



# ZONING VARIANCE APPLICATION

*To Board of Zoning Appeals*

*Dept. of Safety & Inspections  
Zoning Section*

*375 Jackson St., Suite 220  
Saint Paul, MN 55101-1806  
(651) 266-9008*

*To Planning Commission*

*Dept. of Planning & Econ. Devt.  
Zoning Section*

*1400 City Hall Annex, 25 W<sup>4</sup>th St.  
Saint Paul, MN 55102-1634  
(651) 266-6583*

Zoning Office Use Only	
File #	<u>24-023545</u>
Fee Paid \$	<u>856.00</u> (payment in 24-017909)
Received By / Date	<u>D. Eide - 3/25/2024</u>
Tentative Hearing Date	<u>4/15/2024</u>

## APPLICANT

Name Snelling-Midway Redevelopment, LLC  
*(must have ownership or leasehold interest in the property, contingent included)*

Address 730 Second Avenue S. Suite 1450 City Minneapolis State MN Zip 55402

Email bjp@kskpa.com Phone 612-375-1138 Name of Owner (if different) \_\_\_\_\_

Contact Person (if different) Bruce Parker, Sally Swanson Email bjp@kskpa.com; sjs@kskpa.com

Address 730 Second Avenue S, Suite 1450 City Minneapolis State MN Zip 55402

## PROPERTY INFO

Address / Location: 0 University Avenue W **Temporary Address: 1566 University Ave W**

PIN(s) & Legal Description 342923320019, MLS Soccer Redevelopment Block 4, Lot 1  
*(attach additional sheet if necessary)*

Lot Area 72,138 Current Zoning T4M with Master Plan

**VARIANCE REQUEST:** Application is hereby made to the Board of Zoning Appeals (or to the Planning Commission with another zoning application) for variance from the following section(s) of the Zoning Code.

See attached\_

**SUPPORTING INFORMATION:** Explain or demonstrate the following. Attach additional sheets if necessary.

1. Practical difficulties in complying with the provision of the code from which a variance is requested, and that the property would be used in a reasonable manner not permitted by the provision.

See attached

■ If you are a religious institution, you may have certain rights under RLUIPA. Please check this box if you identify as a religious institution.

Applicant's Signature Bruce J. Parker Date 3/25/24

## **Zoning Variance Application United Village Block F1 (Food Pavilions)**

The following variance is requested for the Block F1 Food Pavilions (Bldgs. A and B).

1. City Council RES 23-1442(3) - All new buildings within the master plan boundary must have a primary pedestrian building entrance on arterial, collector, and/or local streets.
  - F1 (Bldg. A): Request variance for North and East Facades to not provide pedestrian building entrances on Spruce Tree Drive and Simpson Street.
  - F1 (Bldg. B): Request variance for East Facade to not provide pedestrian building entrance on Simpson Street.
2. City Council RES 23-1442 - window and door openings at ground floor shall comprise at least 50% of the length and at least 30% of the area.
  - F1 (Bldg. A): North façade 30% of the area of ground floor window and door openings required; 19.6% proposed for a variance of 10.4%.
3. City Council RES 23-1442 - window and door openings at ground floor shall comprise at least 50% of the length and at least 30% of the area.
  - F1 (Bldg. A): East façade 30% of the area of ground floor window and door openings required; 22% proposed for a variance of 8%.
4. City Council RES 23-1442 - window and door openings at ground floor shall comprise at least 50% of the length and at least 30% of the area.
  - F1 (Bldg. B) East Façade 30% of the area of ground floor window and door openings required; 15% proposed for a variance of 15%.

## **Project Narrative**

### Snelling-Midway Master Plan Summary

The 2016 Master Plan contemplated the transformation of the Snelling-Midway Super Block (bounded by University Avenue, Snelling Avenue, Pascal Avenue and St. Anthony Avenue) consisting of 34.4 acres (the “Super Block”). Conditions of said property included a demolished Metro Transit repair and storage facility on 10 acres in the southwest corner and an outdated Midway Shopping Center comprised of single-story retail stores constructed in the mid-1950s era. The vision was to create an integrated modern village with sports, entertainment, office, retail, housing, and hotel amenities. Allianz Field, home to the Minnesota United FC of Major League Soccer, was completed in 2019 and was the first and keynote improvement on the Super Block. Allianz Field garnered national and international recognition for its sport stadium design. The stadium and the surrounding area are situated within the southern 40% of the Super Block. Given the current economic conditions, a phased development approach is necessary to build out the balance of the Super Block. The elements in United Village Phase 1 were carefully selected to provide the foundation for further development, to meet the local needs of the community, particularly the desire of the multiple local colleges and universities for a conveniently located district, and to demonstrate the developer’s commitment to open space and community-oriented improvements.

### Block F1 – Food Pavilions

Populous, along with Loucks and the SMR Development Team submits this narrative along with referenced drawings to outline the design intent and use of paired hospitality retail establishments referred to as Block F, as situated on ‘Parcel F’, part of the 2016 Master Plan around the Allianz Field site. The 2016 Master Plan identified these buildings as the "Shops in the Green". The City Council Resolution RES PH 16-239 excepted these buildings from the minimum floor area ration (FAR) of 2.0.

Parcel F is bounded by Simpson to the east, Spruce Tree Street to the south, and Shields along the north, and the Great Lawn to the west. The Block F parcel is approximately 24,000 GSF, subdivided into two pavilions. Building A is 3,600 SF to the north and the larger Building B is 6,800 SF, located to the south. Both structures are one story, incorporating common architectural language and materials.

Both pavilions are placed to capitalize on views and frame connectivity with the adjacent 'Great Lawn' and Allianz Field. The roof eaves extend beyond the perimeter walls resulting in covered outdoor dining terraces, separated with large expanses of glazing to blur the interior spaces with exterior surroundings. Both pavilions are oriented toward the 'Great Lawn' to supplement activation of community events or matches inside the district. Both pavilions can be serviceable at the rear (east) along Simpson, although loading and unloading will be restricted within certain specified times to avoid conflict during event mode.

Between the paired pavilions is a 'mews' serving as the pedestrian pathway leading to the establishments' entry reception area. Both pavilions will serve unique hospitality and food experience offerings. Although exact operators have not been selected, the south pavilion serves as a full-service restaurant while the north pavilion provides more casual food offerings.

Both pavilions include outdoor seating zones to expand capacity on comfortable days/nights below the overhead roof eave. The pavilions reinforce the edge along the 'Great Lawn'. The pavilions are predominantly clad with full height glazing while opaque clad walls frame the back of house. Along Simpson, both pavilions feature large scale mural walls (12'x30' and 12'x75' respectively) to provide a pedestrian scale active experience. The façade will include additional treatments to accentuate identity branding and wayfinding, including plantings, lighting, and architectural detail which effectively translate to human scale and the environs. Note that signage and wayfinding will be submitted in a separate application later.

#### Exterior Façade Materials

The facades are a combination of precast or cast-in-place architectural concrete solid panels with integral color and insulated curtainwall/storefront glazing systems. The façade (material and fenestration patterns) for both pavilions employ consistent unifying materials, proportions and design features lining the base to unify both volumes. The east facades of each building will feature a full height mural to activate pedestrian interest and camouflage back-of-house building elements.

## **Variance #1: F1 Buildings Primary pedestrian entrances off streets.**

City Council RES 23-1442(3) - All new buildings within the master plan boundary must have a primary pedestrian building entrance on arterial, collector, and/or local streets.

- F1 (Bldg. A): Variance Request for North and East Facades to not provide pedestrian building entrances on Spruce Tree Drive and Simpson Street.
- F1 (Bldg. B): Variance Request variance for East Facade to not provide pedestrian building entrance on Simpson Street.

**SUPPORTING INFORMATION:** Explain or demonstrate the following. Attach additional sheets if necessary.

1. Practical difficulties in complying with the provision of the code from which a variance is requested, and that the property would be used in a reasonable manner not permitted by the provision.
  - A. Block F parcel engages both Spruce Tree Drive to the north and Simpson Street to the east and, most importantly, the Great Lawn to the west. For the intended use and program density, it is deemed impractical to provide main pedestrian entrances off both above streets. The following outlines the specifics:
    - Given the properties direct adjacency to the Great Lawn, logic dictates bringing the public entries closer to this destination.
    - The central open-air pedestrian connection to both building entries (the Mews) respects the pedestrian flow through this site and provides an attractive visual connection to the Great Lawn.
    - The intent of the Mews is purposeful as the main connection from Simpson for pedestrians entering from the East and supports patrons entering from the north or west.
    - For Bldg. A, the Kitchen and Serving areas are located along the north side of the plan that abuts Spruce Tree Drive. Adding a primary entrance at this location would conflict with the functional operation of the facility.
    - For both Bldgs. A & B, the Back of House areas of the venues abut Simpson Street. Again, attempting to interject a pedestrian entrance into these service areas is counter to the functional layout of these pavilions due to the minimal amount of square footage
  - B. Pedestrian access from both Shields Street and the Great Lawn as shown on the site plan allows direct and convenient access to the front doors of each of the pavilions. This arrangement is in harmony with the general purpose of the zoning code as it addresses the pedestrian connection to the Great Lawn. Refer to further information in Item #4 below.
  - C. Reference Site Plan Sheet SD1-01.
2. The plight of the landowner is due to circumstances unique to the property not created by the landowner.
  - A. The inherent goal of the overall Master Plan is to celebrate and activate the Great Lawn. Thus, the public components of the pavilions are oriented toward this open space. The entry locations for both pavilions are located along a central pedestrian open-air mews that connects Simpson Street and the Great Lawn. Necessary service areas are placed at the back of the pavilions to provide access to the only available street (i.e. Simpson Street).
  - B. Reference Site Plan Sheet SD1-01.



3. The variance will not permit any use that is not allowed in the zoning district in which the property is located.

Sec. 66.345. Traditional neighborhood district Master Plan elements Mixed use area: The mixed-use area consists of service and retail commercial uses, workplaces, civic uses, housing, and public open space. It contains the broadest variety of land uses and is intended to function as a center of activity for residents of the entire T3 district and, potentially, surrounding areas. Hotels permitted per approved 2016-5-24 Master Plan which meet the T4M district requirements.

4. The variance will not alter the essential character of the surrounding area.
  - A. The location of the pavilion entrances does not impede the pedestrian flow around the site. The addition of proposed trees, landscaping and streetlights along Simpson Street, Spruce Tree and Shields Avenue creates an attractive experience for pedestrians. The aforementioned mews provides a direct connection to the entrances as well as into the environs of the Great Lawn. Also, the artistic wall murals along the ground level east façades enhance the excitement as pedestrians circulate to and from the stadium. This approach illustrates how the design remains consistent with the comprehensive plan.
  - B. The single-story food pavilion Block F1 is part and parcel of the phase one mixed use block development, i.e. complementary with blocks B2 and D and the stadium. Collectively, the intent is Phase One development activates and embraces the Great Lawn, the heart of the district, and the ethos of the Midway but also providing the required open space just south of the hotel building. The future phases of development will concentrically build on layers of program which build upon and are servient to the central Great Lawn.
5. The variance is in harmony with the general purposes and intent of the zoning code. As noted above, the current design approach focuses on the pedestrian experience and connectivity to various components of the neighborhood. Connections to the Great Lawn as well as sidewalks along Spruce Tree Drive and Simpson Street allow for free movement to and from the pavilions. The centrally located mews enhances the pedestrian interaction with these two pavilions.
6. The variance is consistent with the comprehensive plan. The placement of these two pavilions directly adjacent to the Great Lawn and the mews between them is in alignment with the approved master plan. Rather than provide a barrier to those walking along Simpson, the mews invites them into the more intimate entries of the pavilions. Furthermore, the artistic wall murals along Simpson Street enliven the experience for those pedestrians walking to and from the stadium and light rail station.

***Refer to Sheet S-1 (Phase 1 Site Plan) and Sheet S-2 (2016 Master Plan Programming View) and Site Plan Sheet SD1-01.***

## **Variance #2: F1 (Bldg. A): Ground Floor Window and Door Openings (North)**

City Council RES 23-1442 - window and door openings at ground floor shall comprise at least 50% of the length and at least 30% of the area.

- F1 (Bldg. A): North façade 30% of the area of ground floor window and door openings required; 19.6% proposed for a variance of 10.4%.

**SUPPORTING INFORMATION:** Explain or demonstrate the following. Attach additional sheets if necessary.

1. Practical difficulties in complying with the provision of the code from which a variance is requested, and that the property would be used in a reasonable manner not permitted by the provision.
  - A. On the north facade of F1-Bldg A, the addition of more windows than already shown would require adding them to the Serving Area and Kitchen. This would conflict with the internal layout and function of these support rooms.
  - B. The scoring pattern of the wall material along this façade helps to bring the scale down to a more pedestrian level for those walking along this sidewalk. Views toward the Great Lawn also enhance this path. Refer to Item #4 below.
  - C. Refer to Sheets F-a1 through F-a2 included below for “opening” calculations for each elevation.
2. The plight of the landowner is due to circumstances unique to the property not created by the landowner.
  - A. This variance occurred because Sec .66.343 Applicability of Traditional Neighborhood District Design Standards table, pertaining to item (13) ‘Door and window openings’ requires\_for new commercial and civic buildings, windows and doors or openings shall comprise at least fifty (50) percent of the length and at least thirty (30) percent of the area of the ground floor along arterial and collector street facades. The T4M zoning code applies to various types of building structures such as office, residential, and retail. Food Pavilion layouts can meet these requirements in portions of the building where the façades are directly adjacent to the public areas. To apply the percentage of openings to back of house operational areas is impractical to achieve.
  - B. Reference Sheets A-4 through A-6 for elevation views of the Block F Pavilions.
3. The variance will not permit any use that is not allowed in the zoning district in which the property is located.

Sec. 66.345. Traditional neighborhood district Master Plan elements (a) Mixed use area. The mixed-use area consists of service and retail commercial uses, workplaces, civic uses, housing, and public open space. It contains the broadest variety of land uses and is intended to function as a center of activity for residents of the entire T3 district and, potentially, surrounding areas. Retail establishments are permitted per approved 2016-5-24 Master Plan which meet the T4M district requirements.
4. The variance will not alter the essential character of the surrounding area.

- A. The north façade of the F1 (Bldg. A) helps frame the exciting experience for the pedestrians at ground level. As one travels west on Spruce Tree Drive, the view opens toward the Great Lawn to the south as well as the hotel's open lawn across the street to the north. The F1 (Bldg. A) provides outdoor seating before you approach the Great Lawn, thus offering pedestrians opportunities to sit and enjoy the park setting. It is in harmony with the general purposes of the zoning code and consistent with the comprehensive plan as it welcomes the pedestrians traveling along this path to the stadium or light rail station.
  - B. The single-story food pavilion Block F1 is part and parcel of the Phase 1 mixed use block development, i.e. complementary with blocks B2 and D and the stadium. Collectively, the intent is Phase 1 development activates and embraces the Great Lawn, the heart of the district, and the ethos of the Midway but also providing the required open space just south of the hotel building. The future phases of development will concentrically build on layers of program which build upon and are servient to the central Great Lawn.
- 5. The variance is in harmony with the general purposes and intent of the zoning code. As noted above, the current design approach focuses on the pedestrian experience and connectivity to various components of the neighborhood. Connections to the Great Lawn as well as sidewalks along Spruce Tree Drive and Simpson Street allow for free movement to and from the pavilions. The centrally located mews enhances the pedestrian interaction with these two pavilions.
  - 6. The variance is consistent with the comprehensive plan. The placement of these two pavilions directly adjacent to the Great Lawn and the mews between them is in alignment with the approved master plan and allows pedestrian circulation throughout this block.

***Refer to Sheet S-1 (Phase 1 Site Plan) and Sheet S-2 (2016 Master Plan Programming View)***

### **Variance #3: F1 (Bldg. A): Ground Floor Window and Door Openings (East).**

City Council RES 23-1442 - window and door openings at ground floor shall comprise at least 50% of the length and at least 30% of the area.

- F1 (Bldg. A): East façade 30% of the area of ground floor window and door openings required; 22% proposed for a variance of 8%.

**SUPPORTING INFORMATION:** Explain or demonstrate the following. Attach additional sheets if necessary.

1. Practical difficulties in complying with the provision of the code from which a variance is requested, and that the property would be used in a reasonable manner not permitted by the provision.
  - A. For the east façade of the F1 (Bldg. A) pavilion, the window and door openings comprise approximately 22% of the area of the ground floor. The program areas on this side of the pavilion are service areas for the establishment. The introduction of more openings would not align with the function of these perimeter internal areas. However, the pedestrian experience is still a safe and comfortable one aligning with the goals of the comprehensive plan as outlined in Item #4 below.
  - B. Refer to Sheets F-a1 through F-a2 included below for “opening” calculations for each elevation.
2. The plight of the landowner is due to circumstances unique to the property not created by the landowner.
  - A. This variance occurred because Sec .66.343 Applicability of Traditional Neighborhood District Design Standards table, pertaining to item (13) ‘Door and window openings’ requires\_for new commercial and civic buildings, windows and doors or openings shall comprise at least fifty (50) percent of the length and at least thirty (30) percent of the area of the ground floor along arterial and collector street facades. The T4M zoning code applies to various types of building structures such as office, residential, and retail. The Food Pavilion layout can meet these requirements in portions of the building where the façade is directly adjacent to the public areas. To apply the percentage of openings to back of house operational areas is impractical to achieve.
  - B. Reference Sheets A-4 through A-6 for elevation views of the Block F Pavilions.
3. The variance will not permit any use that is not allowed in the zoning district in which the property is located.

Sec. 66.345. Traditional neighborhood district Master Plan elements (a) Mixed use area. The mixed-use area consists of service and retail commercial uses, workplaces, civic uses, housing, and public open space. It contains the broadest variety of land uses and is intended to function as a center of activity for residents of the entire T3 district and, potentially, surrounding areas. Retail establishments are permitted per approved 2016-5-24 Master Plan which meet the T4M district requirements.

4. The variance will not alter the essential character of the surrounding area.
  - A. The east façade of the F1 (Bldg. A) pavilion with mainly service-related areas behind still provides a safe and secure experience for pedestrians at ground level. The ground floor level material palette is primarily an artistic mural that enhances the experience of traversing this side of Simpson Street. The building height steps down to 12 feet along this façade and combined with adjacent street trees bring the scale of the building down to a comfortable level. As one travels further south on Simpson Street, the visual excitement of the mural is joined with the opening view toward the stadium. It is in harmony with the general purposes of the zoning code and consistent with the comprehensive plan as it welcomes the pedestrians traveling along this path to the stadium or light rail station.
  - B. The single-story food pavilion Block F1 is part and parcel of the phase one mixed use block development, i.e. complementary with blocks B2 and D and the stadium. Collectively, the intent is Phase One development activates and embraces the Great Lawn, the heart of the district, and the ethos of the Midway but also providing the required open space just south of the hotel. The future phases of development will concentrically build on layers of program which build upon and are servient to the central Great Lawn.
5. The variance is in harmony with the general purposes and intent of the zoning code. As noted above, the current design approach focuses on the pedestrian experience and connectivity to various components of the neighborhood. Connections to the Great Lawn as well as sidewalks along Spruce Tree Drive and Simpson Street allow for free movement to and from the pavilions. The centrally located mews enhances the pedestrian interaction with these two pavilions.
6. The variance is consistent with the comprehensive plan. The placement of these two pavilions directly adjacent to the Great Lawn and the mews between them is in alignment with the approved master plan. Rather than provide a barrier to those walking along Simpson, the mews invites them into the more intimate entries of the pavilions. Furthermore, the artistic wall murals along Simpson Street enliven the experience for those pedestrians walking to and from the stadium and light rail station.

***Refer to Sheet S-1 (Phase 1 Site Plan) and Sheet S-2 (2016 Master Plan Programming View).  
Required site plan is attached. - Refer to Sheet SD1-01.***

#### **Variance #4: F1 (Bldg. B): Ground Floor Window and Door Openings (East).**

City Council RES 23-1442 - window and door openings at ground floor shall comprise at least 50% of the length and at least 30% of the area.

- F1 (Bldg. B) East Façade 30% of the area of ground floor window and door openings required; 15% proposed for a variance of 15%.

**SUPPORTING INFORMATION:** Explain or demonstrate the following. Attach additional sheets if necessary.

1. Practical difficulties in complying with the provision of the code from which a variance is requested, and that the property would be used in a reasonable manner not permitted by the provision.
  - A. For the ground level east façade of the F1 (Bldg. B) pavilion, the window and door openings comprise approximately 15% of the total area of the ground floor of the façade. Like the east façade of the other pavilion (F1-Bldg. A), the program areas on this side of the building are service areas for the establishment. The introduction of more openings would not align with the function of these perimeter internal areas. However, the pedestrian experience is still a safe and comfortable one aligning with the goals of the comprehensive plan as outlined in Item #4 below.
  - B. Refer to F-a3 through F-a4 included below for “opening” calculations for each elevation.
2. The plight of the landowner is due to circumstances unique to the property not created by the landowner.
  - A. This variance occurred because Sec .66.343 Applicability of Traditional Neighborhood District Design Standards table, pertaining to item (13) ‘Door and window openings’ requires for new commercial and civic buildings, windows and doors or openings shall comprise at least fifty (50) percent of the length and at least thirty (30) percent of the area of the ground floor along arterial and collector street facades. The T4M zoning code applies to various types of building structures such as office, residential, and retail. The Food Pavilion layout can meet these requirements in portions of the building where the façades are directly adjacent to the public areas. Applying the percent of openings to back of house operational areas is impractical to achieve.
  - B. Reference Sheets A-4 and A-5 for elevation views of the Block F Pavilions.
3. The variance will not permit any use that is not allowed in the zoning district in which the property is located.

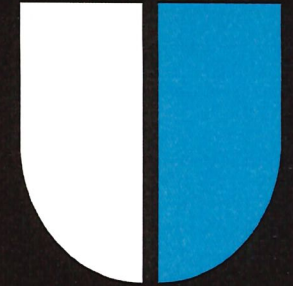
Sec. 66.345. Traditional neighborhood district Master Plan elements (a) Mixed use area. The mixed-use area consists of service and retail commercial uses, workplaces, civic uses, housing, and public open space. It contains the broadest variety of land uses and is intended to function as a center of activity for residents of the entire T3 district and, potentially, surrounding areas. Retail establishments are permitted per approved 2016-5-24 Master Plan which meet the T4M district requirements.
4. The variance will not alter the essential character of the surrounding area.
  - A. The east façade of the F1 (Bldg. B) pavilion with mainly service-related areas behind still provides a safe and secure experience for pedestrians at ground level. The ground floor level

material palette is primarily an artistic mural that enhances the experience of traversing this side of Simpson Street. The building height steps down to 15 feet along this façade and combined with adjacent street trees bring the scale of the building down to a comfortable level. As one travels further south on Simpson Street, the visual excitement of the mural is joined with the opening view toward the stadium. It is in harmony with the general purposes of the zoning code and consistent with the comprehensive plan as it welcomes the pedestrians traveling along this path to the stadium or light rail station.

- B. The single-story food pavilion Block F1 is part and parcel of the phase one mixed use block development, i.e. complementary with blocks B2 and D and the stadium. Collectively, the intent is Phase One development activates and embraces the Great Lawn, the heart of the district, and the ethos of the Midway but also providing the required open space just south of the hotel building. The future phases of development will concentrically build on layers of program which build upon and are servient to the central Great Lawn.
5. The variance is in harmony with the general purposes and intent of the zoning code. As noted above, the current design approach focuses on the pedestrian experience and connectivity to various components of the neighborhood. Connections to the Great Lawn as well as sidewalks along Spruce Tree Drive and Simpson Street allow for free movement to and from the pavilions. The centrally located mews enhances the pedestrian interaction with these two pavilions.
  6. The variance is consistent with the comprehensive plan. The placement of these two pavilions directly adjacent to the Great Lawn and the mews between them is in alignment with the approved master plan. Rather than provide a barrier to those walking along Simpson, the mews invites them into the more intimate entries of the pavilions. Furthermore, the artistic wall murals along Simpson Street enliven the experience for those pedestrians walking to and from the stadium and light rail station.

***Refer to Sheet S-1 (Phase 1 Site Plan) and Sheet S-2 (2016 Master Plan Programming View)***





United Village  
**Block F a & b. ARCHITECTURE**  
Supporting Documents

POPULOUS

2024-03-25

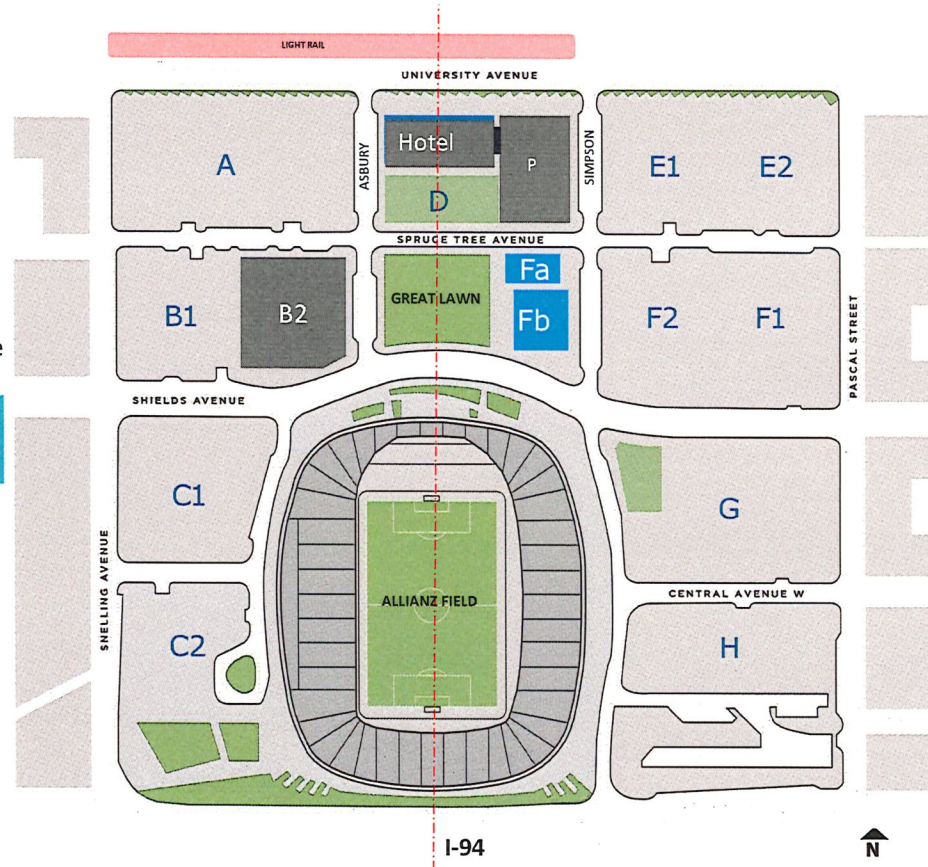


# PHASE 1

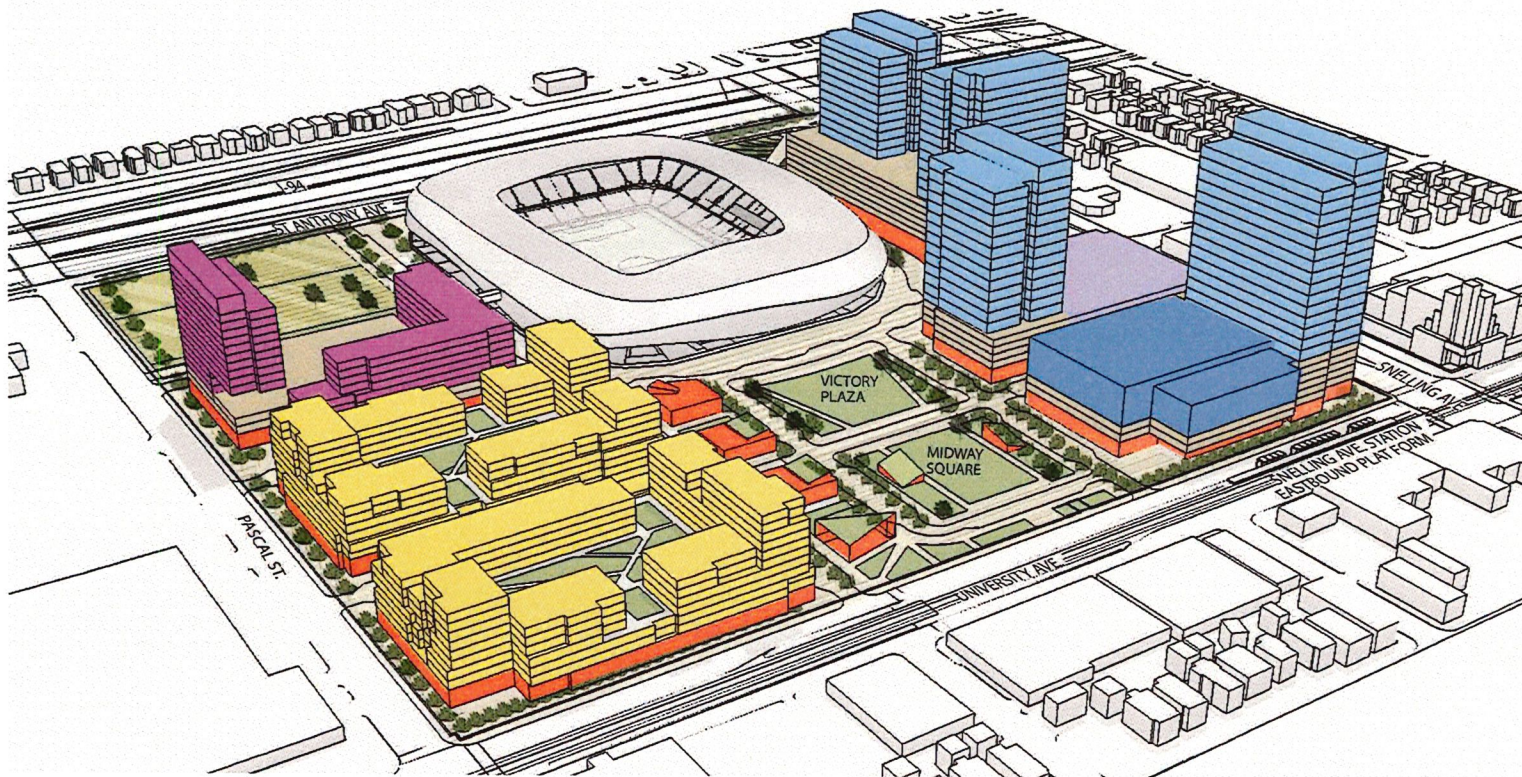
Block D-HOTEL-stay

Block B- B1 Surface parking  
B2 Office/Mixed Use

Block F-Fa Hospitality  
Fb Hospitality



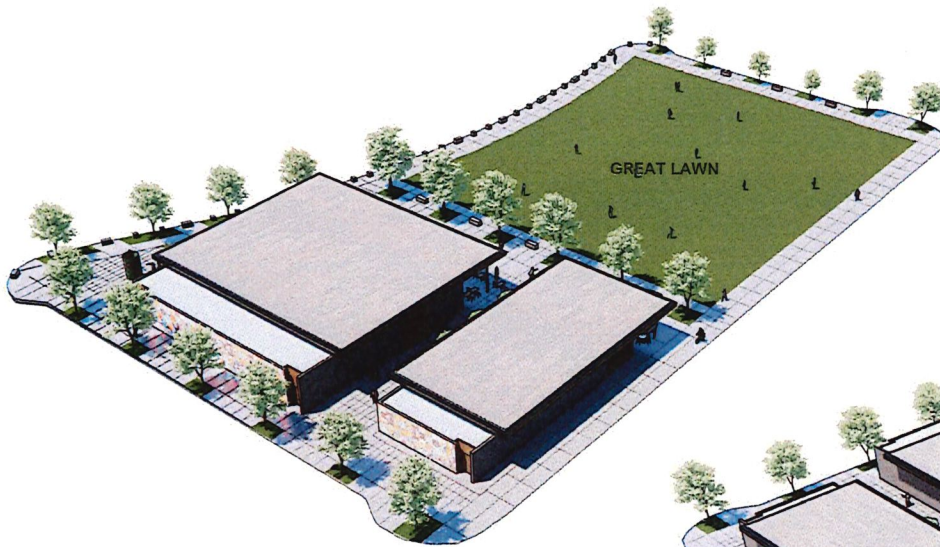




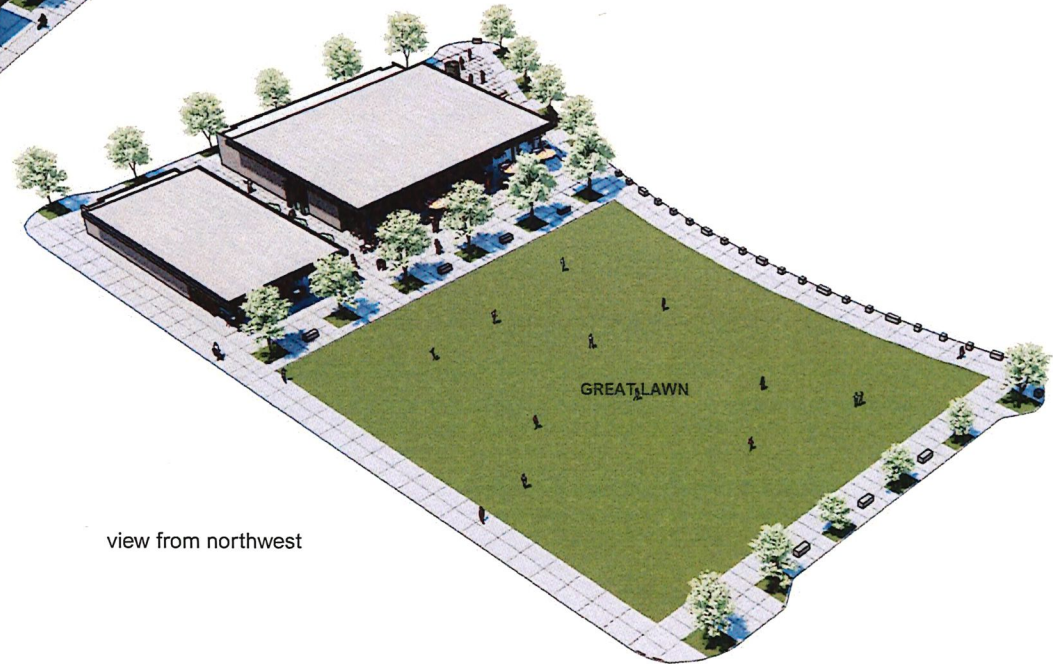
- OFFICE
- RETAIL
- RESIDENTIAL
- HOTEL
- CINEMA
- FITNESS
- SERVICE/PARKING



**BLOCK F EXTERIOR MASSING**



view from northeast

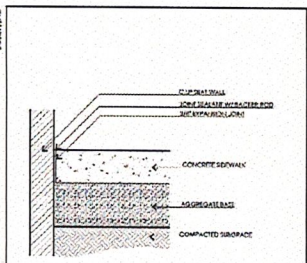


view from northwest

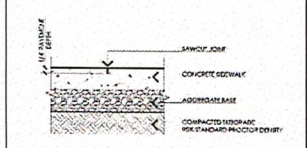
2024-03-25

\*illustration is included for general design intent only, reference site plan application for submission detail.

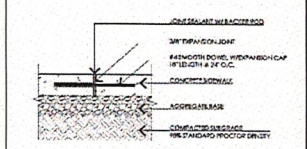




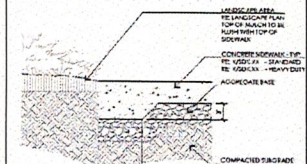
**D** SIDEWALK TO STRUCTURE DETAIL  
SECTION VIEW  
1/4" = 1'



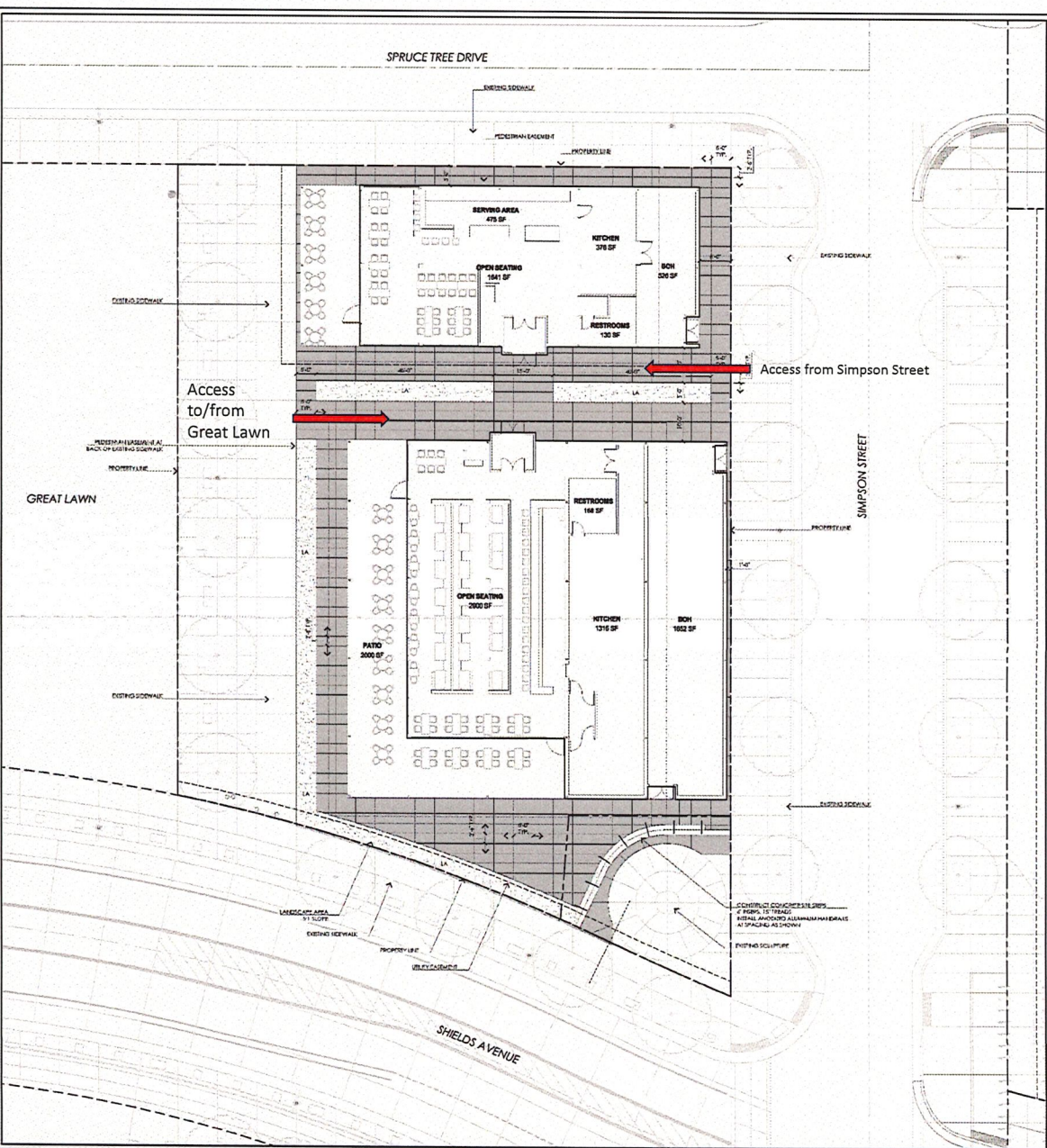
**C** CONCRETE SIDEWALK CONTROL JOINT  
SECTION VIEW  
1/4" = 1'



**B** CONCRETE SIDEWALK EXPANSION JOINT  
SECTION VIEW  
1/4" = 1'



**A** SIDEWALK TO LANDSCAPE BED DETAIL  
SECTION VIEW  
1/4" = 1'



**LEGEND**

- LANDSCAPE AREA OR LANDSCAPING PLANS
- CONCRETE PAVEMENT WITH STANDARD FINISH
- CONCRETE PAVEMENT WITH SAWCUT JOINT
- PROPERTY LINE
- HIGHWAY PROPERTY LINE

**SITE LAYOUT NOTES**

1. THE CONTRACTOR MUST COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS AND ORDINANCES ASSOCIATED WITH THE CONSTRUCTION OF THE AUTO-UMWELT LABORATORY WITH THESE PLANS.
2. THE CONTRACTOR SHALL OBTAIN ALL LOCAL, STATE AND FEDERAL PERMITS NECESSARY FOR THE CONSTRUCTION OF THE AUTO-UMWELT LABORATORY WITH THESE PLANS.
3. ALL ELEVATIONS SHALL NOT BE SHOWN ON THESE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY LOCAL, STATE AND FEDERAL PERMITS AND ORDINANCES NECESSARY FOR THE CONSTRUCTION OF THE AUTO-UMWELT LABORATORY WITH THESE PLANS.
4. THE CONSTRUCTION OF THE AUTO-UMWELT LABORATORY SHALL BE COORDINATED WITH THE DESIGN OF OTHER HANDLED CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WHERE THE WORK OF OTHER CONTRACTORS INTERFERES WITH THE CONSTRUCTION OF THIS AUTO-UMWELT LABORATORY WITH THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE OTHER CONTRACTORS AT THE START OF CONSTRUCTION.
5. THE CONSTRUCTION OF THE AUTO-UMWELT LABORATORY SHALL BE COORDINATED WITH THE DESIGN OF OTHER HANDLED CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WHERE THE WORK OF OTHER CONTRACTORS INTERFERES WITH THE CONSTRUCTION OF THIS AUTO-UMWELT LABORATORY WITH THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE OTHER CONTRACTORS AT THE START OF CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ORDINANCES NECESSARY FOR THE CONSTRUCTION OF THE AUTO-UMWELT LABORATORY WITH THESE PLANS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ORDINANCES NECESSARY FOR THE CONSTRUCTION OF THE AUTO-UMWELT LABORATORY WITH THESE PLANS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ORDINANCES NECESSARY FOR THE CONSTRUCTION OF THE AUTO-UMWELT LABORATORY WITH THESE PLANS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ORDINANCES NECESSARY FOR THE CONSTRUCTION OF THE AUTO-UMWELT LABORATORY WITH THESE PLANS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ORDINANCES NECESSARY FOR THE CONSTRUCTION OF THE AUTO-UMWELT LABORATORY WITH THESE PLANS.

POPULOUS

12115 17th Ave SW, Suite 100  
Seattle, WA 98148  
Phone: (206) 469-3339  
www.populous.com

UNITED VILLAGE  
31 FTOWN RD

**REVISIONS**

NO.	DATE	DESCRIPTION

POPULOUS  
3150 15th Ave SW, Suite 100  
Seattle, WA 98148  
Phone: (206) 469-3339  
www.populous.com

UNITED VILLAGE  
31 FTOWN RD

**REVISIONS**

NO. DATE DESCRIPTION

1. 11/18/2024 POPULOUS  
2. 11/18/2024  
3. 11/18/2024

**BLOCK F SITE LAYOUT PLAN**

SCALE: 1/4" = 1'

SD1-01



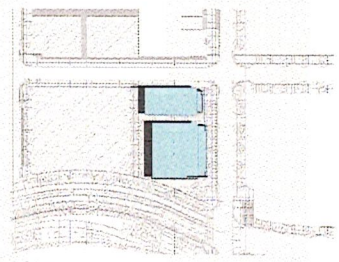




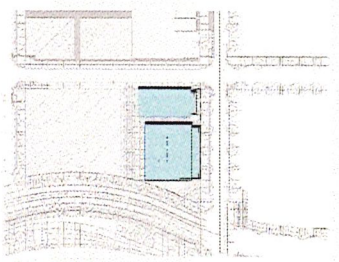


15/05/2024

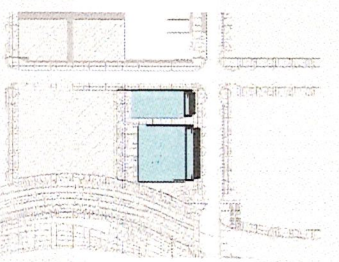
**POPULOUS**  
Architectural Firm  
1234 Main Street  
Anytown, USA  
Phone: (555) 123-4567  
www.populous.com



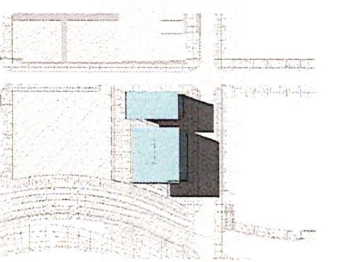
Ⓒ SUMMER SOLSTICE - 8AM



Ⓒ SUMMER SOLSTICE - 12PM

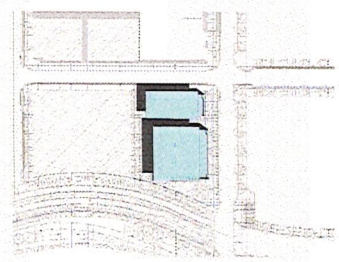


Ⓒ SUMMER SOLSTICE - 3PM

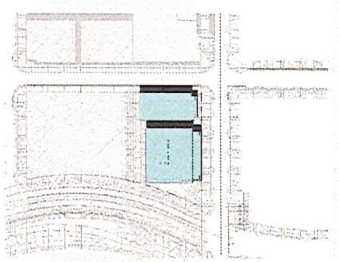


Ⓒ SUMMER SOLSTICE - 6PM

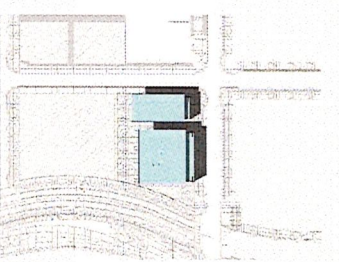
### SUMMER SOLSTICE - 06/20/24



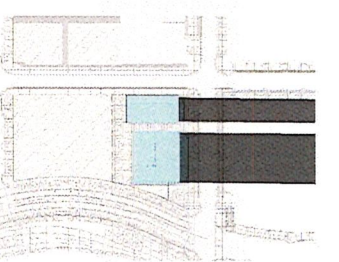
Ⓒ FALL/SPRING EQUINOX - 8AM



Ⓒ FALL/SPRING EQUINOX - 12PM

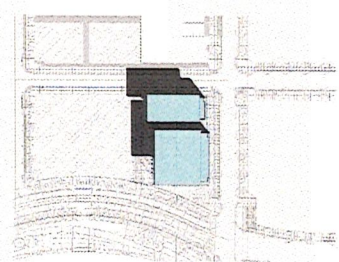


Ⓒ FALL/SPRING EQUINOX - 3PM

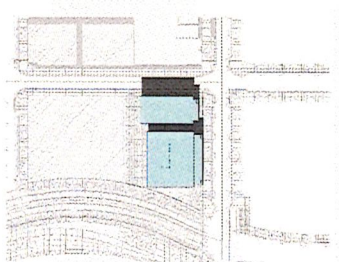


Ⓒ FALL/SPRING EQUINOX - 6PM

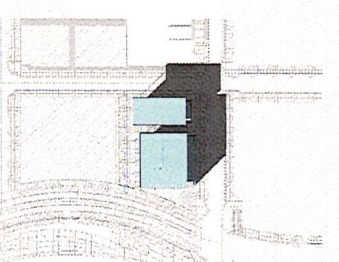
### FALL/SPRING EQUINOX - 09/22/24 - 03/19/2024



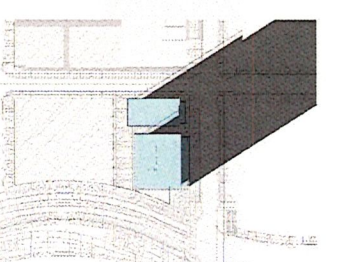
Ⓒ WINTER SOLSTICE - 8AM



Ⓒ WINTER SOLSTICE - 12PM

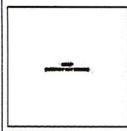


Ⓒ WINTER SOLSTICE - 3PM



Ⓒ WINTER SOLSTICE - 6PM

### WINTER SOLSTICE - 12/21/24



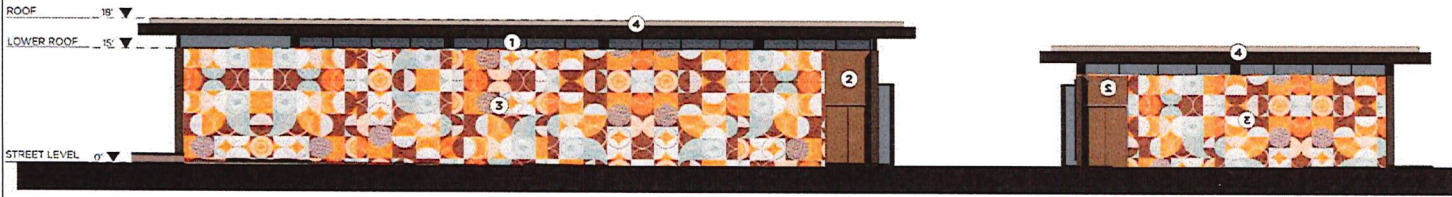
S.N.	DATE	REVISION

PROJECT: UNITED VILLAGE BLOCK 'P' - RESTAURANT PAVILIONS

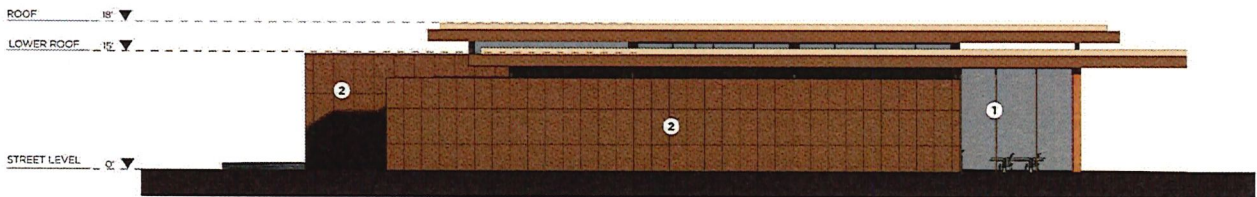
ARCHITECT: POPULOUS

DATE: 07/2024	DATE: 07/2024
BY: JSM	BY: JSM
CHECKED: JSM	CHECKED: JSM
DATE: 07/2024	DATE: 07/2024

SCALE: AS SHOWN



2 EAST ELEVATION  
3/16" = 1'



1 NORTH ELEVATION  
3/16" = 1'

- NOTES**
- KEY FINISHES**
- 1 Insulated Glass Sash/Chert
  - 2 Cop Void Panel
  - 3 Overlaid Porcelain Tiles
  - 4 Glass Mural/Art Wall
  - 5 Aluminum Sash/Net Girth/Purport System

**POPULOUS**

Architectural Firm  
 1234 Main Street  
 Suite 500  
 San Francisco, CA 94102  
 Phone: (415) 555-1234  
 Email: info@populous.com  
 Website: www.populous.com

NO.	DATE	DESCRIPTION

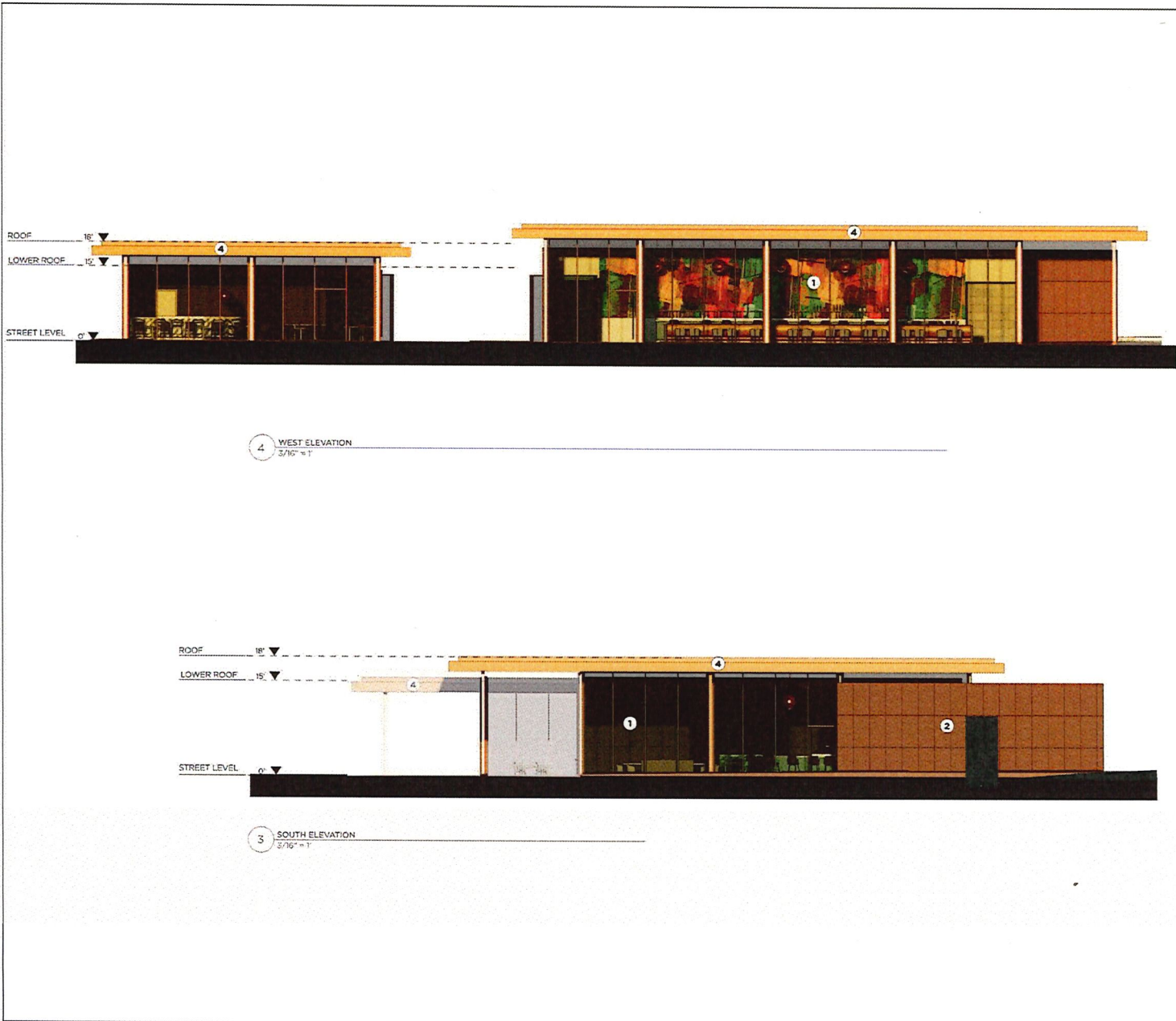
FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

PROJECT: UNITED VILLAGE  
 3500K P1 - RESTAURANT  
 PAVILIONS

DATE: 07/2024	DRAWN: POPULOUS
PROJECT: 23.0912	SCALE: E1
TITLE: ELEVATIONS	
DIRECTION: EAST	
	NORTH

*Handwritten initials*





**NOTES**

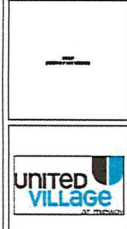
**KEY FINISHES**

- 1 Insulated Glass System
- 2 CMU Wall Panel
- 3 Overhead Pendant Truss
- 4 Glass Muntin/Air Wall
- 5 Aluminum Shaded Slat/Parapet System

**POPULOUS**

**POPULOUS**  
ARCHITECTS  
1111 E. WASHINGTON AVENUE, SUITE 1000  
DENVER, CO 80218  
TEL: 303.733.4000  
WWW.POPULOUSARCH.COM

NO.	DESCRIPTION	DATE



NO.	DESCRIPTION	DATE

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

PROJECT NAME: UNITED VILLAGE  
BLOCK #1 - RESTAURANT PAVILIONS

ARCHITECT: POPULOUS ARCHITECTS

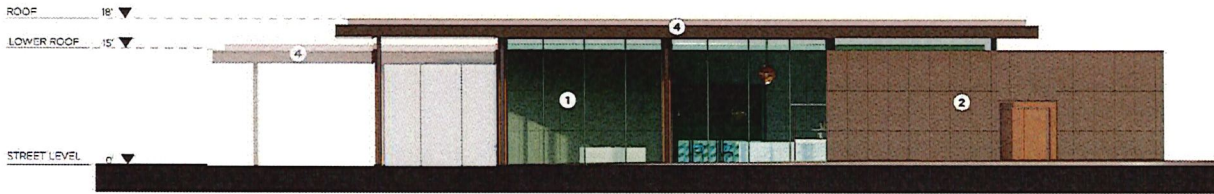
DATE: 02.15.12

ELEVATIONS:  
- WEST  
- SOUTH

A-5



4 WEST ELEVATION  
3/16" = 1'



3 SOUTH ELEVATION  
3/16" = 1'

- NOTES**
- KEY FINISHES**
- 1) Insulated Glass Sashport
  - 2) CP Wall Panel
  - 3) Overcast Porcelain Tile
  - 4) Glass Muntins/IG Wall
  - 5) Aluminum Clamshell Sashes/
  - 6) Pulaski System

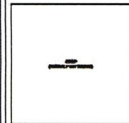
**POPULOUS**  
ARCHITECTS

8000 West River Road  
Denver, Colorado 80231  
Tel: 303.755.1500  
Fax: 303.755.1501  
www.populous.com

PROJECT NO: 09/01024  
DRAWING NO: 24.012

DATE: 01.11.09

SCALE: 3/16" = 1'



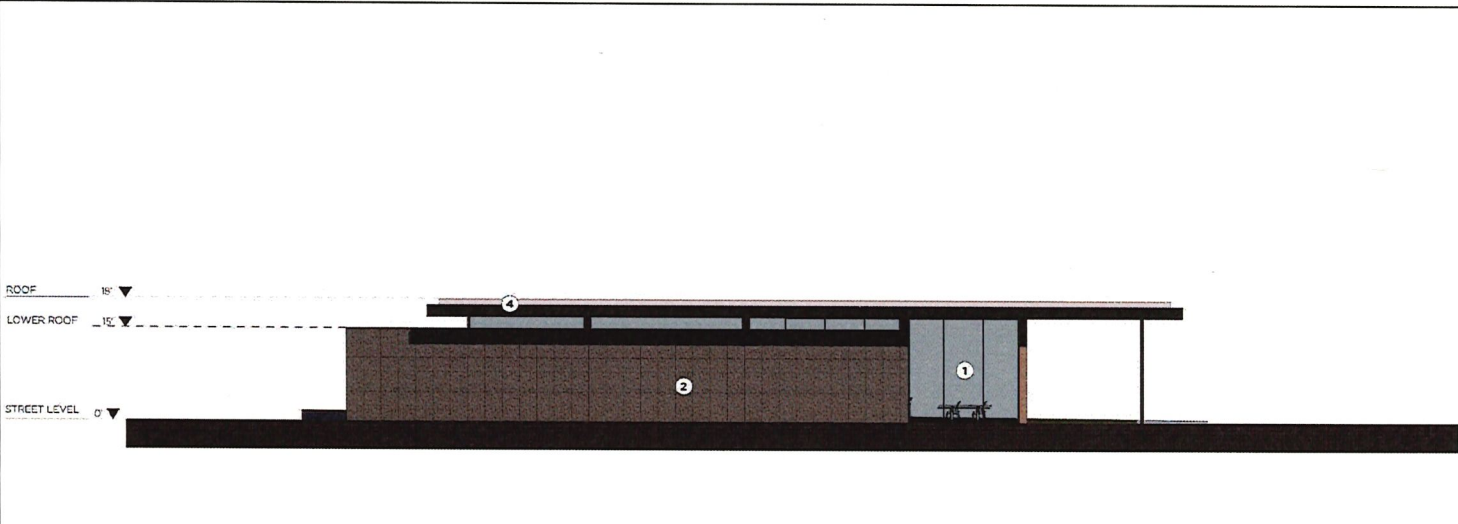
NO.	DATE	DESCRIPTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

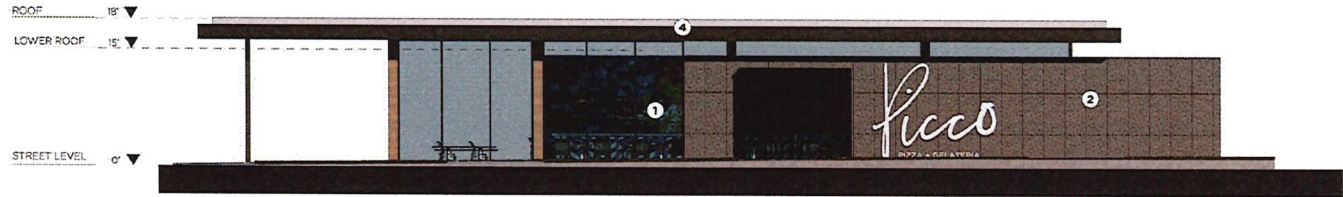
**UNITED VILLAGE  
BLOCK 11 - RESTAURANT  
PAVILIONS**

DESIGNED BY: POPULOUS  
DATE: 01.11.09  
SCALE: 3/16" = 1'

A-5



4 NORTH ELEVATION - FIR  
2/16" = 1'



3 SOUTH ELEVATION - FIA  
2/16" = 1'

**NOTES**  
**KEY FINISHES**

- 1) Insulated Glass Corefront
- 2) CP Wall Panel
- 3) Cast-in-Place Concrete
- 4) Aluminum Sash/Drainage System

**POPULOUS**

NO.	DESCRIPTION	QUANTITY	UNIT

NO.	DESCRIPTION	QUANTITY	UNIT



NO.	DESCRIPTION	QUANTITY	UNIT

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

**UNITED VILLAGE**  
**BLOCK P1 - RESTAURANT**  
**PAVILIONS**

DATE	BY	REVISION

**ELEVATIONS**  
- WEST  
- SOUTH



**BLOCK F** Perspective Fa&b- ALONG PEDESTRIAN WAY – WEST  
ELEVATION



2024-03-25

\*illustration is included for general design intent only, reference site plan application for submission detail.



**BLOCK F** Perspective Fb- ALONG PEDESTRIAN WAY – WEST ELEVATION



2024-03-25

\*illustration is included for general design intent only, reference site plan application for submission detail.



**BLOCK F** Perspective – MEWS BETWEEN Fa&B



2024-03-25

\*illustration is included for general design intent only, reference site plan application for submission detail.





POPULOUS



# United Village

# **DOORS AND OPENINGS DIAGRAMS**

Supporting Documents

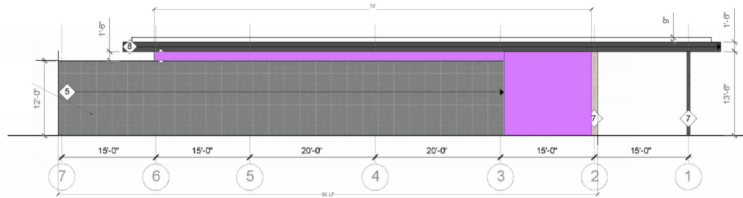
1. Elevation diagrams
2. Percentage of openings

**POPULOUS**



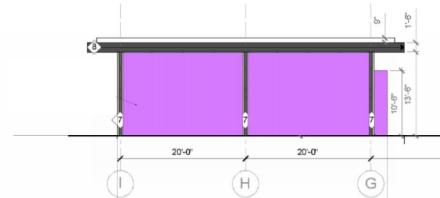
Block F BLDG. A NORTH

- METHODS  
 1. 19.6%  
 2. 19.6%  
 3. 71%



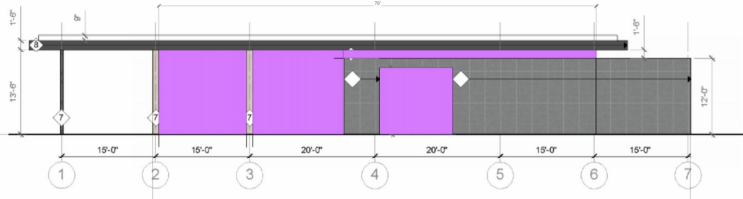
F1 A - North Elevation

- METHODS  
 1. 79.7%  
 2. 79.7%  
 3. 93%



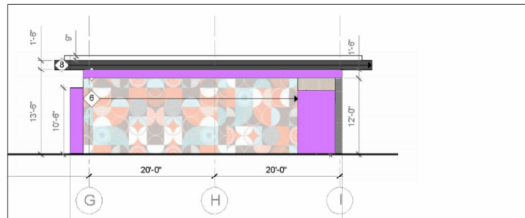
F1 A - West Elevation

- METHODS  
 1. 38.6%  
 2. 38.6%  
 3. 71%



F1 A - South Elevation

- METHODS  
 1. 22.3%  
 2. 22.3%  
 3. 93%



F1 A - East Elevation

FACADE OPENINGS (DOORS) AND WINDOWS PER ELEVATION

BLOCK F **A**

3/25/2024

Comprehensive Façade METHOD 1 - 63.110 (B)										
	WEST	SF	NORTH	SF	EAST	SF	SOUTH	SF	TARGET	
General building design standards. For principal buildings ... above grade window and door openings shall comprise at least fifteen (15) percent of the total area of exterior walls facing a public street or sidewalk.										
	Entire Façade	665	Entire Façade	1462	Entire Façade	665	Entire Façade	1462		
<b>overall method</b>	Entire Glazed	530	Entire Glazed	286	Entire Glazed	148	Entire Glazed	564		
	proportion glazed	79.7%	proportion glazed	19.6%	proportion glazed	22.3%	proportion glazed	38.6%	<b>15%</b>	
REQUIRED										zoning
SHORTFALL									0	
Building base Area METHOD 2 - Resolution 3										
	WEST	SF	NORTH	SF	EAST	SF	SOUTH	SF	TARGET	
All new commercial and civic buildings shall have window and door openings and at least 30 percent of the area around the ground floor along arterial, collector, and/or local street facades.										
	Base Façade	665	Base Façade	1462	Base Façade	665	Base Façade	1462		
<b>entire façade for single story</b>	Base Glazed	530	Base Glazed	286	Base Glazed	148	Base Glazed	564		
	proportion glazed	79.7%	proportion glazed	19.6%	proportion glazed	22.3%	proportion glazed	38.6%	<b>30%</b>	
REQUIRED				439		200				zoning
SHORTFALL				153		52				
Linear distribution along street METHOD 3 - Resolution 3										
	WEST	LF	NORTH	LF	EAST	LF	SOUTH	LF	TARGET	
All new commercial and civic buildings shall have window and door openings that comprise at least 50 percent of the length along ground floor										
	Linear portion	43 LF	Linear portion	100	Linear portion	43 LF	Linear portion	100 LF		
<b>linear method for entire façade</b>	Storefront	40 LF	Storefront	71	Storefront	40 LF	Storefront	71 LF		
	proportion glazed	93.0%	proportion glazed	71.0%	proportion glazed	93.0%	proportion glazed	71.0%	<b>50%</b>	
REQUIRED										zoning
SHORTFALL									0	

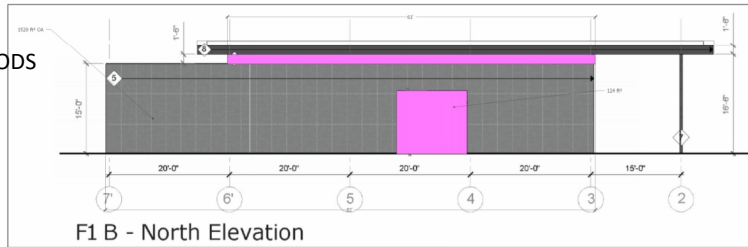
= DOOR AND WINDOW OPENING SHORTFALL

2024-03-25

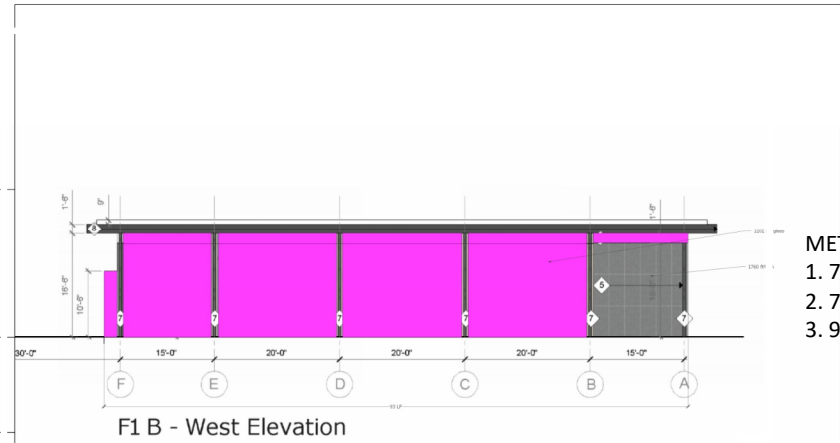
**DOORS AND WINDOWS – AREA PER METHOD**

Block F BLDG. B SOUTH

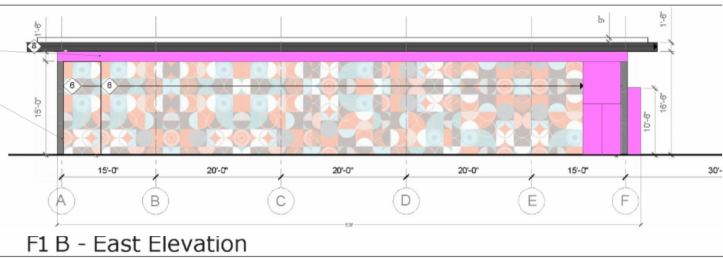
- METHODS
1. 15%
  2. 15%
  3. 61%



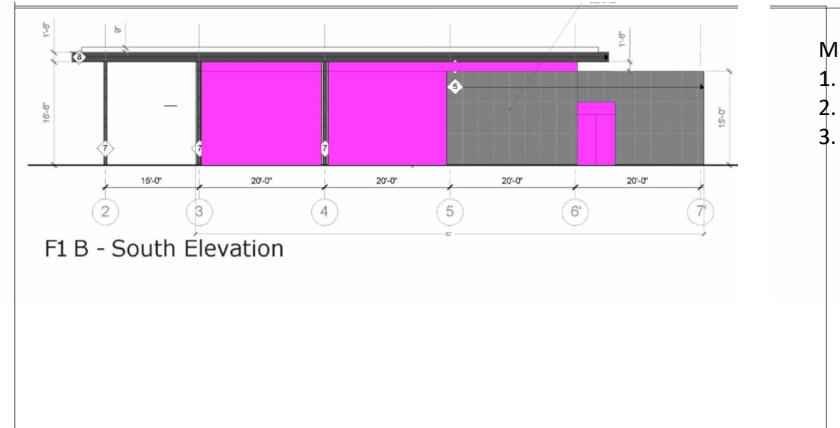
- METHODS
1. 70.9%
  2. 70.9%
  3. 9.2%



- METHODS
1. 15.1%
  2. 15.1%
  3. 92%



- METHODS
1. 49.2%
  2. 49.2%
  3. 67%



= DOORS OR WINDOWS.

= % OF OPENING WHERE SHORT FALL.

FAÇADE OPENINGS (DOORS) AND WINDOWS PER ELEVATION

BLOCK F **B**

3/25/2024

Comprehensive Façade METHOD 1 - 63.110 (B)									
	WEST	SF	NORTH	SF	EAST	SF	SOUTH	SF	TARGET
General building design standards. For principal buildings ... above grade window and door openings shall comprise at least fifteen (15) percent of the total area of exterior walls facing a public street or sidewalk.	Entire Façade	1650	Entire Façade	1440	Entire Façade	1650	Entire Façade	1440	
<b>overall method</b>	Entire Glazed	1170	Entire Glazed	216	Entire Glazed	249	Entire Glazed	708	
	proportion glazed	70.9%	proportion glazed	15.0%	proportion glazed	15.1%	proportion glazed	49.2%	15%
REQUIRED SHORTFALL									zoning
Building base Area METHOD 2 - Resolution 3									
	WEST	SF	NORTH	SF	EAST	SF	SOUTH	SF	TARGET
All new commercial and civic buildings shall have window and door openings and at least 30 percent of the area around the ground floor along arterial, collector, and/or local street facades.	Base Façade	1650	Base Façade	1440	Base Façade	1650	Base Façade	1440	
<b>entire façade for single story</b>	Base Glazed	1170	Base Glazed	216	Base Glazed	249	Base Glazed	708	
	proportion glazed	70.9%	proportion glazed	15.0%	proportion glazed	15.1%	proportion glazed	49.2%	30%
REQUIRED SHORTFALL				N/A		495		246	zoning
Linear distribution along street METHOD 3 - Resolution 3									
	WEST	LF	NORTH	LF	EAST	LF	SOUTH	LF	TARGET
All new commercial and civic buildings shall have window and door openings that comprise at least 50 percent of the length along ground floor	Linear portion	100 LF	Linear portion	100	Linear portion	100 LF	Linear portion	100 LF	
<b>linear method for entire façade</b>	Storefront	92 LF	Storefront	61	Storefront	92 LF	Storefront	67 LF	
	proportion glazed	92.0%	proportion glazed	61.0%	proportion glazed	92.0%	proportion glazed	67.0%	50%
REQUIRED SHORTFALL									zoning

= DOOR AND WINDOW OPENING SHORTFALL



POPULOUS

# United VILLAGE MASTERPLAN PHASE 1

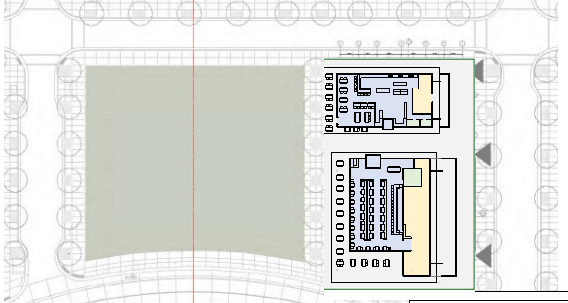
## BLOCK F1: RESTAURANT PAVILION MURALS



WEST ELEVATION



EAST ELEVATION - THE PAVILION MEVS



GREAT LAWN PLAN

EAST ELEVATION - SIMPSON STREET

