

LUTHER SEMINARY

OLSON CAMPUS CENTER + GULLIXSON HALL RENOVATION



Gensler

706 2nd Avenue South
Suite 1200
Minneapolis, MN 55402
United States

Tel 612.333.1113
Fax 612.333.1997



Dunham Engineering
50 South Sixth Street, Suite
1100
Minneapolis, MN 55402-1540
Tel 612.465.7550
Fax 612.465.7551



BKBM Engineers
6120 Earle Brown Dr, Suite
700
Minneapolis, MN 55430
Tel 763.843.0420



SRF Consulting Group
1 Carlson Parkway North,
Suite 150
Minneapolis, MN 55447-4443
Tel 763.249.6796



Ten x Ten Studio
575 SE 5TH ST,
STE. 210
Minneapolis, MN 55414
Tel 612.440.8369

Date	Description
06/10/19	Issue for Permit & Construction

Architect
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.
Signature: *William Baxley*
Typed or Printed Name: William Baxley
Date: 06/09/2019 License Number: 23895

Seal / Signature

ISSUE FOR PERMIT & CONSTRUCTION
JUNE 10, 2019

Luther Seminary
2481 Como Avenue,
St. Paul, MN 55108

Project Name
LUTHER SEMINARY OLSON CENTER +
GULLIXSON HALL

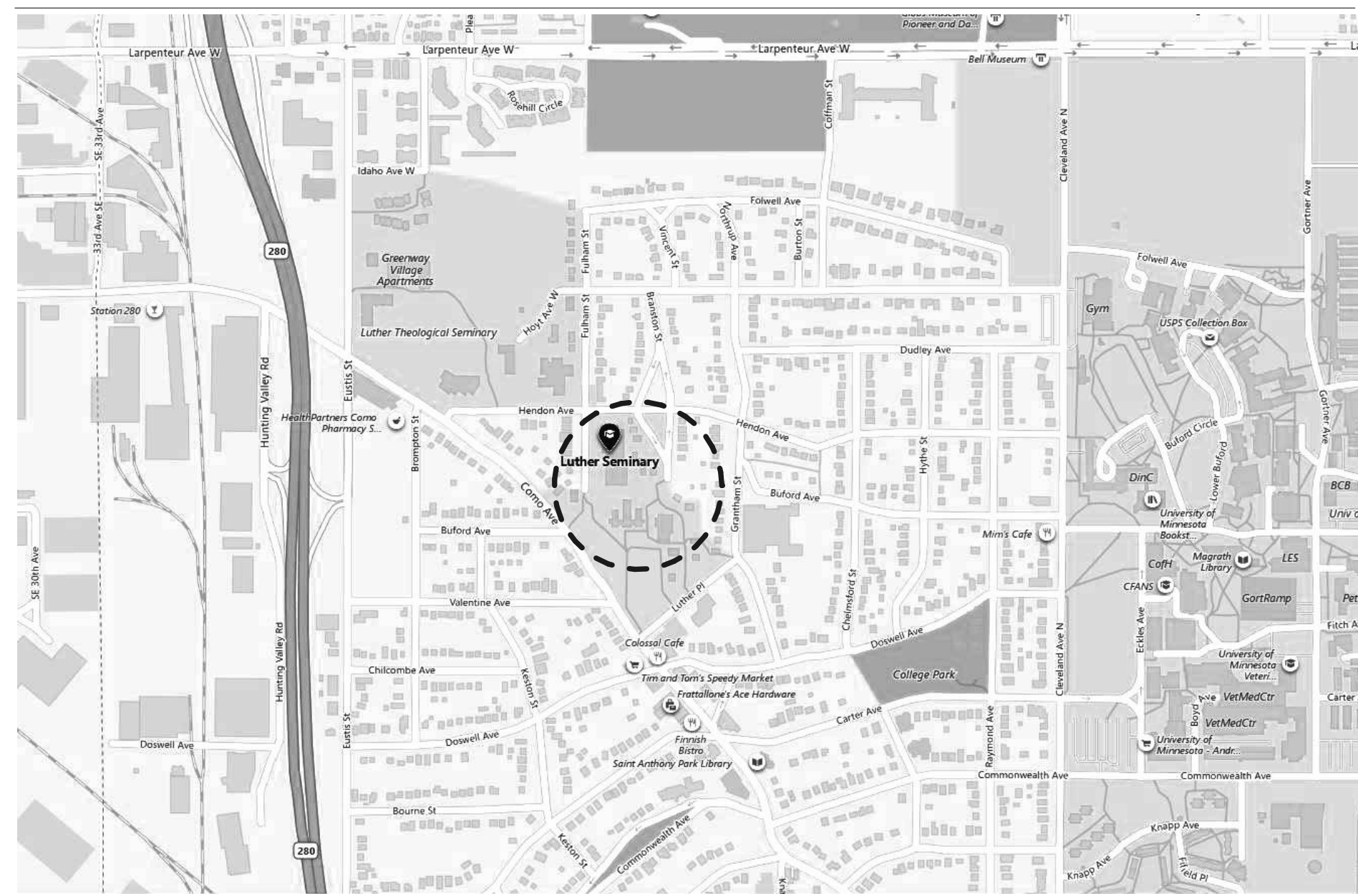
Project Number
30.7644.000

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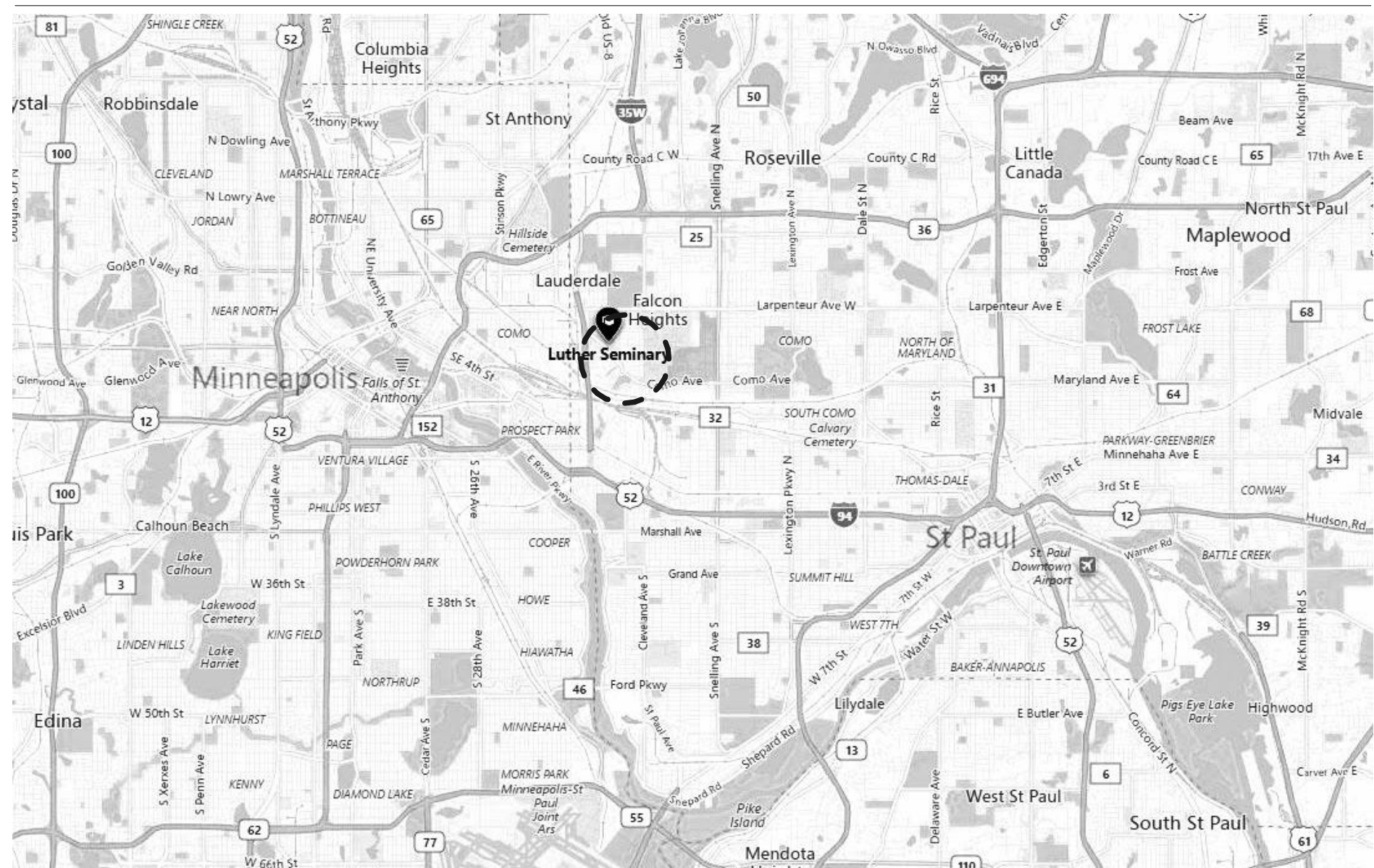
Description
COVER

GO.000

VICINITY MAP



PROJECT LOCATION MAP



DRAWING INDEX

Table with columns SHEET NUMBER and SHEET NAME. Includes GENERAL section with sheets G0.000 through G8.001.

Table with columns SHEET NUMBER and SHEET NAME. Includes CIVIL section with sheets C0.0 through C6.5.

Table with columns SHEET NUMBER and SHEET NAME. Includes LANDSCAPE section with sheets L0.000 through L5.02.

Table with columns SHEET NUMBER and SHEET NAME. Includes ARCHITECTURE GULLIXSON section with sheets A01.100G through A2.102L.

Table with columns SHEET NUMBER and SHEET NAME. Includes STRUCTURE GULLIXSON section with sheets S0.000L through S4.000.

Table with columns SHEET NUMBER and SHEET NAME. Includes MECHANICAL GULLIXSON section with sheets M0.001G through M1.109G.

DRAWING INDEX CONT.

Table with columns SHEET NUMBER and SHEET NAME. Includes ARCHITECTURE OLSON section with sheets A01.1000L through A22.100L.

Table with columns SHEET NUMBER and SHEET NAME. Includes CIVIL OLSON section with sheets A1.000L through A1.220L.

Table with columns SHEET NUMBER and SHEET NAME. Includes LANDSCAPE OLSON section with sheets A4.000L through A5.100L.

Table with columns SHEET NUMBER and SHEET NAME. Includes ARCHITECTURE OLSON section with sheets A5.100L through A6.100L.

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DRAWING INDEX CONT.

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Table with columns SHEET NUMBER and SHEET NAME. Includes PLUMBING GULLIXSON section with sheets P0.100G through P1.101G.

Table with columns SHEET NUMBER and SHEET NAME. Includes PLUMBING OLSON section with sheets P0.100L through P1.101L.

Table with columns SHEET NUMBER and SHEET NAME. Includes ELECTRICAL GULLIXSON section with sheets E0.001G through E7.005G.

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Table with columns SHEET NUMBER and SHEET NAME. Includes KITCHEN section with sheets K-0 through KSC-1.



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706 2nd Avenue South, Suite 1200, Minneapolis, MN 55402, United States

Tel 612.333.1113, Fax 612.333.1997



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Seal / Signature

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Project Number: 30.7644.000

Scale

Description: DRAWING INDEX, PROJECT INFO

G0.001

GRAPHIC SYMBOLS

CONSTRUCTION

1. COLUMN GRID REFERENCE NUMBER
COLUMN GRID LINES AND REFERENCE NUMBER
EXISTING CONSTRUCTION TO REMAIN
EXISTING CONSTRUCTION TO BE DEMOLISHED
NEW PARTITION
1 HR. RATED PARTITION
2 HR. RATED PARTITION
3 HR. RATED PARTITION
4 HR. RATED PARTITION
SMOKE PARTITION
EGRESS PATH PRIMARY
EGRESS PATH SECONDARY
MILLWORK
MILLWORK ABOVE

DETAIL NUMBER
SHEET NUMBER
DESCRIPTION OF SIMILAR OR OPPOSITE

LOCATION ON SHEET WHERE ELEVATION IS SHOWN
DIRECTION OF ELEVATION
SHEET NUMBER WHERE ELEVATION IS SHOWN
INTERIOR AND EXTERIOR ELEVATION MARKER

REVISION NUMBER
REVISION CLOUD DEPICTING AREA REVISED

NAME ROOM NAME ROOM NUMBER
SHEETNOTE REFERENCE
WALL TYPE REFERENCE
FIRE RATING
DOOR REFERENCE NUMBER (REFER TO DOOR SCHEDULE)
DOOR NUMBER
DOOR TYPE
DOOR NUMBER
DOOR TYPE (HARDWARE TYPE)
WINDOW REFERENCE NUMBER (REFER TO WINDOW SCHEDULE)
MILLWORK REFERENCE NUMBER (REFER TO MILLWORK SCHEDULE)
ELEVATION DATUM REFERENCE
FLOOR ELEVATION TRANSITION
MATCH LINE SEE XXXX MATCH LINE SYMBOL

WALL MOUNTED LIFE SAFETY EQUIPMENT AND DEVICES
FIRE WARDEN STATION SYMBOL
WALL MOUNTED FIRE ALARM STROBE SYMBOL
FIRE ALARM PULL SYMBOL
WALL MOUNTED, FIRE EXTINGUISHER CABINET
WALL MOUNTED FIRE EXTINGUISHER
WALL MOUNTED FIRE HOSE CABINET
WALL MOUNTED FIRE VALVE
WALL MOUNTED FIRE VALVE CABINET

FINISH

WALL FINISH TAG
BASE FINISH TAG
EXTENT OF FINISH TYP
WALL FINISH TAG
SPECIAL FINISH TAG
FLOOR FINISH TAG
CEILING FINISH TAG
CHANGE IN FLOOR FINISH

ELEVATION INDICATION

GLASS SYMBOL
MASONRY COURSING
STONE
WOOD VENEER

REFLECTED CEILING

ACOUSTICAL CEILING AND GRID
CEILING HEIGHT CHANGE SYMBOL
FINISH CEILING HEIGHT SYMBOL
GRID STARTPOINT SYMBOL
CEILING FINISH TAG
MOTION SENSOR
CEILING MOUNTED SPEAKER
CEILING MOUNTED CAMERA
CEILING MOUNTED SPRINKLER HEAD
CEILING MOUNTED SMOKE DETECTOR
CEILING MOUNTED STROBE LIGHT
CEILING MOUNTED EXIT SIGNS
WALL MOUNTED EXIT SIGNS - PARALLEL
WALL MOUNTED EXIT SIGNS - PERPENDICULAR
DENOTES EXISTING TO REMAIN
DENOTES EXISTING TO BE RELOCATED
ACCESS DOOR

MECHANICAL FIXTURES
RETURN AIR
SUPPLY AIR
CIRCULAR DIFFUSER
LINEAR DIFFUSER
EXHAUST FAN

SECTION INDICATIONS

ACOUSTICAL CEILING TILE
ALUMINUM
BRICK
CARPET
CONCRETE
CONCRETE MASONRY UNIT
CUT STONE
EARTH
FABRIC WRAPPED PANEL
GLASS
GRAVEL
GYPSUM PLASTER
INSULATION (LOOSE OR BATT)
INSULATION (RIGID)
METAL
PLASTIC
PLYWOOD
PRE-CAST PANELS
SAND OR GROUT
STONE
WOOD (FINISHED)
WOOD (CONTINUOUS MEMBER)
WOOD (INTERRUPTED MEMBER)

ABBREVIATIONS

Table with multiple columns containing abbreviations and their corresponding full names, such as ACCESS, ACCESSORY, ACOUS, ACOUSTICAL, AFF, ABOVE FINISHED FLOOR, etc.

ACCESSIBILITY NOTES

- 1. PILE THICKNESS OF SPECIFIED CARPETS DOES NOT EXCEED 1/2".
2. FLOOR SURFACES SPECIFIED ARE SLIP-RESISTANT.
3. ABRIPT CHANGES IN LEVEL ALONG ACCESSIBLE ROUTE DO NOT EXCEED 1/2" IN HEIGHT.
4. LATCHING AND LOCKING DOORS ARE SPECIFIED TO BE OPERABLE WITH A SINGLE EFFORT BY HARDWARE THAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
5. CLOSERS FOR FIRE-RATED DOORS ARE SPECIFIED TO BE POWER LEVEL 3 FOR INTERIOR DOORS 36" OR LESS IN WIDTH.
6. MAXIMUM PULL OR PUSH EFFORT TO OPERATE NON-FIRE-RATED DOORS SHALL NOT EXCEED 8.5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS.
7. ALL DOORS ARE SPECIFIED TO BE NOT LESS THAN 3'-0" IN WIDTH AND NOT LESS THAN 8'-0" IN HEIGHT.
8. FLOOR AREAS ON EACH SIDE OF DOORS ARE SPECIFIED TO BE LEVEL AND CLEAR.
9. FLOORS OR LANDINGS ARE SPECIFIED TO BE NOT MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY.
10. THE UPPER APPROACH AND THE LOWER TREAD OF EACH INTERIOR STAIR IS SPECIFIED TO BE MARKED WITH A STRIP OF CLEARLY CONTRASTING COLOR AT LEAST 2" WIDE, PLACED PARALLEL TO AND NOT MORE THAN 1" FROM THE NOSE OF THE STEP OR LANDING.
11. ELECTRICAL RECEPTACLE OUTLETS ARE SPECIFIED TO BE NOT LESS THAN 15" ABOVE THE FLOOR OR WORKING PLATFORM.
12. TOILET ROOM ACCESSORIES
A. TOILET CAMPARTMENT DOORS SHALL PROVIDE 32 INCHES OF CLEAR WIDTH.
B. THE HEIGHT OF THE WATER CLOSET (TOP OF SEAT) SHALL BE BETWEEN 17" AND 19".
C. THE WATER CLOSET SHALL BE CENTERED BETWEEN 16" - 18" FROM THE SIDE WALL OR PARTITION.
D. CLEARANCE FOR WATER CLOSET SHALL BE 67" MINIMUM WIDTH BY 78" MINIMUM DEPTH WITH 48" MINIMUM CLEAR IN FRONT OF WATER CLOSET.
E. CLEARANCE FOR WATER CLOSET SHALL BE 15" MINIMUM IN LENGTH AND MOUNTED WITH THE BOTTOM OF THE BAR LOCATED 38" MINIMUM AND 41" MAXIMUM ABOVE THE FLOOR AND 36" - 41" FROM THE REAR WALL.
F. REAR GRAB BAR SHALL BE 24" MINIMUM IN LENGTH AND CENTERED ON THE AFTER CLOSET.
G. DIAMETER OF GRAB BARS TO BE 1-1/4" TO 1-1/2".
H. PROVIDE 1-1/2" CLEARANCE BETWEEN GRAB BARS AND WALL.
I. GRAB BARS (INCLUDING CONNECTORS, FASTENERS, SUPPORT BACKING, ETC.) SHALL SUPPORT A 250 POUND LOAD.
J. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
K. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
L. CLEAR FLOOR SPACE 30" X 48" IS PROVIDED IN FRONT OF LAVATORY TO PERMIT A FORWARD APPROACH.
M. SINKS AND LAVATORIES ARE MOUNTED TO COMPLY WITH KNEESPACE REQUIREMENTS OF ANSI A117.1 2003.
N. FAUCET CONTROLS AND OPERATING MECHANISMS ARE TO BE OPERABLE WITH ONE HAND AND NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. SELF CONTROLS ARE TO REMAIN OPEN FOR AT LEAST 10 SECONDS.
O. HOT WATER AND DRAIN PIPES UNDER LAVATORIES ARE INSULATED OR OTHERWISE COVERED.
P. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
Q. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
R. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
S. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
T. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
U. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
V. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
W. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
X. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
Y. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
Z. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.

POWER & COMMUNICATION NOTES

- 1. PRIOR TO CORING SLAB FOR POWER/COMM POWER-THROUGH DEVICES, COORDINATE LOCATIONS WITH OWNER AND/OR OWNERS FURNISHING CONTRACTOR AND REVIEW WITH ARCHITECT.
2. INDICATED DIMENSIONS ARE TO THE CENTER LINE OF OUTLET OR SWITCH, OR CLUSTER OF OUTLETS OR SWITCHES, UNLESS OTHERWISE NOTED.
3. INSTALL OUTLETS ON OPPOSITE SIDES OF PARTITIONS IN SEPARATE STUD CAVITIES. DO NOT INSTALL BACK-TO-BACK.
4. COVER PLATES AND DEVICES TO MATCH ADJACENT FINISHED SURFACES AS DETERMINED BY THE ARCHITECT, UNLESS NOTED OTHERWISE.

FIRE PREVENTION NOTES

- 1. EVERY EXIT DOOR IS SPECIFIED TO BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY AND WITHOUT ANY SPECIAL KNOWLEDGE OR EFFORT.
2. INTERIOR WALL AND CEILING FINISHES ARE SPECIFIED TO BE CLASS 2 (FLAME SPREAD 26-75, SMOKE DEVELOPED 450 OR LESS) OR BETTER, UNLESS NOTED OTHERWISE.
3. INTERIOR TRIM IS SPECIFIED TO BE CLASS 3 (FLAME SPREAD 76 TO 200, SMOKE DEVELOPED 450 OR LESS) OR BETTER.
4. INTERIOR TRIM FOR CEILINGS IS SPECIFIED TO BE 10% OR LESS OF TOTAL CEILING AREA. INTERIOR TRIM FOR WALLS IS SPECIFIED TO BE 20% OR LESS OF TOTAL WALL AREA.
5. THIS PROJECT DOES NOT INCLUDE STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GAS OR HAZARDOUS SUBSTANCES.

SPECIAL INSPECTIONS

- THE CONTRACTOR SHALL ENGAGE AN APPROVED INSPECTION AGENCY. INSPECTIONS SHALL INCLUDE:
1705.11.1 STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH AISC 341
1705.13 SPRAYED FIRE-RESISTANT MATERIALS SPECIAL INSPECTIONS SHALL INCLUDE THE FOLLOWING TESTS AND OBSERVATIONS:
1. CONDITION OF SUBSTRATES
2. THICKNESS OF APPLICATION
3. DENSITY IN POUNDS PER CUBIC FOOT (KG/M3)
4. BOND STRENGTH ADHESION/COHESION
5. CONDITION OF FINISHED APPLICATION

GENERAL NOTES

- 1. ALL WORK SHALL COMPLY WITH ALL LOCAL BUILDING CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS FOR THE PUBLIC AUTHORITIES GOVERNING THE WORK.
2. OBTAIN AND PAY FOR ALL PERMITS, INSPECTIONS AND FINAL SIGN-OFFS REQUIRED BY THE PUBLIC AUTHORITIES GOVERNING THE WORK.
3. THE DRAWINGS AND PROJECT MANUAL ARE COMPLEMENTARY AND THEIR INTENT IS TO INCLUDE ALL THE NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL THE LABOR, MATERIALS, AND EQUIPMENT REQUIRED FOR THE CONSTRUCTION OF THE PROJECT. THE ORGANIZATION OF THE DRAWINGS AND PROJECT MANUAL SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING WORK AMONG THE SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF WORK PERFORMED BY ANY TRADE.
4. REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. THE CONTRACTOR SHALL REPORT ANY CONFLICTS AND/OR OMISSIONS TO THE ARCHITECT PRIOR TO PERFORMING ANY WORK IN QUESTION. OTHERWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS TO COMPLETE THE WORK STATED IN ON THE CONTRACT DOCUMENTS BASED UPON THE OPTIMAL ESTABLISHED QUALITY STANDARD.
5. COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES AND USE OF ELEVATORS AS TO MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.
6. OWNER WILL PROVIDE WORK NOTED AS 'BY OTHERS' OR 'NIC' UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
7. INSTALL CONCEALED BLOCKING AS REQUIRED FOR WORK BY OWNER'S OTHER CONTRACTORS. COORDINATE SIZE, TYPE AND LOCATION OF WORK BY OWNER'S OTHER CONTRACTORS.
8. MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS FOR DURATION OF WORK IN ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES.
9. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE FOR DURATION OF WORK. ALL DAMAGE DUE TO IMPROPER PROTECTION SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
10. MAINTAIN WORK AREAS SECURE AND LOCKABLE FOR THE DURATION OF WORK AND COORDINATE WITH OWNER/LANDLORD TO ENSURE SECURITY.
11. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR CLARIFICATION OR INFORMATION TO THE ARCHITECT. TELEPHONE INQUIRIES WILL NOT BE PERMITTED.
12. ALL PENETRATIONS THROUGH FIRE-RATED WALLS OR FLOORS SHALL BE FIRE-STOPPED IN ACCORDANCE WITH LOCAL CODES.

DEMOLITION NOTES

- 1. REMOVE DESIGNATED PARTITIONS, CEILING COMPONENTS, BUILDING EQUIPMENT, AND FIXTURES.
2. REMOVE EXISTING WORK AS REQUIRED TO ACCOMMODATE NEW WORK, EVEN WHERE NOT EXPRESSLY INDICATED ON DEMOLITION PLANS.
3. REMOVE ABANDONED HVAC EQUIPMENT, DUCT WORK, CONTROLS, REGISTERS, GRILLES AND ALL ASSOCIATED HARDWARE AND ACCESSORIES.
4. REMOVE ABANDONED ELECTRICAL, TELEPHONE, DATA, SECURITY AND SIMILAR OTHER CABLING, CONDUIT, EQUIPMENT AND DEVICES, UNLESS OTHERWISE NOTED.
5. REMOVE ABANDONED PLUMBING EQUIPMENT, VALVES, PIPING AND ALL ASSOCIATED HARDWARE AND ACCESSORIES.
6. REMOVE EXISTING FINISHES WHERE INDICATED AND PREPARE SUBSTRATES AS REQUIRED FOR NEW FLOOR FINISHES.
7. EXISTING EXIT SIGNS, EMERGENCY LIGHTING, SMOKE DETECTORS, FIRE HORN/STROBES TO REMAIN OPERATIONAL AND IN PLACE. COORDINATE LIFE SAFETY SYSTEM SHUTDOWNS WITH LANDLORD.



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575 SE 5TH ST, STE. 210
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Table with 2 columns: Date, Description

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Signature: [Handwritten Signature]
Typed or Printed Name: William Bailey
Date: 06/05/2019 License Number: 23965

Seal / Signature

Project Name
LUTHER SEMINARY OLSON CENTER + GULLIXSON HALL

Project Number
30.7644.000

Scale

Description
SYMBOLS AND ABBREVIATIONS, GENERAL NOTES

G1.001

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SHEET NOTES

- 23 MECHANICAL EQUIPMENT, SEE MECHANICAL
- 24 WHEELCHAIR LIFT CALL DEVICE



2375 COMO AVE
ST PAUL, MN 55108

Gensler

81 South Ninth Street
Suite 220
Minneapolis, MN 55402
United States
Tel 612.333.1113
Fax 612.333.1997



Dunham Engineering
50 South Sixth Street, Suite
1100
Minneapolis, MN 55402-1540
Tel 612.465.7550
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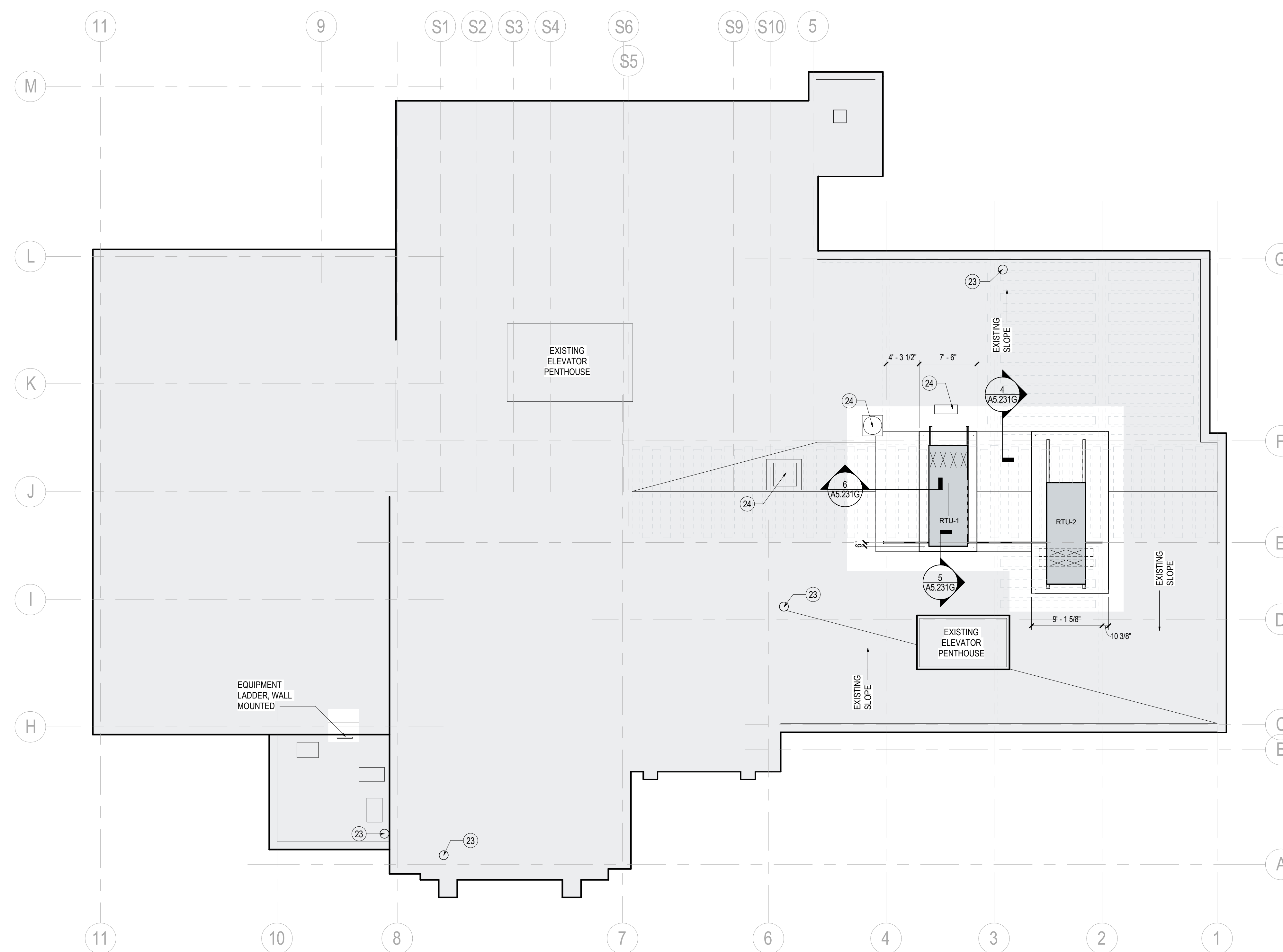
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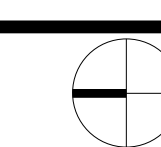
SRF Consulting Group
1 Carlson Parkway North,
Suite 150
Minneapolis, MN 55447-4443
Tel 763.249.6796



Ten x Ten Studio
211 N 1st, Suite 350
Minneapolis, MN 55401
Tel 612.440.8369



1 CONSTRUCTION PLAN - ROOF GULLIXSON
SCALE: 1/8" = 1'-0"



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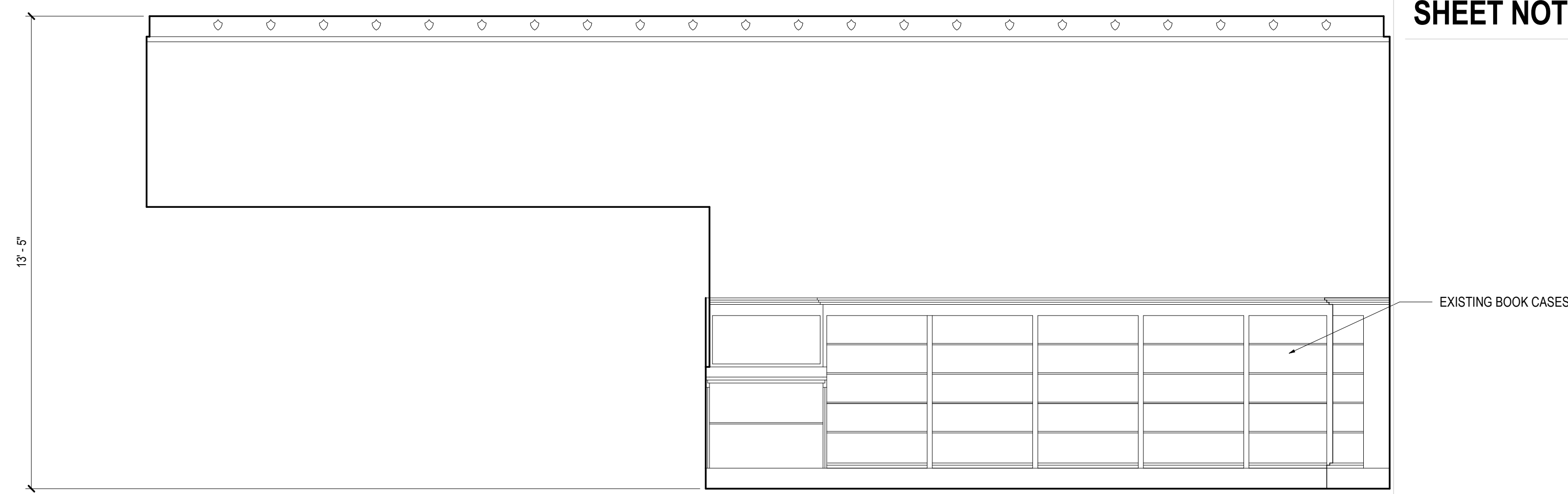
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Scale
1/8" = 1'-0"

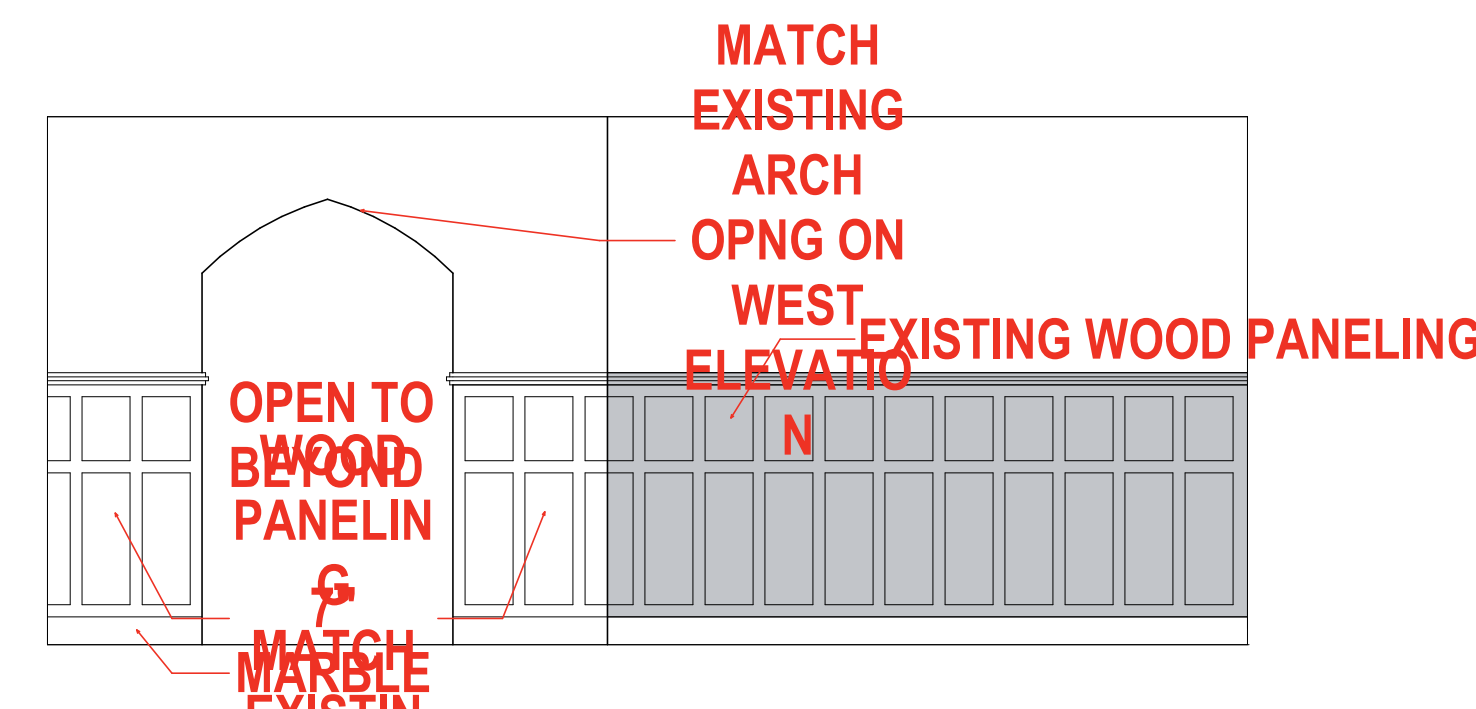
Description
CONSTRUCTION PLAN - ROOF GULLIXSON

A1.140G

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1 ELEVATION - WEST COLLABORATION HUB
SCALE: 3/8" = 1'-0"



2 ELEVATION - SOUTH LOUNGE
SCALE: 1/4" = 1'-0"

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Scale
As indicated

Description
ENLARGE PLANS, SECTIONS AND ELEVATIONS

A5.232G

SHEET NOTES

- 01 CAP WALL LOUVERS
- 02 SOFFIT ABOVE SHOWN DASHED
- 03 PATCH GYPSUM BOARD WALL WHERE WALL PARTITION IS DEMOLISHED
- 04 PATCH GYPSUM BOARD AND FACE BRICK WHERE STAIR IS DEMOLISHED
- 05 PATCH CMU WHERE WALL PARTITION IS DEMOLISHED
- 06 PATCH AND PAINT GYPSUM BOARD WALL PARTITION TO MATCH ADJACENT EXISTING
- 07 PATCH CONCRETE WALL WHERE WALL PARTITION DEMOLISHED
- 08 PATCH FIREPROOFING ON EXISTING STEEL STRUCTURE WHERE DAMAGED FROM DEMOLITION, TYPICAL
- 09 REPLACE CONCRETE SLAB ON GRADE WITH VAPOR BARRIER SEALED TO ADJACENT EXISTING VAPOR BARRIER WHERE EXISTING SLAB IS DEMOLISHED FOR MEP OR STRUCTURAL
- 10 STEEL COLUMN WITH FIREPROOFING AND GYPSUM BOARD FURRING
- 11 SEAL ALL AROUND MEP PENETRATIONS THROUGH EXTERIOR WALL
- 12 REPLACE VAPOR BARRIER AND CONCRETE SLAB ON GRADE
- 13 INSTALL CONCRETE SLAB ON GRADE AND VAPOR BARRIER SEALED TO ADJACENT EXISTING VAPOR BARRIER WHERE RAISED PLATFORM WAS REMOVED. FINISH WITH QUARRY TILE. PROVIDE (4) ELECTRICAL FLOOR BOXES IN SLAB
- 17 RELOCATE EXISTING GLASS DOOR WITH HARDWARE. INSTALL NEW GLASS PANELS IN STAINLESS STEEL SHOCK TOP AND BOTTOM TO MATCH ADJACENT EXISTING SYSTEM AT FORMER DOOR OPENING AND ADJACENT TO NEW DOOR LOCATION
- 18 1 1/2" DIA. WOOD HANDRAIL WITH PAINTED STEEL POSTS, 4'-0" O.C. MAX.
- 20 PATCH FACE BRICK TO MATCH ADJACENT EXISTING
- 21 ALUMINUM WINDOW IN NEW MASONRY OPENING. INSTALL STEEL LINTEL. PATCH EXTERIOR BRICK WALL AROUND OPENING TO MATCH ADJACENT EXISTING
- 23 CUT OPENING IN PRECAST CONCRETE FLOOR FOR MECH. REFER TO STRUCTURAL AND MECHANICAL DRAWINGS
- 24 FILL IN RECESSED SLAB WITH CONCRETE TO ALIGN WITH ADJACENT FLOOR SLAB
- 25 COPPER DOWNSPOUT ATTACHED TO EXISTING GUTTER ABOVE. EXTEND BELOW GRADE AND CONNECT TO SITE STORM PIPE. REFER TO CIVIL DRAWINGS. INSTALL HEAT TRACE WIRE ON ENTIRE PIPE TO FROST LINE.
- 26 PATCH EXTERIOR BRICK WALL TO MATCH ADJACENT EXISTING WALL. INSTALL WATERPROOF MEMBRANE AND INSULATION FOR WATER TIGHT ENCLOSURE
- 27 PAINT STEEL BAR PICKETS AND POSTS OF EXISTING RAILINGS AND GUARDRAIL
- 28 ALUMINUM STOREFRONT FRAME WITH DOOR FULL HEIGHT TO UNDERSIDE OF WOOD CEILING ABOVE
- 29 ALUMINUM STOREFRONT FRAMING FROM TOP OF LID TO UNDERSIDE OF EXISTING WOOD CEILING
- 30 REPAIR DAMAGED BRICK AT LOWER CORNER OF LOADING DOCK COILING DOOR
- 32 1-HR RATED FIRE RATED FOLDING DOOR (W/DOOR) SHOWN DASHED. INSTALL 1-HR RATED PARTITION ABOVE DOOR TO STRUCTURE ABOVE. PROVIDE STEEL BEAM FOR TRACK SUPPORT
- 33 HSS 4 X 4 STEEL TUBE COLUMNS @ 20'-0" O.C. ALONG PERIMETER WITH 12" COLD FORMED FRAMING JOISTS AT ROOF OF BOXES. TYP. PROVIDE (1) LAYER 3/4" FIRE TREATED PLYWOOD WITH (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD ON TOP OF JOISTS
- 35 PAINT EXISTING STEEL BAR PICKETS OF GUARDRAIL
- 36 PATCH FLOOR TO MATCH ADJACENT EXISTING POLISHED CONCRETE
- 39 4" SLOPED METAL STUDS WITH 3/4" EXT. GRADE PLYWOOD, 4" RIGID INSULATION, 1/2" EXT. GRADE PLYWOOD, RED ROSIN PAPER OVER AIR BARRIER, COPPER STANDING SEAM ROOF TO MATCH EXISTING
- 40 EXISTING METAL COPING TO REMAIN, REUSE AS REQUIRED FOR NEW SCUPPER AND OVERFLOW SCUPPER
- 41 VAPOR BARRIER, TAPERED ROOF INSULATION, COVER BOARD, EPDM ROOF MEMBRANE OVER EXISTING 1/8" PER FOOT SLOPING STRUCTURE AND SUBSTRATE. SLOPE TAPERED INSULATION TO NEW SCUPPER
- 42 EXISTING FIREPLACE FLUE
- 43 EXISTING VALLEY GUTTER
- 44 EXISTING STANDING SEAM COPPER ROOF. TYP
- 45 PATCH EXISTING QUARRY TILE FLOOR WHERE WOOD PEWS REMOVED
- 46 SOUND BOOTH, OWNER FURNISHED. CONTRACTOR INSTALLED.
- 50 STEEL LINTEL REQUIRED AT WALL OPENING



Gensler
 706 2nd Avenue South
 Suite 1200
 Minneapolis, MN 55402
 United States
 Tel 612.333.1113
 Fax 612.333.1997

DUNHAM
 Durham Engineering
 50 South Sixth Street, Suite 1100
 Minneapolis, MN 55402-1540
 Tel 612.465.7550
 Fax 612.465.7551

BKBM ENGINEERS
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 6120 Earle Brown Dr., Suite 100
 Minneapolis, MN 55430
 Tel 763.843.0420
 Tel 763.843.0420

SRE
 SRE Consulting Group
 1 Carlson Parkway North, Suite 150
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TEN X TEN
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Seal / Signature

Project Name
 LUTHER SEMINARY OLSON CENTER + GULLIXSON HALL

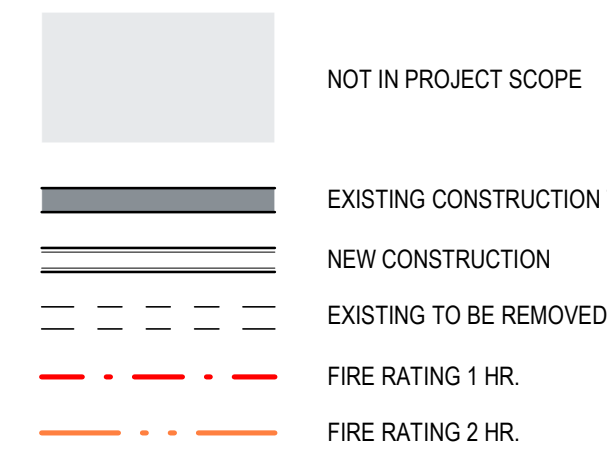
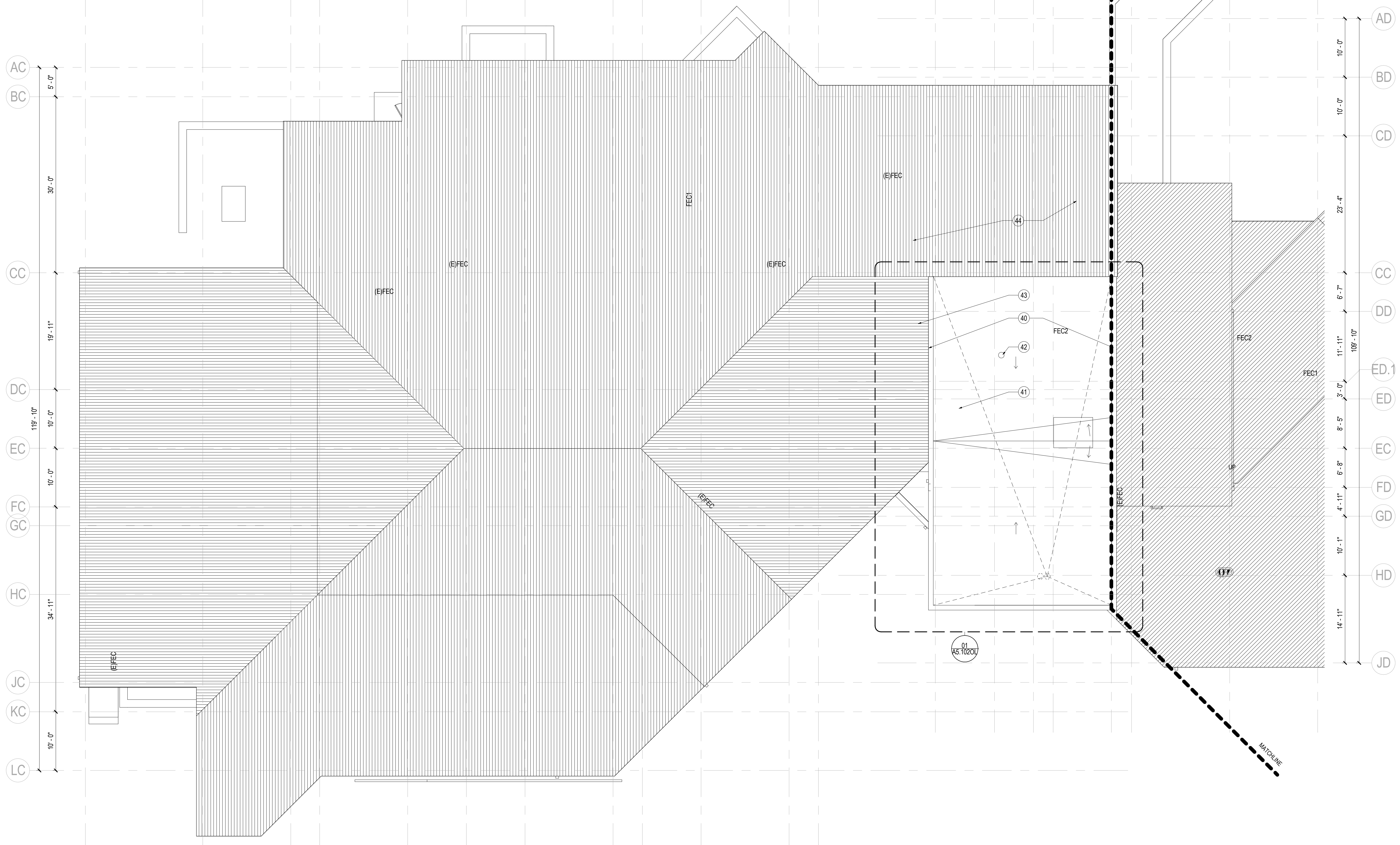
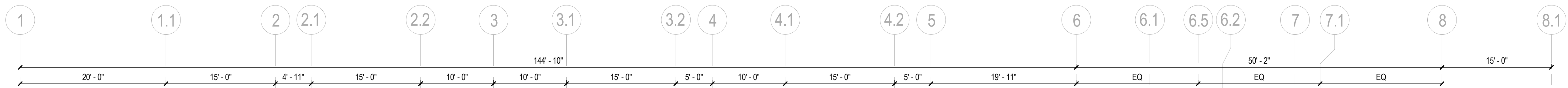
Project Number
 30.7644.000

Scale
 As indicated

Description
 CONSTRUCTION PLAN - ROOF NORTH OLSON

A1.1300L

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SHEET LEGEND
 SCALE: 1/4" = 1'-0"

1 CONSTRUCTION PLAN - ROOF OLSON N
 SCALE: 1/8" = 1'-0"

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SHEET NOTES

- 01 CAP WALL LOUVERS
- 02 SOFFIT ABOVE SHOWN DASHED
- 03 PATCH GYPSUM BOARD WALL WHERE WALL PARTITION IS DEMOLISHED
- 04 PATCH GYPSUM BOARD AND FACE BRICK WHERE STAIR IS DEMOLISHED
- 05 PATCH CMU WHERE WALL PARTITION IS DEMOLISHED
- 06 PATCH AND PAINT GYPSUM BOARD WALL PARTITION TO MATCH ADJACENT EXISTING
- 07 PATCH CONCRETE WALL WHERE WALL PARTITION DEMOLISHED
- 08 PATCH FIREPROOFING ON EXISTING STEEL STRUCTURE WHERE DAMAGED FROM DEMOLITION, TYPICAL
- 09 REPLACE CONCRETE SLAB ON GRADE WITH VAPOR BARRIER SEALED TO ADJACENT EXISTING VAPOR BARRIER WHERE EXISTING SLAB IS DEMOLISHED FOR MEP OR STRUCTURAL
- 10 STEEL COLUMN WITH FIREPROOFING AND GYPSUM BOARD FURRING
- 11 SEAL ALL AROUND MEP PENETRATIONS THROUGH EXTERIOR WALL
- 12 REPLACE VAPOR BARRIER AND CONCRETE SLAB ON GRADE
- 13 INSTALL CONCRETE SLAB ON GRADE AND VAPOR BARRIER SEALED TO ADJACENT EXISTING VAPOR BARRIER WHERE RAISED PLATFORM WAS REMOVED. FINISH WITH QUARRY TILE. PROVIDE (4) ELECTRICAL FLOOR BOXES IN SLAB
- 17 RELOCATE EXISTING GLASS DOOR WITH HARDWARE. INSTALL NEW GLASS PANELS IN STAINLESS STEEL SHOE TOP AND BOTTOM TO MATCH ADJACENT EXISTING SYSTEM AT FORMER DOOR OPENING AND ADJACENT TO NEW DOOR LOCATION
- 18 1 1/2" DIA. WOOD HANDRAIL WITH PAINTED STEEL POSTS, 4'-0" O.C. MAX.
- 20 PATCH FACE BRICK TO MATCH ADJACENT EXISTING
- 21 ALUMINUM WINDOW IN NEW MASONRY OPENING. INSTALL STEEL LINTEL. PATCH EXTERIOR BRICK WALL AROUND OPENING TO MATCH ADJACENT EXISTING
- 23 CUT OPENING IN PRECAST CONCRETE FLOOR FOR MECH. REFER TO STRUCTURAL AND MECHANICAL DRAWINGS
- 24 FILL IN RECESSED SLAB WITH CONCRETE TO ALIGN WITH ADJACENT FLOOR SLAB
- 25 COPPER DOWNSPOUT ATTACHED TO EXISTING GUTTER ABOVE. EXTEND BELOW GRADE AND CONNECT TO SITE STORM PIPE. REFER TO CIVIL DRAWINGS. INSTALL HEAT TRACE WIRE ON ENTIRE PIPE TO FROST LINE.
- 26 PATCH EXTERIOR BRICK WALL TO MATCH ADJACENT EXISTING WALL. INSTALL WATERPROOF MEMBRANE AND INSULATION FOR WATER TIGHT ENCLOSURE
- 27 PAINT STEEL BAR PICKETS AND POSTS OF EXISTING RAILINGS AND GUARDRAIL
- 28 ALUMINUM STOREFRONT FRAME WITH DOOR FULL HEIGHT TO UNDERSIDE OF WOOD CEILING ABOVE
- 29 ALUMINUM STOREFRONT FRAMING FROM TOP OF LID TO UNDERSIDE OF EXISTING WOOD CEILING
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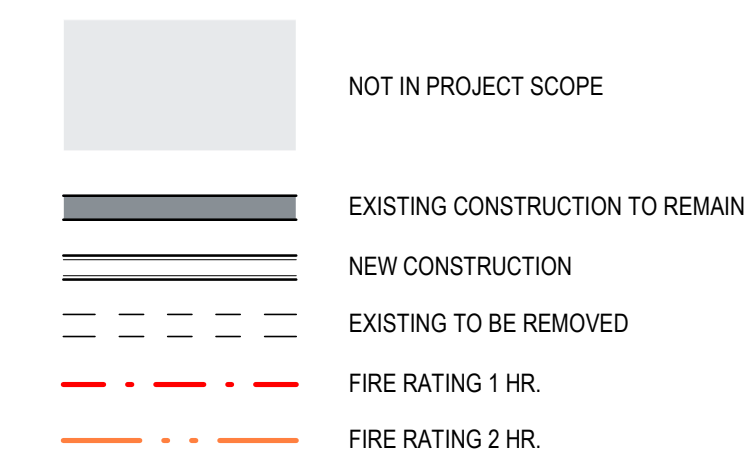
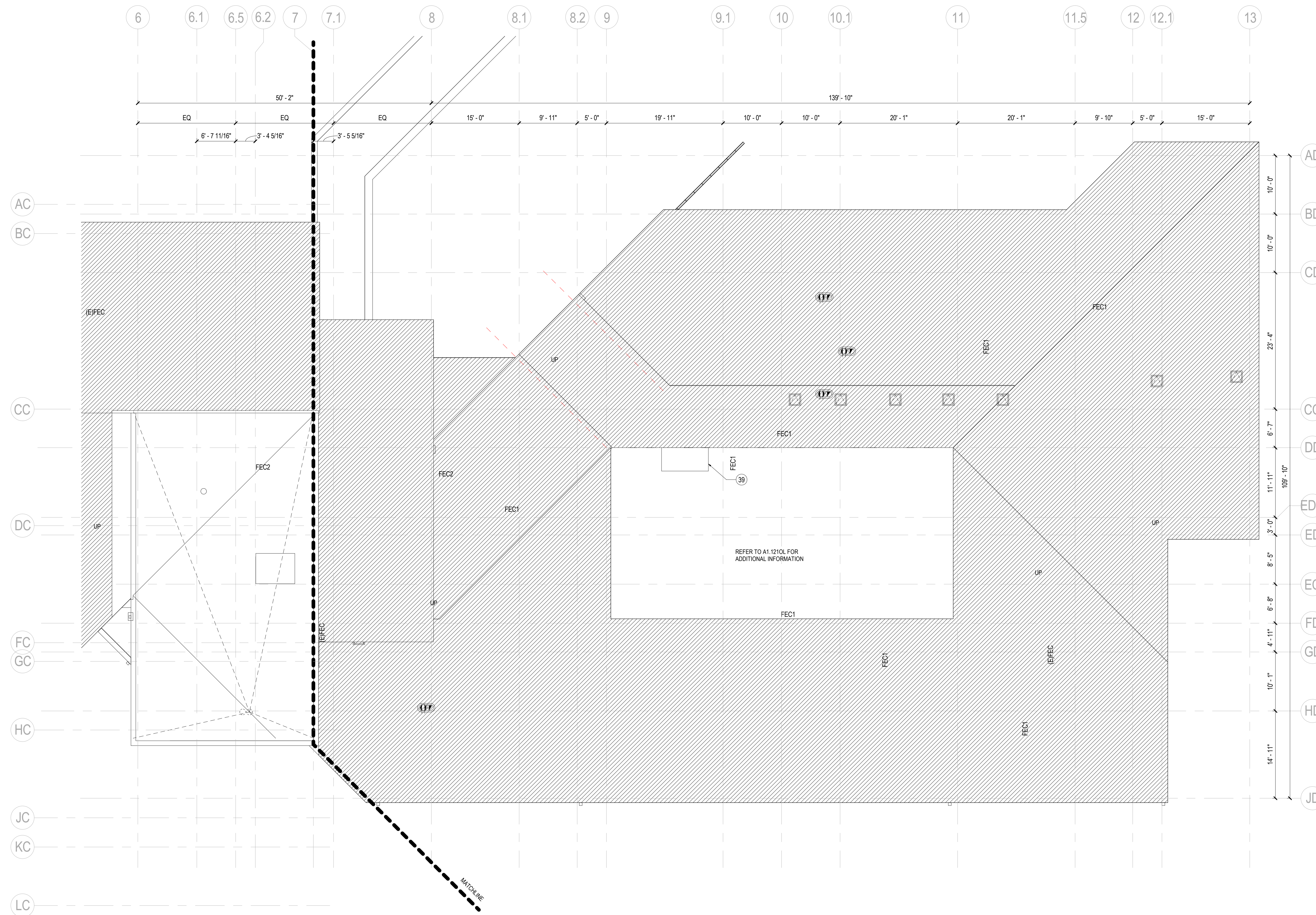
Project Name
LUTHER SEMINARY OLSON CENTER + GULLIXSON HALL

Project Number
30.7644.000

Scale
As indicated

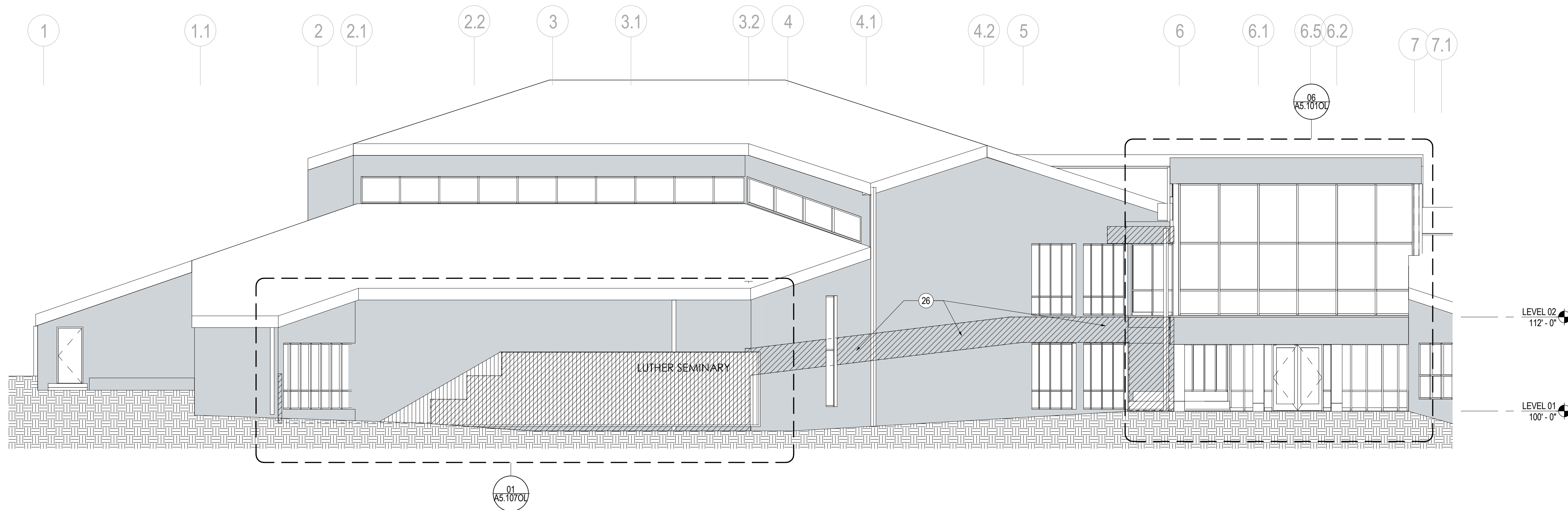
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CONSTRUCTION PLAN - ROOF SOUTH OLSON

A1.1310L

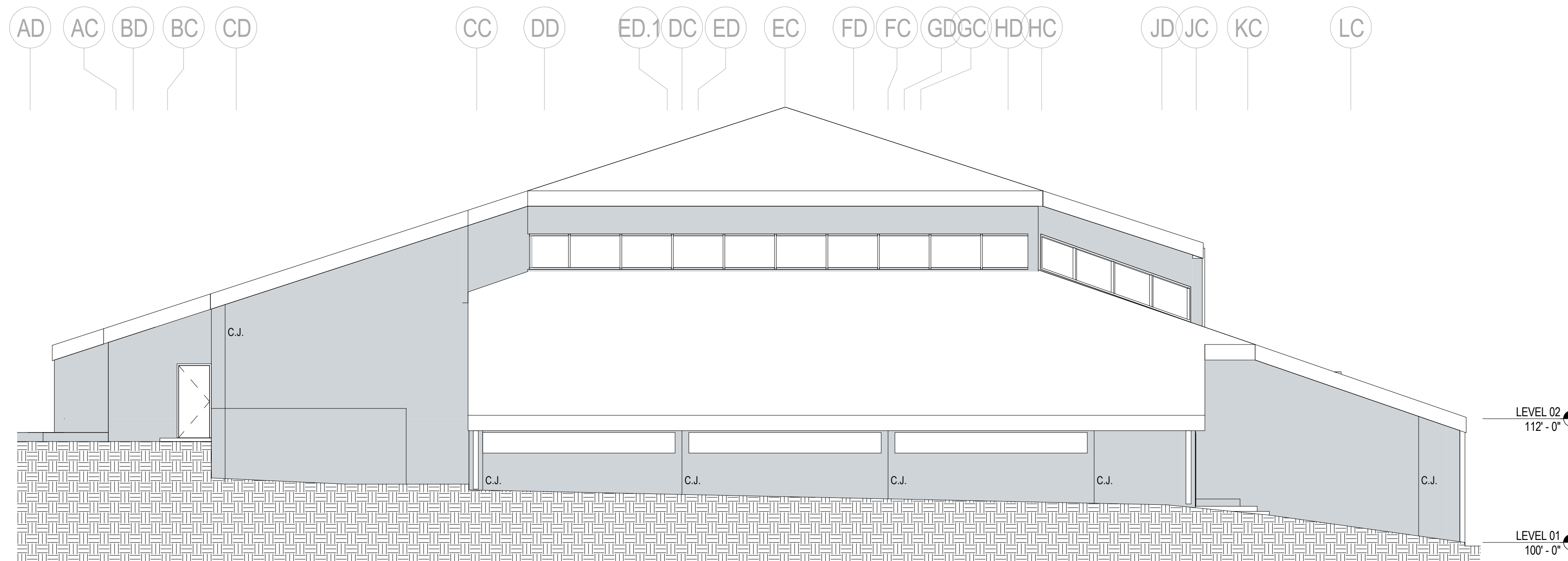


1 CONSTRUCTION PLAN - ROOF OLSON S
SCALE: 1/8" = 1'-0"

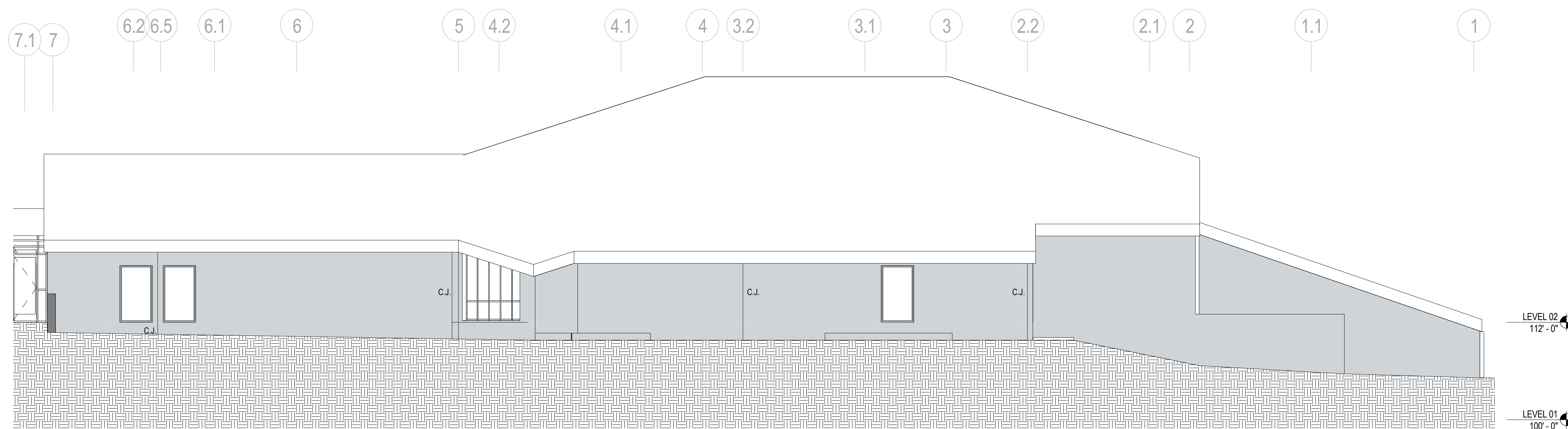
SHEET LEGEND
SCALE: 1/4" = 1'-0"



01 BUILDING ELEVATION - WEST OLSON N
SCALE: 1/8" = 1'-0"



02 BUILDING ELEVATION - NORTH OLSON N
SCALE: 1/8" = 1'-0"



03 BUILDING ELEVATION - EAST OLSON N
SCALE: 1/8" = 1'-0"

SHEET NOTES

- 01 NEW WINDOW AT EXTERIOR, TO MATCH EXISTING ADJACENT WINDOW.
- 03 NEW WINDOW AT EXTERIOR
- 26 RAMP STRUCTURE
- 50 NEW 16"x16" BATHROOM EXHAUST VENT @ EXTERIOR. COLOR TO MATCH EXTERIOR WINDOW FRAMES/MULLIONS



Gensler

706 2nd Avenue South
Suite 1200
Minneapolis, MN 55402
United States
Tel 612.333.1113
Fax 612.333.1997

DUNHAM
Dunham Engineering
50 South Sixth Street, Suite 1100
Minneapolis, MN 55402-1540
Tel 612.465.7550
Fax 612.465.7551

BKBM ENGINEERS
BKBM Engineers
6120 Earle Brown Dr, Suite 700
Minneapolis, MN 55430
Tel 763.843.0420

SRF
SRF Consulting Group
1 Carlson Parkway North, Suite 150
Minneapolis, MN 55447-4443
Tel 763.249.6796

TEN X TEN
Ten x Ten Studio
575 SE 5TH ST, STE. 210
Minneapolis, MN 55414
Tel 612.440.8369

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Date: 06/05/2019 License Number: 23895

Seal / Signature

Project Name
LUTHER SEMINARY OLSON CENTER + GULLIXSON HALL

Project Number
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Scale
1/8" = 1'-0"

Description
BUILDING ELEVATIONS - OLSON

A2.1000L

SHEET NOTES

- 01 NEW WINDOW AT EXTERIOR, TO MATCH EXISTING ADJACENT WINDOW.
- 03 NEW WINDOW AT EXTERIOR
- 26 RAMP STRUCTURE.
- 50 NEW 16"X16" BATHROOM EXHAUST VENT @ EXTERIOR. COLOR TO MATCH EXTERIOR WINDOW FRAMES/MULLIONS



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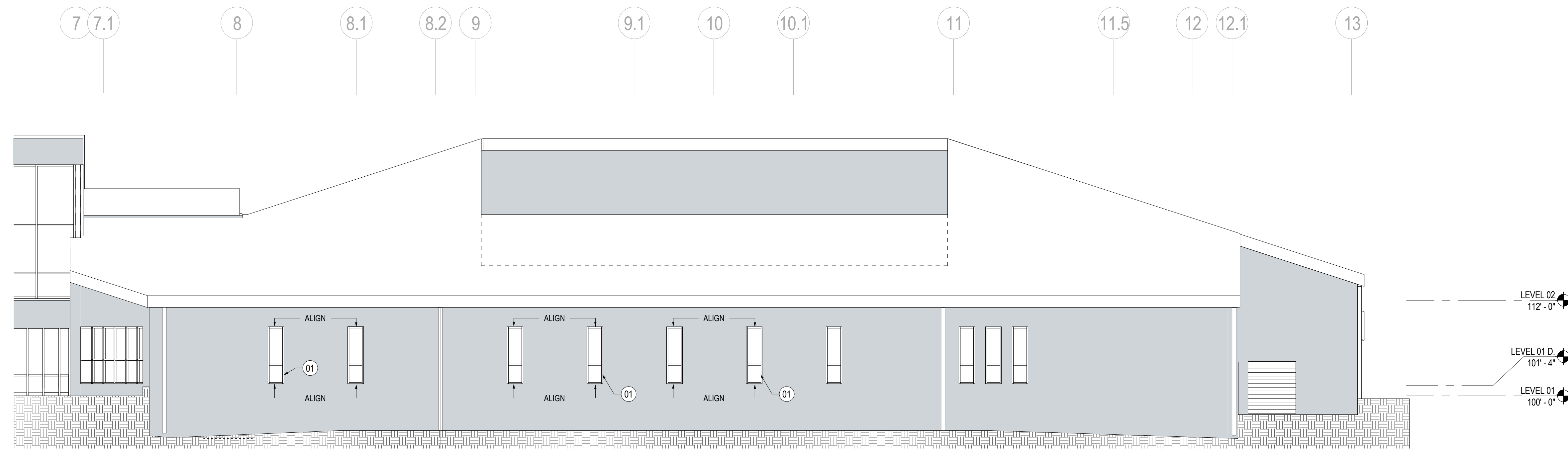
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Suite 1200
Minneapolis, MN 55402
United States
Tel 612.333.1113
Fax 612.333.1997

DUNHAM
Durham Engineering
50 South Sixth Street, Suite 1100
Minneapolis, MN 55402-1540
Tel 612.465.7550
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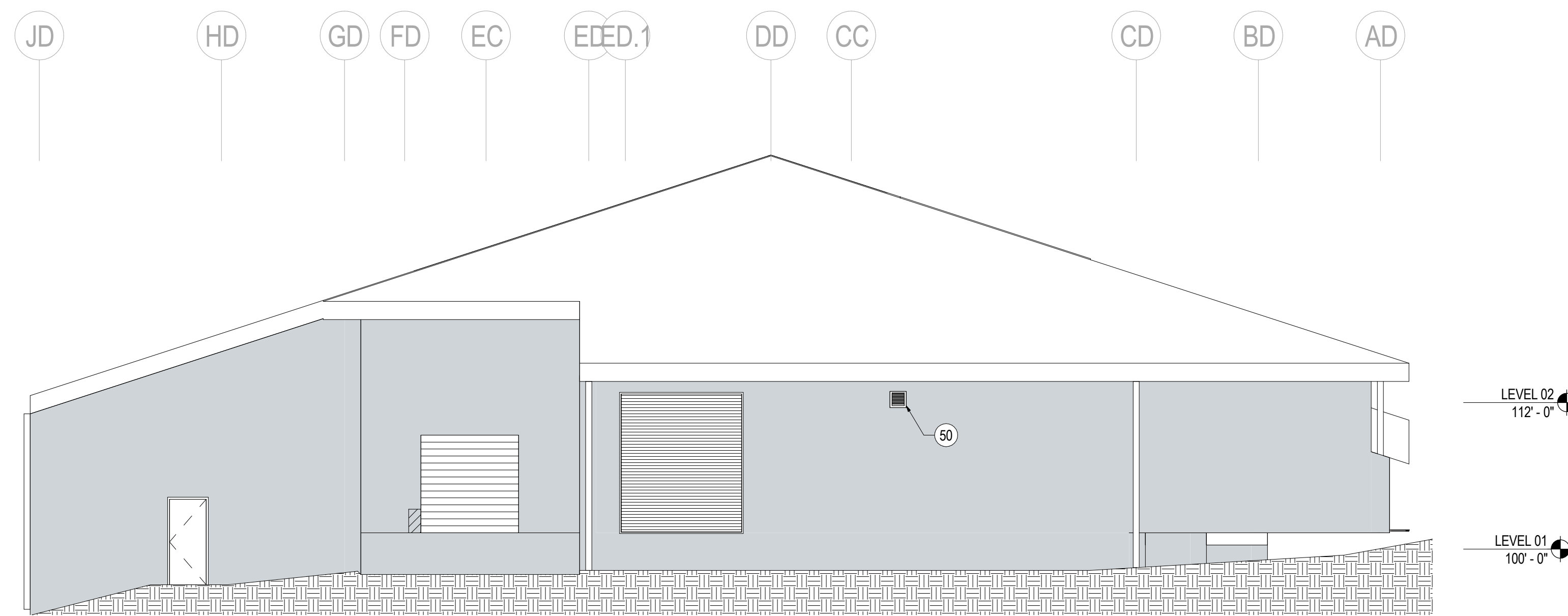
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ENGINEERS
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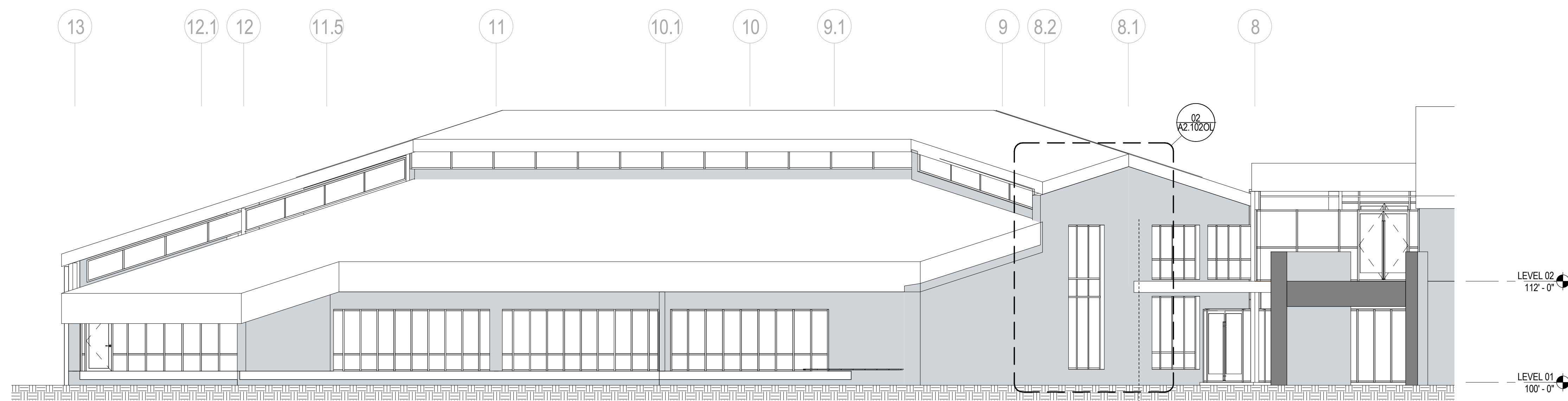
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Ten x Ten Studio
575 SE 9TH ST, STE. 210
Minneapolis, MN 55414
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01 BUILDING ELEVATION - WEST OLSON S
SCALE: 1/8" = 1'-0"



02 BUILDING ELEVATION - SOUTH OLSON S
SCALE: 1/8" = 1'-0"



03 BUILDING ELEVATION - EAST OLSON S
SCALE: 1/8" = 1'-0"

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Project Number
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Scale
1/8" = 1'-0"

Description
BUILDING ELEVATIONS - OLSON

A2.1010L

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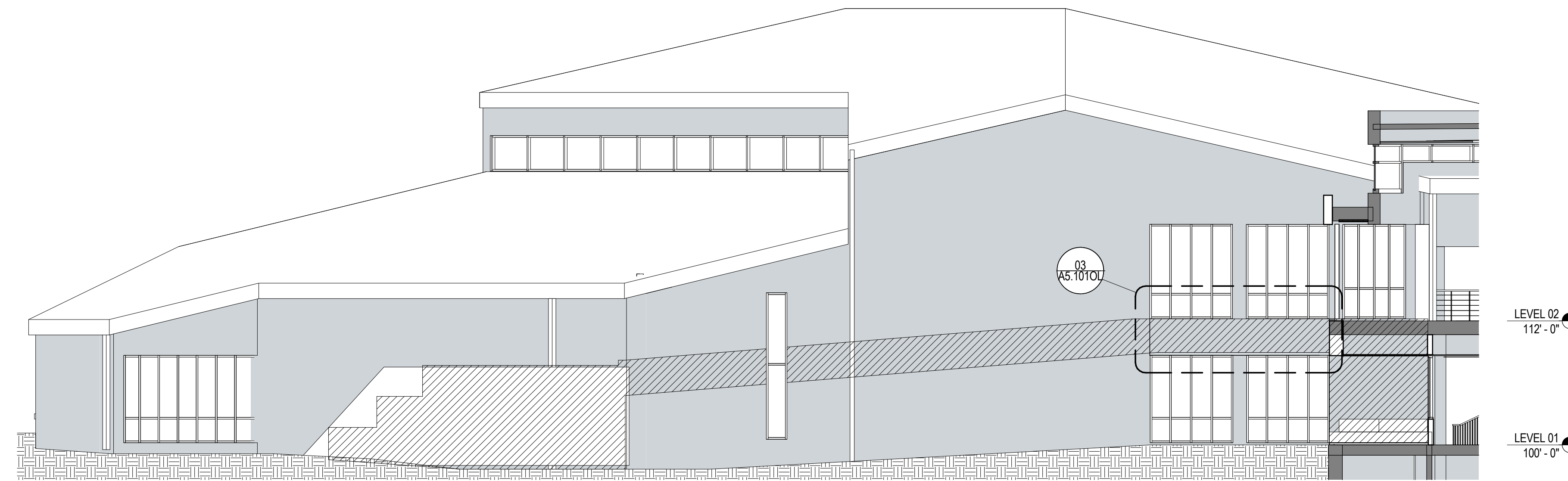
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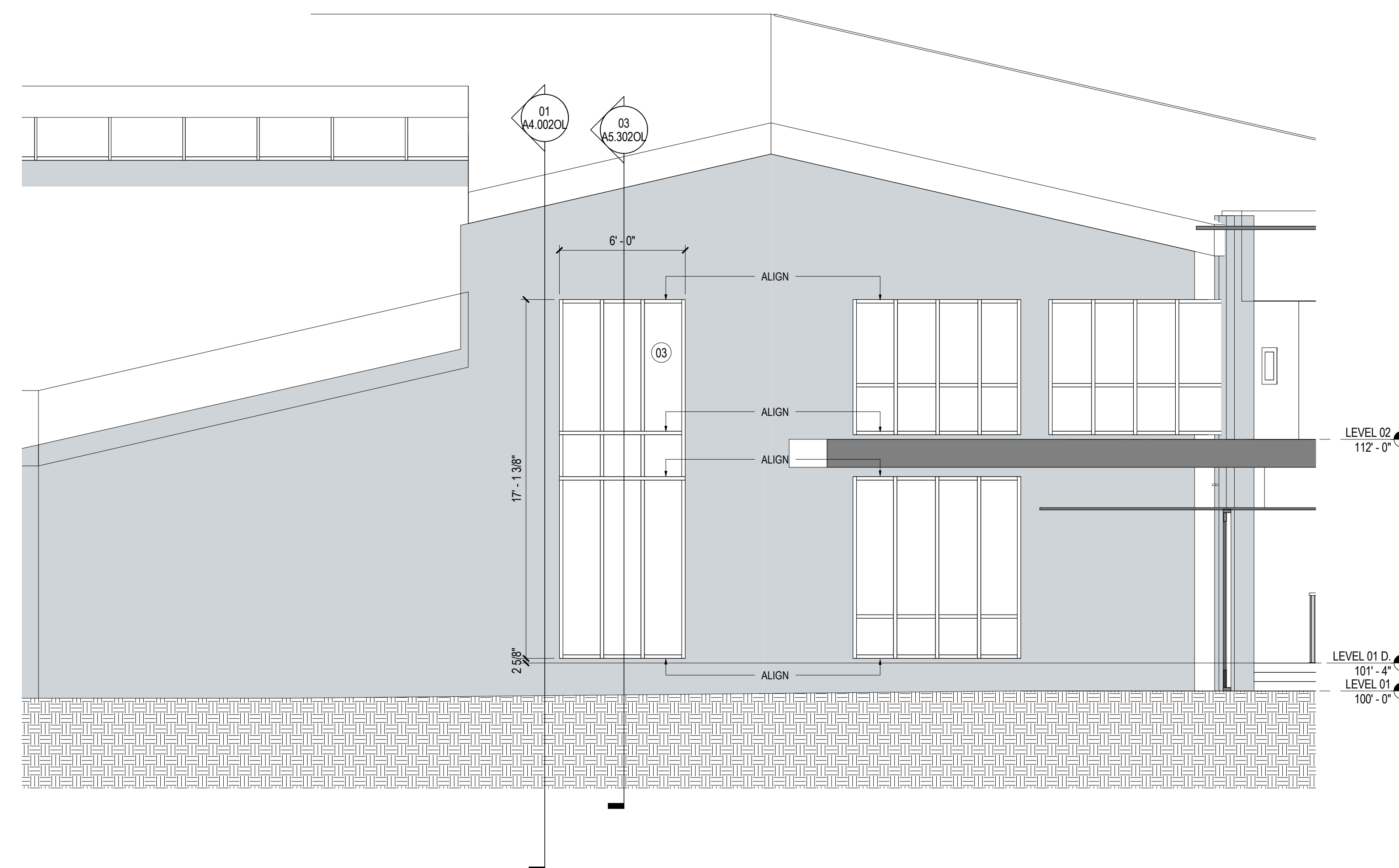
Scale
As indicated

Description
BUILDING ELEVATIONS - OLSON

A2.1020L



01 BUILDING ELEVATION - SOUTHWEST OLSON - N
SCALE: 1/8" = 1'-0"



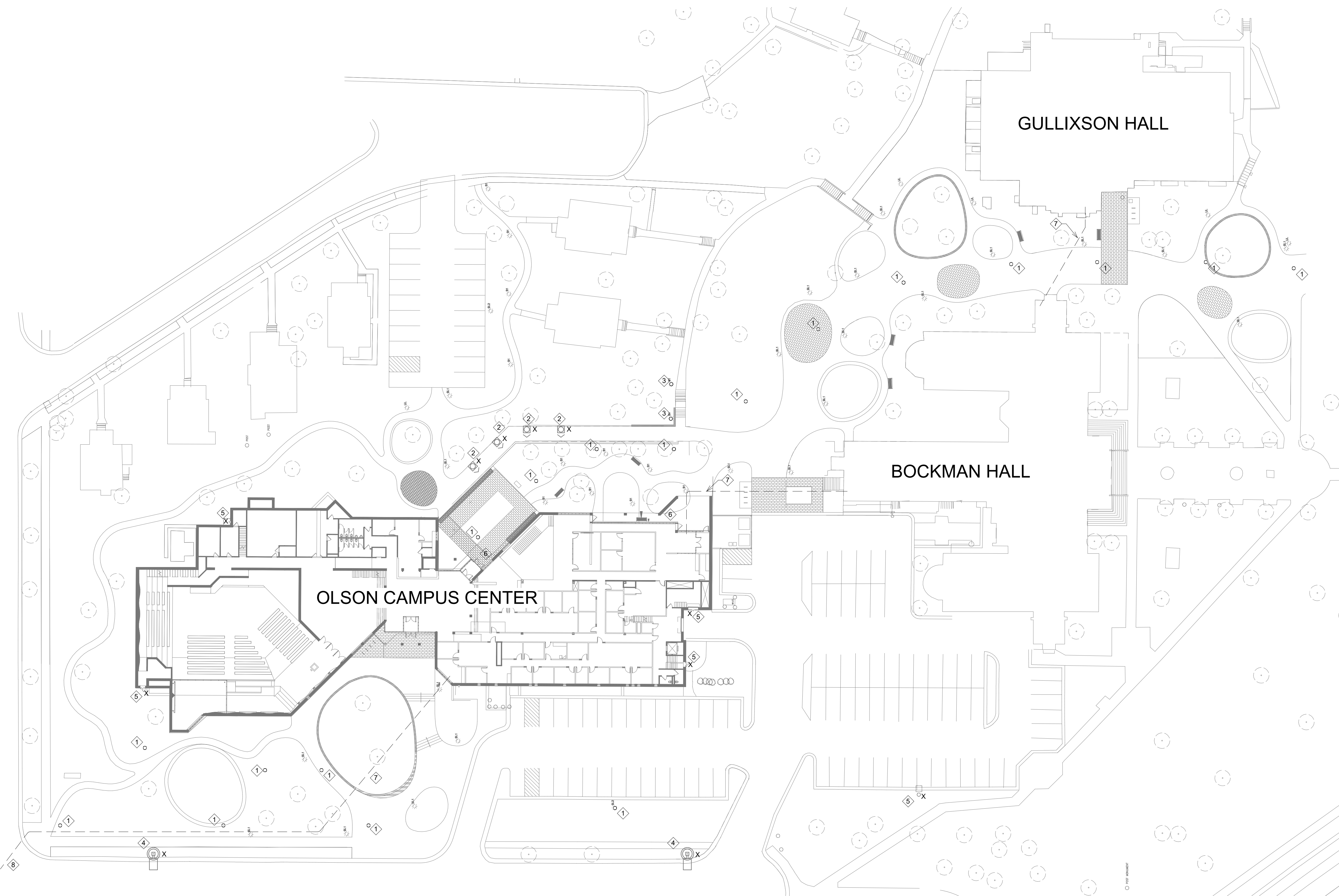
02 ENLARGED BUILDING ELEVATION - EAST FACADE OLSON
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- A. CONTRACTOR MUST LOCATE AND MARK ALL EXISTING UTILITY SERVICES PRIOR TO ANY NEW ROUTING OF CONDUITS ON SITE.
- B. LOCATE EXISTING SITE AND PARKING LOT ELECTRICAL FEEDS AND MARK. COORDINATE EXISTING SITE FEEDS WITH ANY NEW ROUTING PRIOR TO INSTALLATION.
- C. ELECTRICAL CONTRACTOR RESPONSIBLE FOR ALL EARTH WORK.
- D. EXISTING SITE LIGHTING SYSTEM SHALL REMAIN OPERATIONAL DURING INSTALLATION OF NEW CONTACTOR PANEL AND LIGHT FIXTURES. CUT OVER TO NEW SYSTEM SHALL BE COMPLETED AFTER BUSINESS HOURS OR DURING THE WEEKEND.

KEY NOTES:

- 1. DEMOLISH EXISTING SITE LIGHTING FIXTURE, ASSOCIATED CONCRETE BASE, AND CIRCUITING.
- 2. EXISTING WALL SCONCES TO REMAIN. DISCONNECT AND REFEED FIXTURES THROUGH NEW LIGHTING CONTROL PANEL.
- 3. REMOVE EXISTING SITE BOLLARDS AND REPLACE WITH NEW. EXISTING BASE AND WIRING TO REMAIN. MODIFY EXISTING BASE FOR MOUNTING OF NEW FIXTURES.
- 4. EXISTING CITY POLE LIGHT. FIXTURE MUST NOT BE DISTURBED THROUGHOUT ENTIRETY OF PROJECT.
- 5. EXISTING BUILDING MOUNTED LIGHTING TO REMAIN. FIXTURES TO BE FED THROUGH LIGHTING RELAY PANEL.
- 6. EXISTING CANOPY LIGHTING TO REMAIN. FIXTURES TO BE FED THROUGH LIGHTING RELAY PANEL.
- 7. DEMOLISH EXISTING UNDERGROUND CONDUITS FOR BUILDING FIBER COMMUNICATIONS FEEDS. DEMOLITION OF CONDUITS TO OCCUR AFTER NEW FIBER CONDUITS HAVE BEEN INSTALLED AND SYSTEM IS ACTIVE. INDICATED ROUTE IS APPROXIMATE.
- 8. DEMOLISH EXISTING FIBER CONDUITS BACK TO MAN HOLE LOCATED ACROSS FULHAM ST.



1 ELECTRICAL SITE PLAN - DEMO
1" = 30'-0"

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Jun Yik Kim, P.E.
Registration #31923
Signature: *[Signature]*
Date: 06/10/19

Project Name
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Project Number
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Scale
1" = 30'-0"

Description
ELECTRICAL SITE PLAN - DEMO

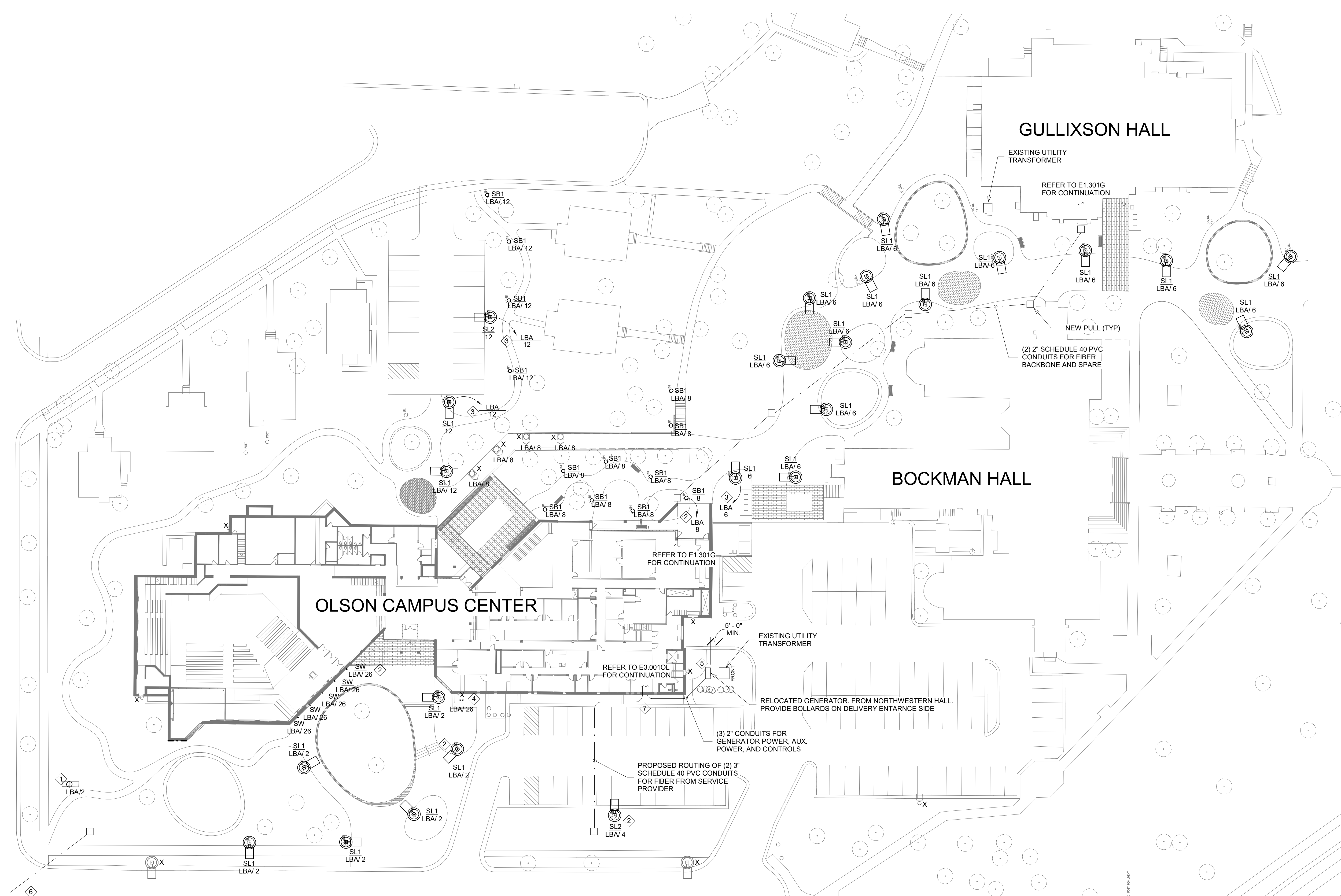
E0.0100L

GENERAL NOTES:

- A. UTILIZE #6 CONDUCTORS FOR ALL SITE LIGHTING BRANCH CIRCUITS.
- B. ROUTE ALL EXTERIOR LIGHTING CONTROL CIRCUITS THROUGH LIGHTING CONTROL CABINET.
- C. COORDINATE ALL EXTERIOR LIGHTING WITH CIVIL ENGINEER AND LANDSCAPE ARCHITECT TO AVOID PLANTING AREAS, DRAINAGE, ETC.

KEY NOTES:

- 1. JUNCTION BOX FOR CONNECTION OF FUTURE MONUMENT LIGHTING. PROVIDE PULLSTRING WITHIN 3/4" CONDUIT AND TERMINATE WITHIN WEATHER PROOF BOX.
- 2. UTILIZE EXISTING SITE LIGHTING CIRCUIT FOR INSTALLATION OF LIGHTING FIXTURE. BRANCH CIRCUITING TO MATCH EXISTING FOR EXTENSION TO NEW FIXTURE LAYOUT. CONTRACTOR TO FIELD VERIFY.
- 3. PROVIDE 2#8, 1#10G, 3/4" CONDUIT FOR SITE POLE LIGHTING.
- 4. RE-CIRCUIT EXISTING WALL SCONCE TO CIRCUIT INDICATED.
- 5. CONTRACTOR TO RELOCATE EXISTING GENERATOR. PROVIDE CONCRETE PAD AND CONCRETE BOLLARDS AT 4'-0" O.C.
- 6. ROUTE CONDUIT TO FIBER SERVICE MANHOLE LOCATED ACROSS FULHAM ST. CONFIRM WITH SERVICE PROVIDER.
- 7. ROUTE CONDUITS A MINIMUM OF 30" BELOW GRADE TO TOP OF CONDUIT. PROVIDE SWEEPING BENDS AT EACH 90 DEGREE TURN. CONDUIT PENETRATIONS INTO THE BUILDING MUST BE SEALED AND WATER TIGHT.



1 ELECTRICAL SITE PLAN
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ELECTRICAL SITE PLAN

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