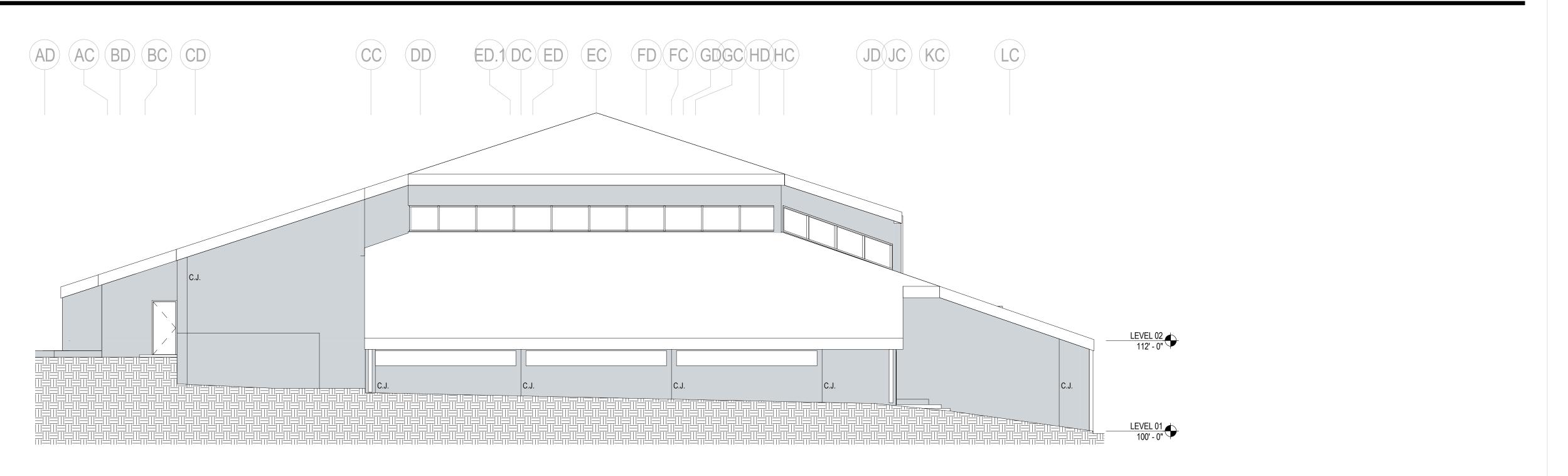
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CONSTRUCTION PLAN - ROOF SOUTH OLSON

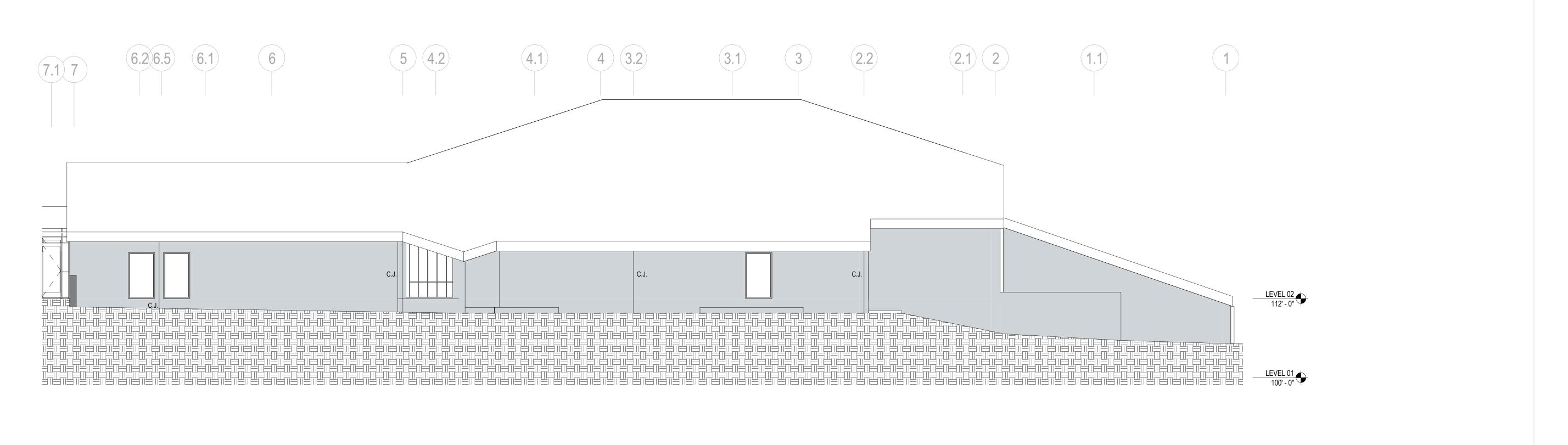
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01 BUILDING ELEVATION - WEST OLSON N SCALE: 1/8" = 1'-0"



02 BUILDING ELEVATION - NORTH OLSON N SCALE: 1/8" = 1'-0"



03 BUILDING ELEVATION - EAST OLSON N SCALE: 1/8" = 1'-0"

SHEET NOTES

- 01 NEW WINDOW AT EXTERIOR, TO MATCH EXISTING ADJACENT WINDOW.
- 03 NEW WINDOW AT EXTERIOR
- 26 RAMP STRUCTURE 50 NEW 16"X16" BATHROOM EXHAUST VENT @ EXTERIOR, COLOR TO MATCH EXTERIOR WINDOW FRAMES/MULLIONS



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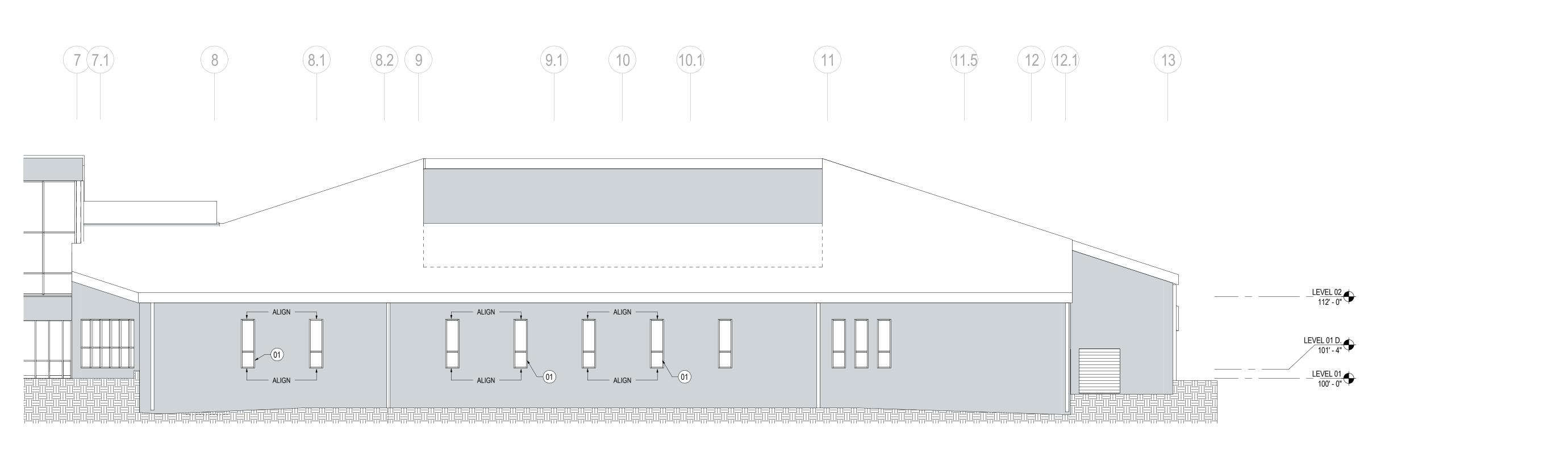
LUTHER SEMINARY OLSON CENTER + **GULLIXSON HALL**

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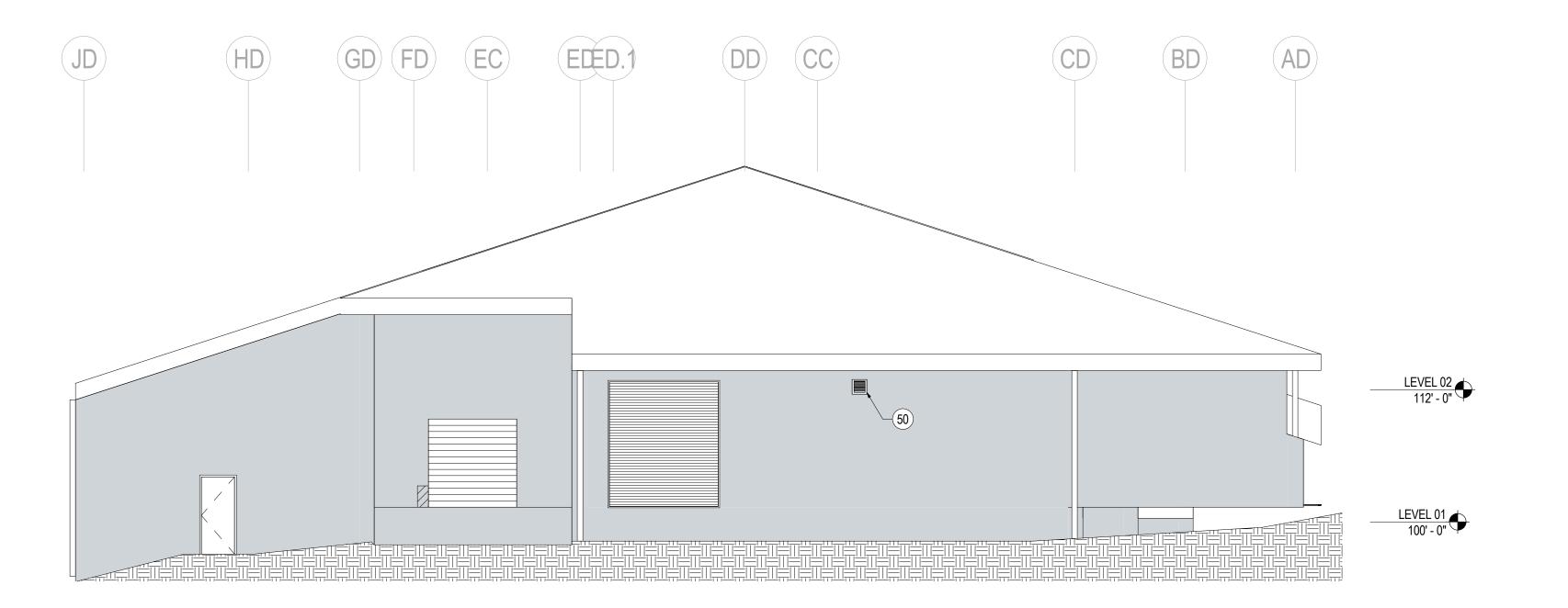
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Description **BUILDING ELEVATIONS - OLSON**

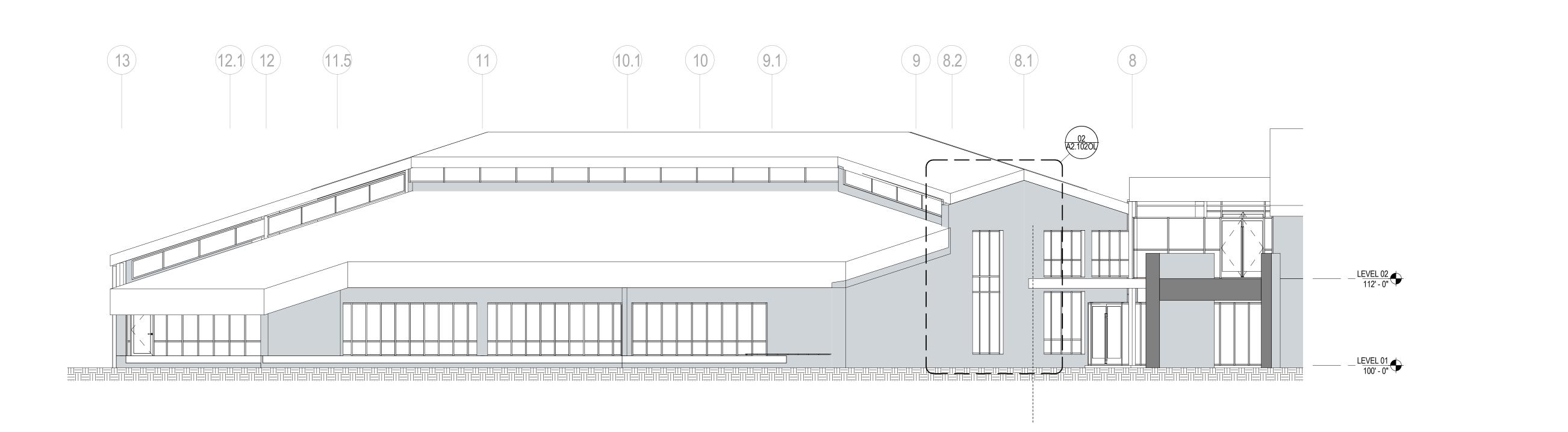
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01 BUILDING ELEVATION - WEST OLSON S SCALE: 1/8" = 1'-0"



02 BUILDING ELEVATION - SOUTH OLSON S



03 BUILDING ELEVATION - EAST OLSON S

SHEET NOTES

- 01 NEW WINDOW AT EXTERIOR, TO MATCH EXISTING ADJACENT WINDOW.
- ADJACENT WINDOW.

 03 NEW WINDOW AT EXTERIOR
- 26 RAMP STRUCTURE
 50 NEW 16"X16" BATHROOM EXHAUST VENT @
 EXTERIOR, COLOR TO MATCH EXTERIOR WINDOW
 FRAMES/MULLIONS



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Seal / Signature

Project Name

LUTHER SEMINARY OLSON CENTER +

GULLIXSON HALL

Project Number

30.7644.000

1/8" = 1'-0"

Description
BUILDING ELEVATIONS - OLSON

A2.1010L



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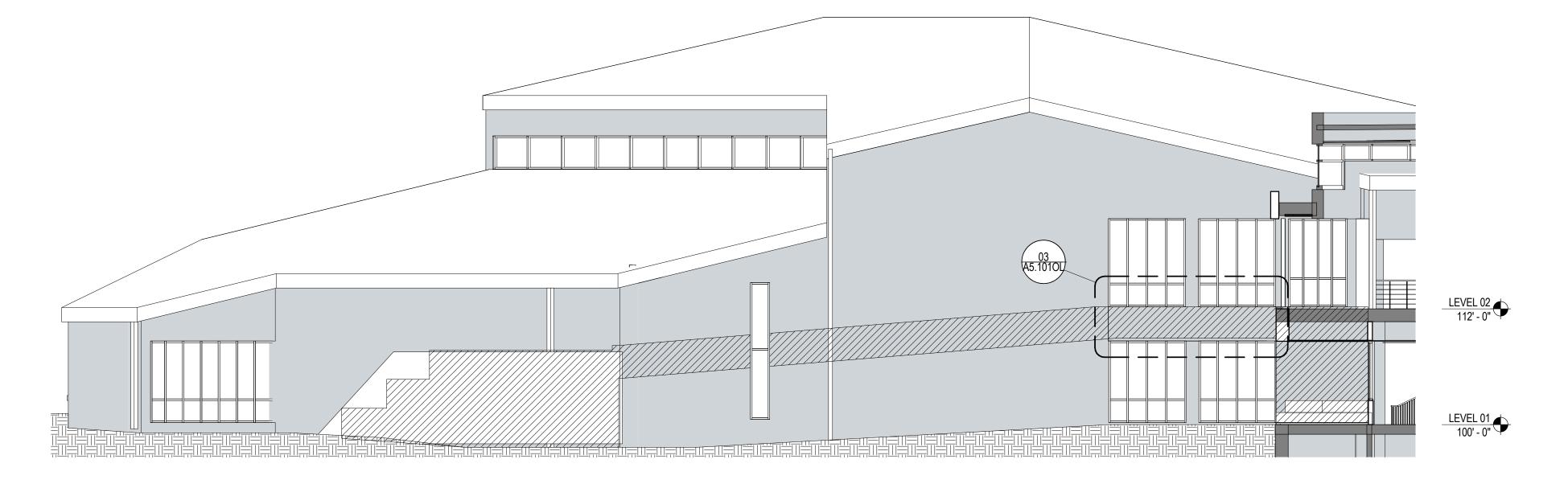
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Scale
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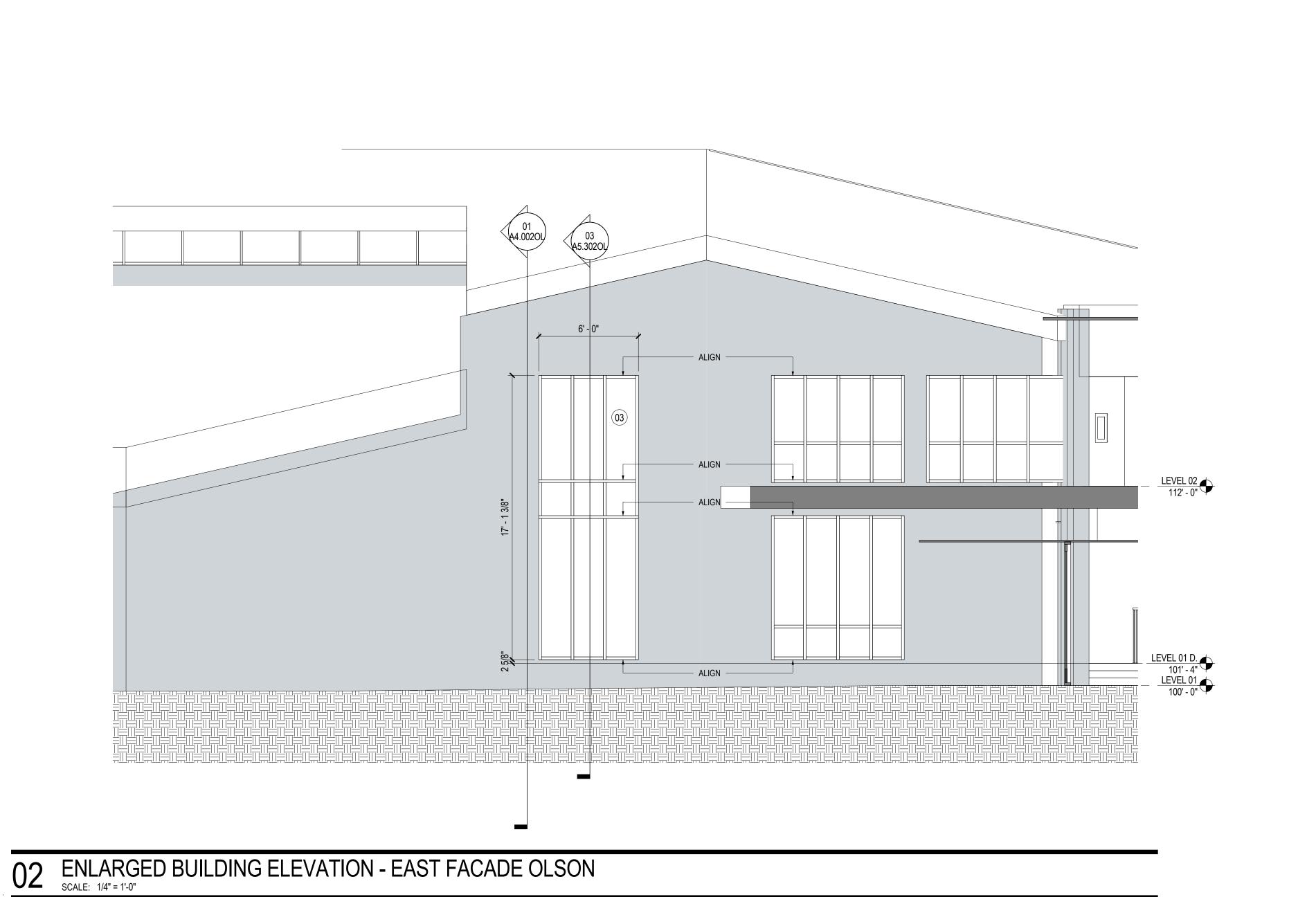
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BUILDING ELEVATIONS - OLSON

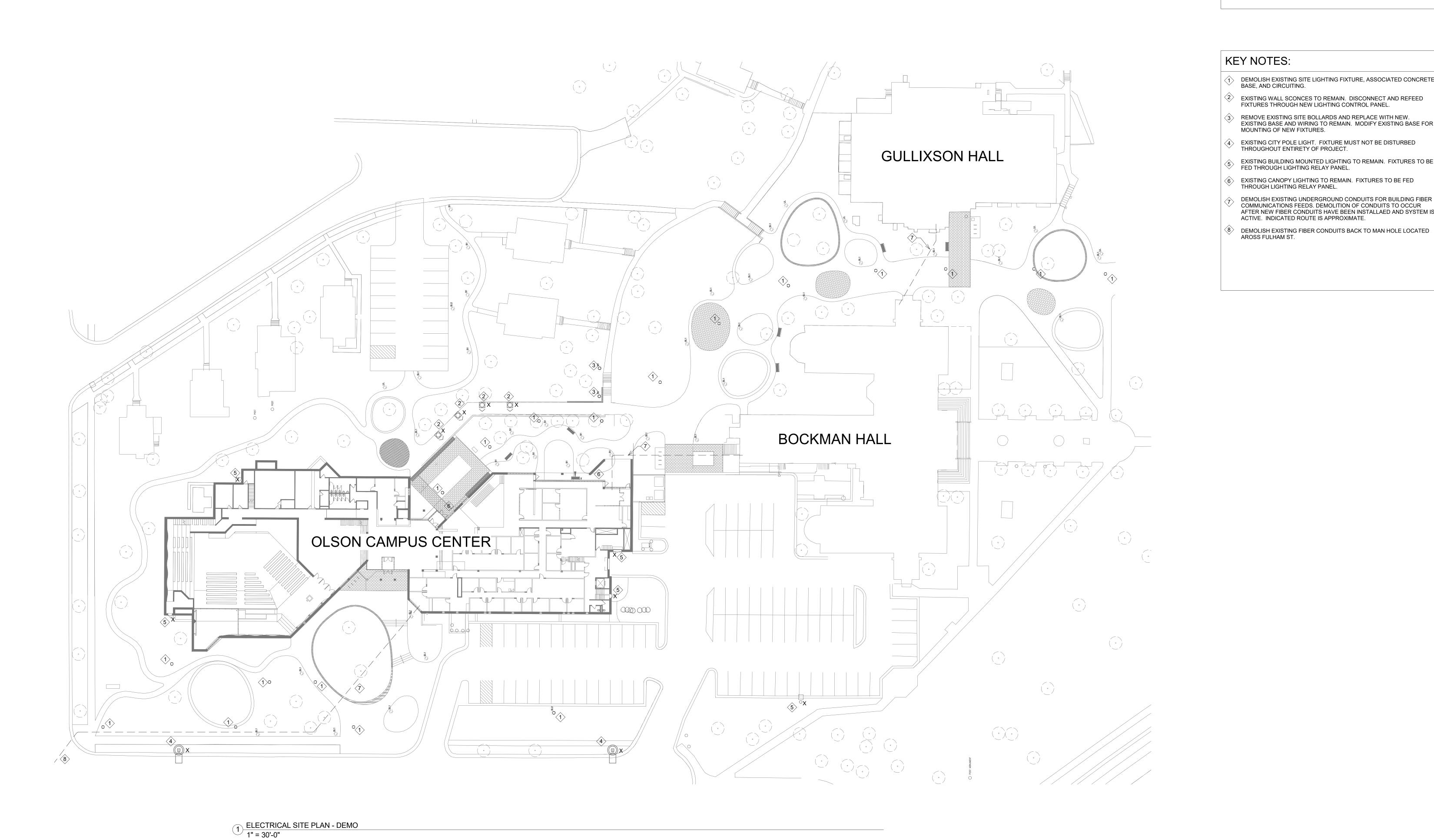
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01 BUILDING ELEVATION - SOUTHWEST OLSON - N
SCALE: 1/8" = 1'-0"





GENERAL NOTES:

- A. CONTRACTOR MUST LOCATE AND MARK ALL EXISTING UTILITY SERVICES PRIOR TO ANY NEW ROUTING OF CONDUITS ON SITE.
- B. LOCATE EXISTING SITE AND PARKING LOT ELECTRICAL FEEDS AND MARK. COORDINATE EXISTING SITE FEEDS WITH ANY NEW ROUTING PRIOR TO INSTALLATION.
- C. ELECTRICAL CONTRACTOR RESPONSIBLE FOR ALL EARTH WORK.
- D. EXISTING SITE LIGHTING SYSTEM SHALL REMAIN OPERATIONAL DURING INSTALLATION OF NEW CONTACTOR PANEL AND LIGHT FIXTURES. CUT OVER TO NEW SYSTEM SHALL BE COMPLETED AFTER BUSINESS HOURS OR DURING THE WEEKEND.

DEMOLISH EXISTING SITE LIGHTING FIXTURE, ASSOCIATED CONCRETE BASE, AND CIRCUITING.

EXISTING BASE AND WIRING TO REMAIN. MODIFY EXISTING BASE FOR

EXISTING BUILDING MOUNTED LIGHTING TO REMAIN. FIXTURES TO BE FED THROUGH LIGHTING RELAY PANEL.

DEMOLISH EXISTING UNDERGROUND CONDUITS FOR BUILDING FIBER

COMMUNICATIONS FEEDS. DEMOLITION OF CONDUITS TO OCCUR AFTER NEW FIBER CONDUITS HAVE BEEN INSTALLAED AND SYSTEM IS ACTIVE. INDICATED ROUTE IS APPROXIMATE.

EXISTING WALL SCONCES TO REMAIN. DISCONNECT AND REFEED

FIXTURES THROUGH NEW LIGHTING CONTROL PANEL.

MOUNTING OF NEW FIXTURES.

THROUGHOUT ENTIRETY OF PROJECT.

REMOVE EXISTING SITE BOLLARDS AND REPLACE WITH NEW.

EXISTING CITY POLE LIGHT. FIXTURE MUST NOT BE DISTURBED

EXISTING CANOPY LIGHTING TO REMAIN. FIXTURES TO BE FED THROUGH LIGHTING RELAY PANEL.



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OLSON CAMPUS CENTER + GULLIXSON HALL

Project Number 30.7644.001

1" = 30'-0"

Description ELECTRICAL SITE PLAN - DEMO

E0.0100L

GENERAL NOTES:

A. UTILIZE #6 CONDUCTORS FOR ALL SITE LIGHTING BRANCH CIRCUITS.

C. COORDINATE ALL EXTERIOR LIGHTING WITH CIVIL ENGINEER AND LANDSCAPE ARCHITECT TO AVOID PLANTING AREAS, DRAINAGE, ETC.

B. ROUTE ALL EXTERIOR LIGHTING CONTROL CIRCUITS THROUGH LIGHTING CONTROL CABINET.



2375 COMO AVE ST PAUL, MN 55108

PROVIDE PULLSTRING WITHIN 3/4" CONDUIT AND TERMINATE WITHIN WEATHER PROOF BOX.

2 UTILIZE EXISTING SITE LIGHTING CIRCUIT FOR INSTALLATION OF LIGHTING FIXTURE. BRANCH CIRCUITING TO MATCH EXISTING FOR EXTENSION TO NEW FIXTURE LAYOUT. CONTRACTOR TO FIELD

4 RECIRCUIT EXISTING WALL SCONCE TO CIRCUIT INDICATED.

CONTRACTOR TO RELOCATE EXISTING GENERATOR. PROVIDE CONCRETE PAD AND CONCRETE BOLLARDS AT 4'-0" O.C.

6 ROUTE CONDUIT TO FIBER SERVICE MANHOLE LOCATED ACROSS

CONDUIT. PROVIDE SWEEPING BENDS AT EACH 90 DEGREE TURN.

KEY NOTES:

> JUNCTION BOX FOR CONNECTION OF FUTURE MONUMENT LIGHTING.

PROVIDE 2#8, 1#10G, 3/4" CONDUIT FOR SITE POLE LIGHTING.

FULHAM ST. CONFIRM WITH SERVICE PROVIDER.

ROUTE CONDUITS A MINIMUM OF 30" BELOW GRADE TO TOP OF CONDUIT PENETRATIONS INTO THE BUILDING MUST BE SEALED AND WATER TIGHT.

Gensler

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1 Carlson Parkway North,

Ten x Ten Studio 575 SE 9TH ST. STE. 210 Minneapolis, MN 55414 Tel 612.440.8369

06/10/19 Issue for Permit & Construction

Seal / Signature

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Enginee under the laws of the State of Minnesota. Registration #51923

OLSON CAMPUS CENTER + GULLIXSON HALL

Project Number 30.7644.001

1" = 30'-0"

Description ELECTRICAL SITE PLAN

E0.0110L

