

Hamm's Redevelopment

Housing and Redevelopment Authority
May 1, 2024

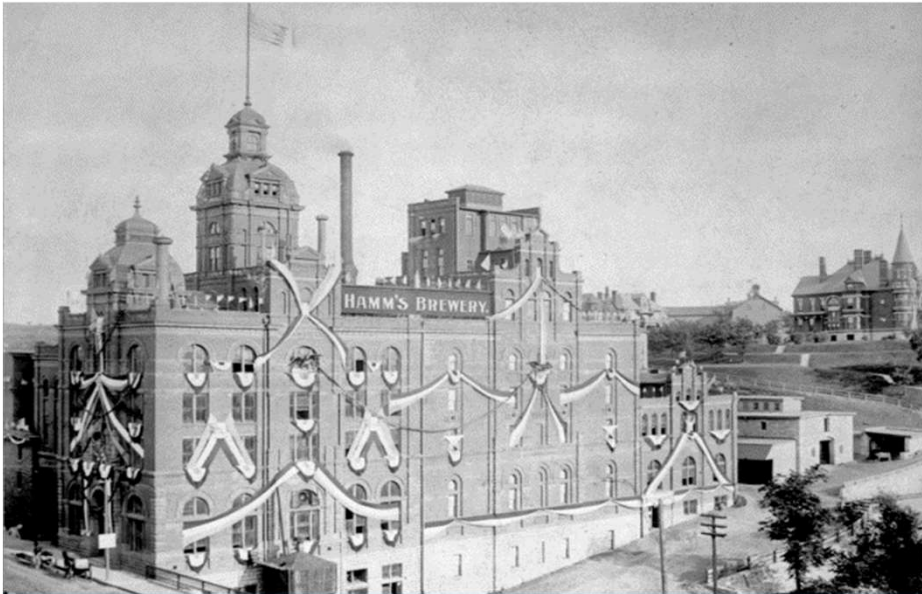


SAINT PAUL
MINNESOTA

STPAUL.GOV



Theodore Hamm's Brewing Company, 1865



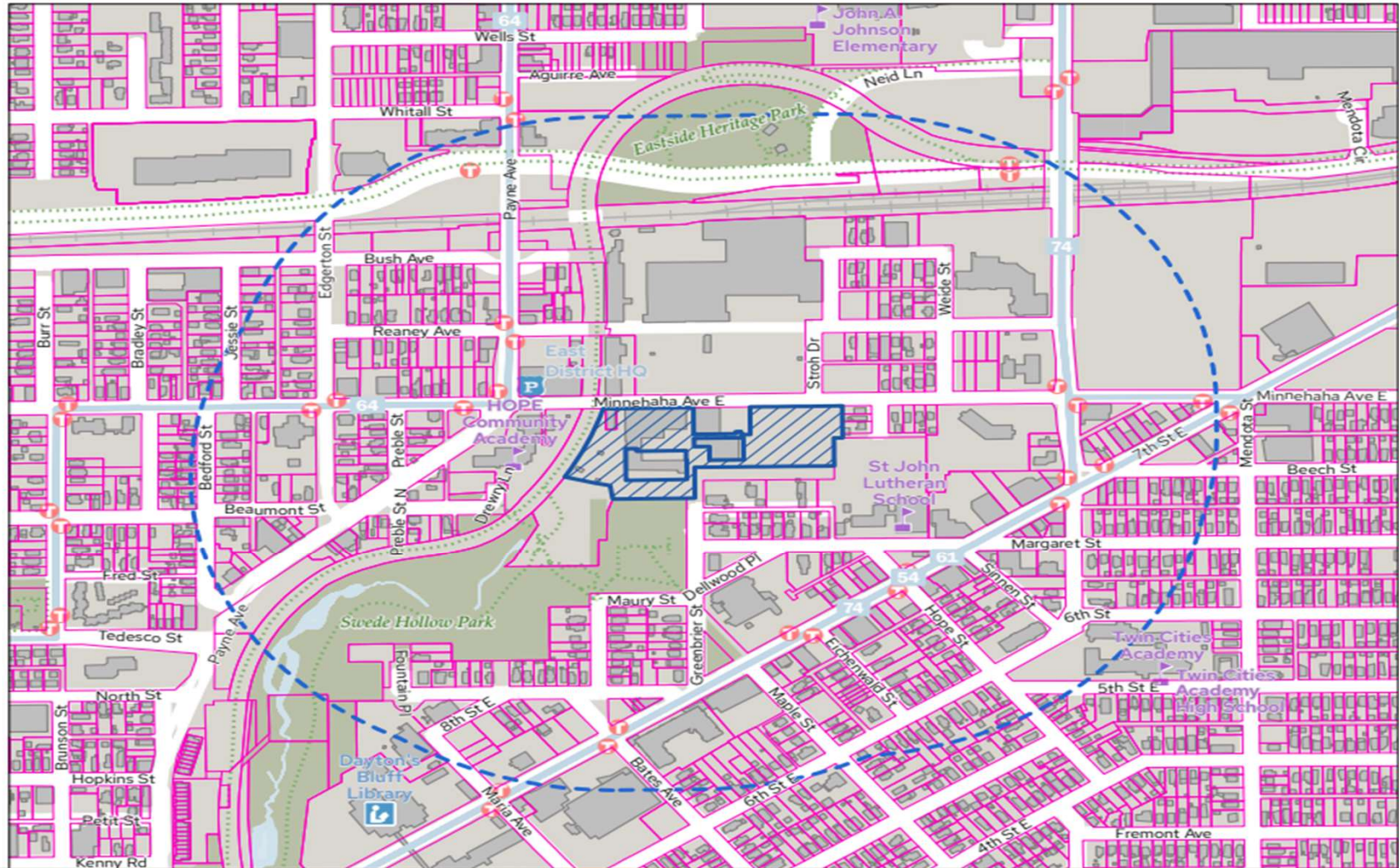
Brewery, c.1900



Hamm's Brewery, from Swede Hollow, c. 1900

Hamm's HRA Redevelopment Site

HRA Board Report Map





HRA Acquisition

- In 2003, the HRA acquired the 8.7-acre Hamm's brewery complex south of Minnehaha to expand Swede Hollow Park and to facilitate redevelopment of the site.
- [HammsSite_20210929_4m46s.mp4 \(sharepoint.com\)](#)

Brewhouse interior





Previous Redevelopment on the Site

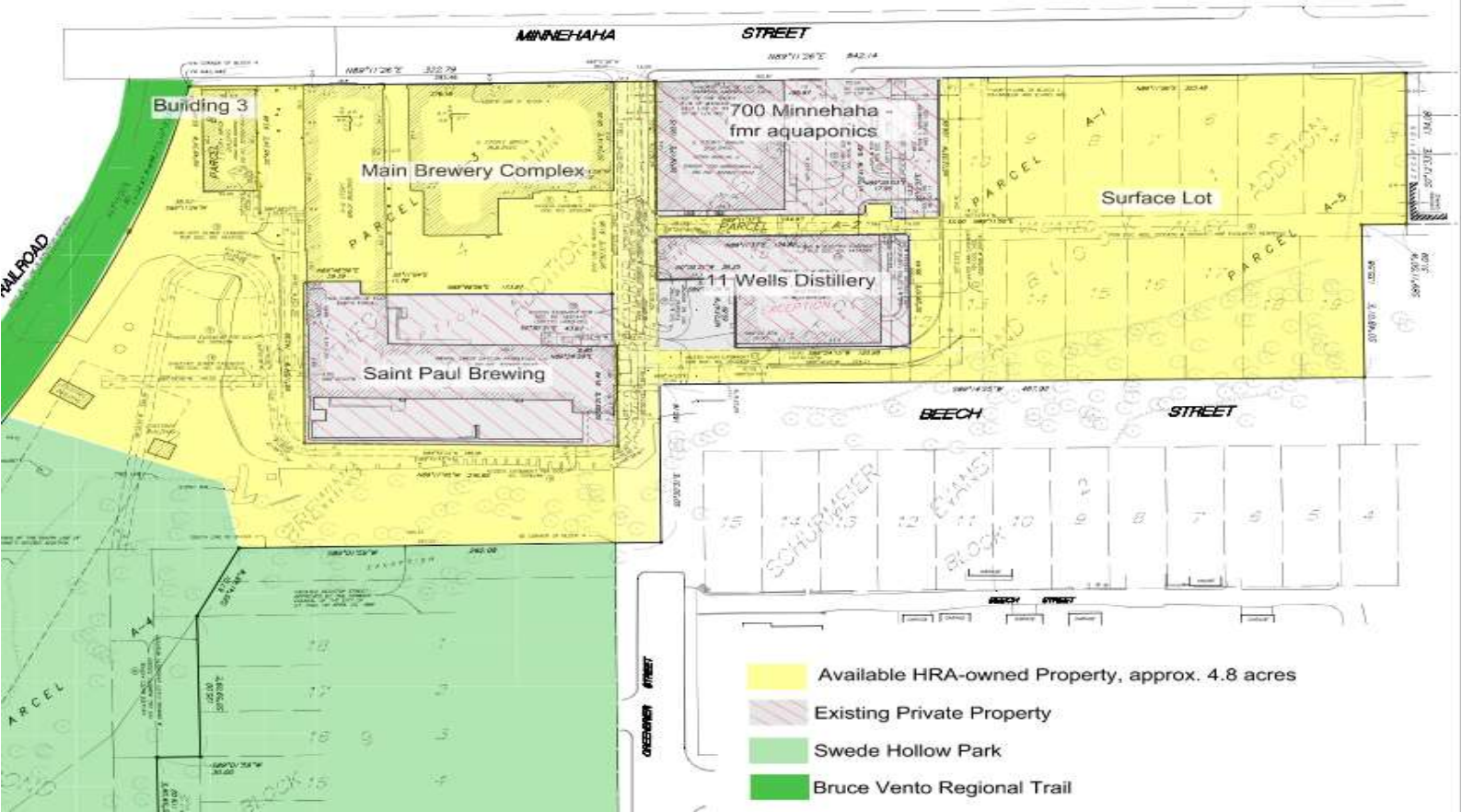
2014 The HRA sold the 700 Minnehaha building to Urban Organics. 700Fish LLC purchased it in 2022.

2016 HRA sold 688 Minnehaha building to Swede Dayton Properties/Flat Earth Brewing, now operated as St. Paul Brewing

2017 HRA sold 704 Minnehaha to 11 W Realco, operating as 11 Wells Spirits



HRA Hamm's Property





2021 RFP Reflected Community Plans and Goals

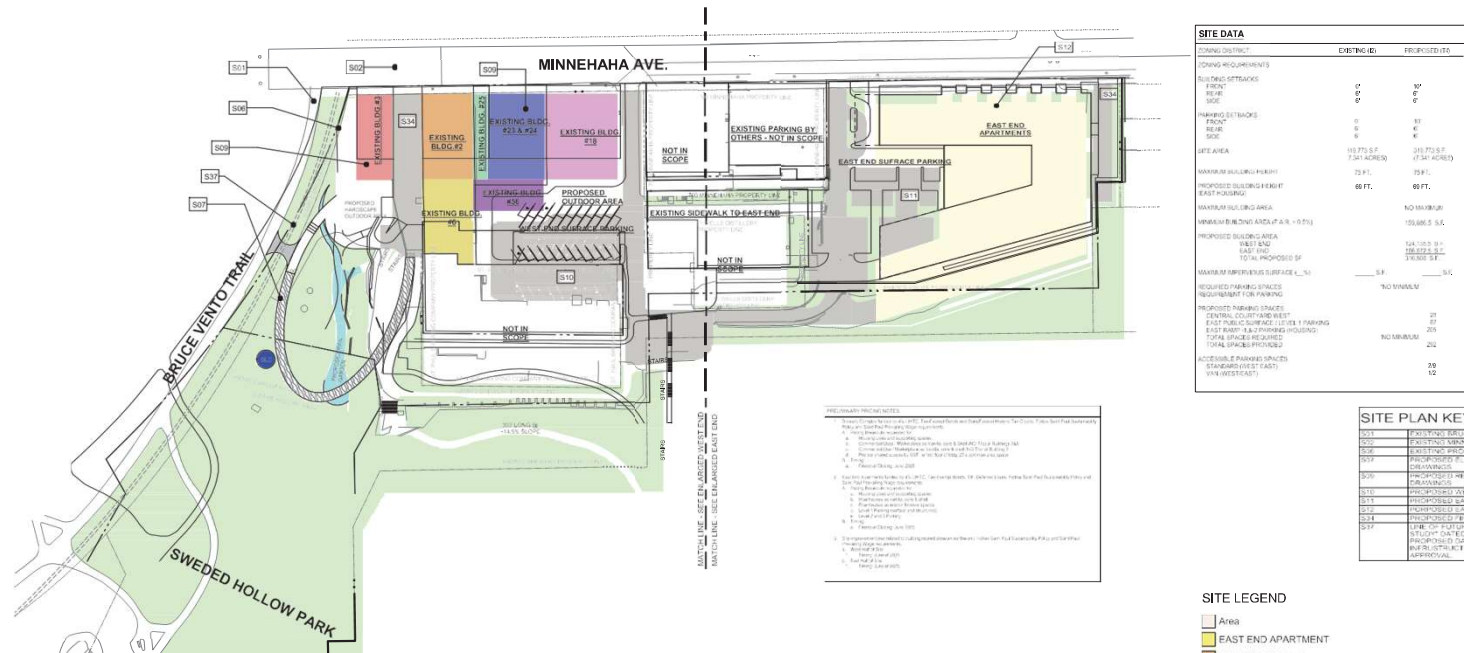
- Community participation and engagement in the development process
- Catalytic and transformative development
- Equity and Community benefits
- Mix of uses, affordable housing, wealth building opportunities
- Connectivity
- Historic Preservation



HRA Recommendation: JB Vang Proposal (Jan 11, 2023)



- Committed to equitable outcomes
- Large number and mix of affordable housing types
- Mix of uses
- Ownership opportunities
- Experienced team
- Creates community spaces
- Historic renovation of Brewery



SITE DATA		EXISTING (SQ FT)	PROPOSED (SQ FT)
LOADING REQUIREMENTS			
BUILDING SETBACKS			
FRONT	0'	0'	0'
REAR	0'	0'	0'
SIDE	0'	0'	0'
PARKING SETBACKS			
FRONT	0'	0'	0'
REAR	0'	0'	0'
SIDE	0'	0'	0'
NET AREA	103,773 SQ FT (7.341 ACRES)	110,773 SQ FT (7.347 ACRES)	
MAXIMUM BUILDING HEIGHT	73 FT.	73 FT.	
PROPOSED BUILDING HEIGHT	60 FT.	60 FT.	
MAXIMUM BUILDING AREA		NO MAXIMUM	
MAXIMUM BUILDING AREA (A.P.R. = 0.71)		15,886.5 SQ FT	
PROPOSED BUILDING AREA	158,100 SQ FT TO BE PROPOSED SF	158,100 SQ FT 158,100 SQ FT 158,100 SQ FT	
MAXIMUM IMPERVIOUS SURFACE (%)	5%	5%	
REQUIRED PARKING SPACES	NO MINIMUM	NO MINIMUM	
REQUIRED PARKING SPACES			
REQUIRED FOR PARKING			
PROPOSED PARKING SPACES			
CENTRAL COURTYARD WEST	21	21	
EAST PUBLIC SQUARE (LEVEL 1) PARKING	87	87	
EAST BAMP - ALL PARKING HOLDING	NO MINIMUM	205	
TOTAL SPACES REQUIRED		213	
TOTAL SPACES PROVIDED		213	
ACCESSIBLE PARKING SPACES		20	
STANDARD (WEST/EAST)		12	
MIN (WEST/EAST)		8	

PRELIMINARY NOTES

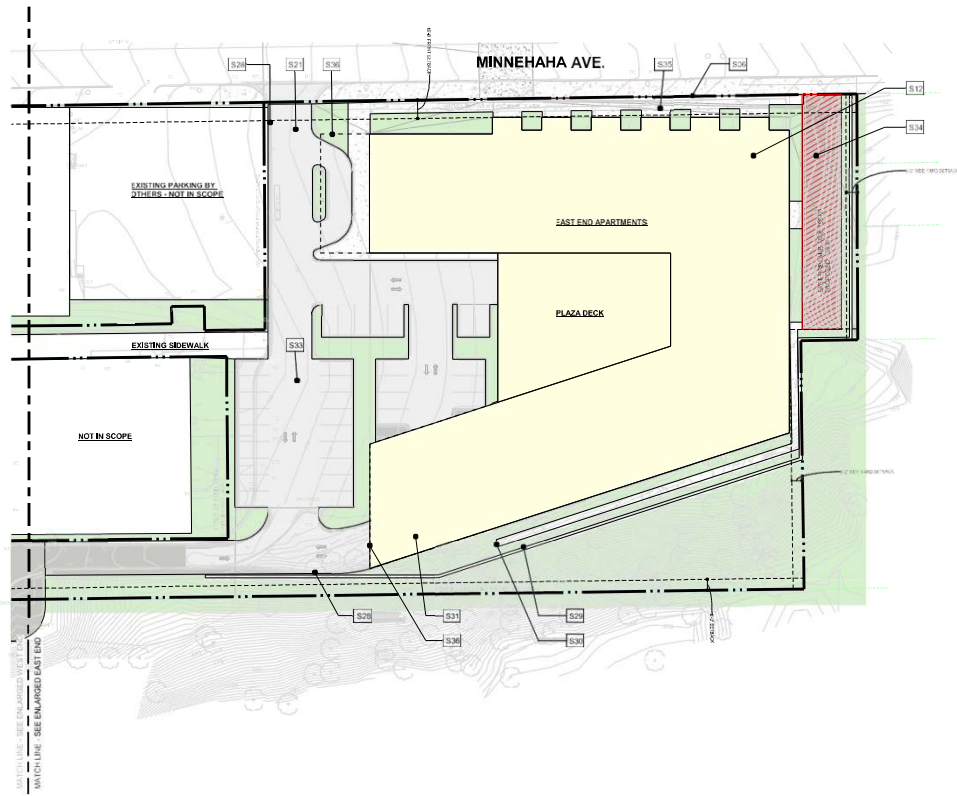
1. All dimensions are in feet unless otherwise noted. The Civil, Trade, and Mechanical Notes apply to this drawing.
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SITE PLAN KEYED NOTES	
S01	EXISTING BRIDGE OVER SWED HOLLOW
S02	EXISTING MINNEHAHA AVE. STREET & BRIDGE
S03	EXISTING PROPERTY LINE
S04	PROPOSED 10' WIDENED PEDESTRIAN WALKWAY - SEE LANDSCAPE AND CIVIL DRAWINGS
S05	PROPOSED 10' WIDENED PEDESTRIAN WALKWAY - SEE LANDSCAPE AND CIVIL DRAWINGS
S06	PROPOSED 10' WIDENED PEDESTRIAN WALKWAY - SEE LANDSCAPE AND CIVIL DRAWINGS
S07	PROPOSED 10' WIDENED PEDESTRIAN WALKWAY - SEE LANDSCAPE AND CIVIL DRAWINGS
S08	PROPOSED 10' WIDENED PEDESTRIAN WALKWAY - SEE LANDSCAPE AND CIVIL DRAWINGS
S09	PROPOSED 10' WIDENED PEDESTRIAN WALKWAY - SEE LANDSCAPE AND CIVIL DRAWINGS
S10	PROPOSED 10' WIDENED PEDESTRIAN WALKWAY - SEE LANDSCAPE AND CIVIL DRAWINGS
S11	PROPOSED 10' WIDENED PEDESTRIAN WALKWAY - SEE LANDSCAPE AND CIVIL DRAWINGS
S12	PROPOSED 10' WIDENED PEDESTRIAN WALKWAY - SEE LANDSCAPE AND CIVIL DRAWINGS
S13	PROPOSED 10' WIDENED PEDESTRIAN WALKWAY - SEE LANDSCAPE AND CIVIL DRAWINGS
S14	PROPOSED 10' WIDENED PEDESTRIAN WALKWAY - SEE LANDSCAPE AND CIVIL DRAWINGS
S15	LINE OF FUTURE DRAINAGE PER SWED HOLLOW CREEK FEASIBILITY STUDY DATED 12/13 BY RESURFACE RESOURCES. CONNECTION FROM PROPOSED DRAINAGE TO EXISTING STORMWATER MANHOLE/INLET STRUCTURE IS FEASIBLE SUBJECT TO COMMUNITY STRATEGIC APPROVAL.

- SITE LEGEND**
- Area
 - EAST END APARTMENT
 - EXISTING BLDG. 2
 - EXISTING BLDG. 6
 - EXISTING BLDG. 18
 - EXISTING BLDG. 23 & 24
 - EXISTING BLDG. 25
 - EXISTING BLDG. 26
 - GREEN SPACE
 - NOT IN SCOPE
 - PAVING
 - PEDESTRIAN
 - STORMWATER

SITE PLAN OVERALL
1" = 40'-0"





SITE DATA		EXISTING (0)	PROPOSED (1)
ZONING DISTRICT			
ZONING REQUIREMENTS			
BUILDING SETBACKS			
FRONT	0'	10'	
REAR	0'	0'	
SIDE	0'	0'	
PARKING SETBACKS			
FRONT	0'	10'	
REAR	0'	0'	
SIDE	0'	0'	
SITE AREA	310,773 S.F. (7.141 ACRES)	310,773 S.F. (7.141 ACRES)	
MAXIMUM BUILDING HEIGHT	75 FT.	75 FT.	
PROPOSED BUILDING HEIGHT EAST END ONLY	69 FT.	69 FT.	
MAXIMUM BUILDING AREA		10,000,000	
MAXIMUM BUILDING AREA (F.A.R. = 3.5%)		15,066,5 S.F.	
PROPOSED BUILDING AREA			
WEST END		121,153.3 S.F.	
EAST END		28,872.3 S.F.	
TOTAL PROPOSED SF		150,025.6 S.F.	
MAXIMUM IMPERVIOUS SURFACE L ₁₄			5.9%
REQUIRED PARKING SPACES REQUIREMENT FOR PARKING			NO MINIMUM
PROPOSED PARKING SPACES			
CENTRAL COURTYARD WEST			28
EAST PUBLIC SURFACE LEVEL 1 PARKING			87
EAST RAMP - ALL PARKING HOLDING			205
TOTAL SPACES PROVIDED			320
TOTAL SPACES REQUIRED			NO MINIMUM
ACCESSIBLE PARKING SPACES			29
STANDARD (MET'S EAST)			29
MINI (WEST END)			0

SITE PLAN KEYED NOTES	
S26	EXISTING PROPERTY LINE
S27	PROPOSED EAST END WORKING - SEE EAST END CHANGES
S28	PROPOSED IMPERVIOUS SURFACE FOR VEHICLE PARKING
S29	PROPOSED EAST END PARKING SOURCE
S30	PROPOSED CURTAIN WALL
S31	PROPOSED EAST END APARTMENT LEVEL 1 PARKING HOLDING
S32	PROPOSED EAST END APARTMENT SURFACE PARKING
S33	PROPOSED OFFICE LAMP ACCESS
S34	PROPOSED SIDEWALK - SEE TRAVEL
S35	EDGE OF BUILDING - SHOWS POLARITY

SITE LEGEND	
[Yellow Box]	EAST END APARTMENT
[Green Box]	GREEN SPACE
[White Box]	NOT IN SCOPE
[Grey Box]	PAVING
[White Box with Dashed Border]	PEDESTRIAN

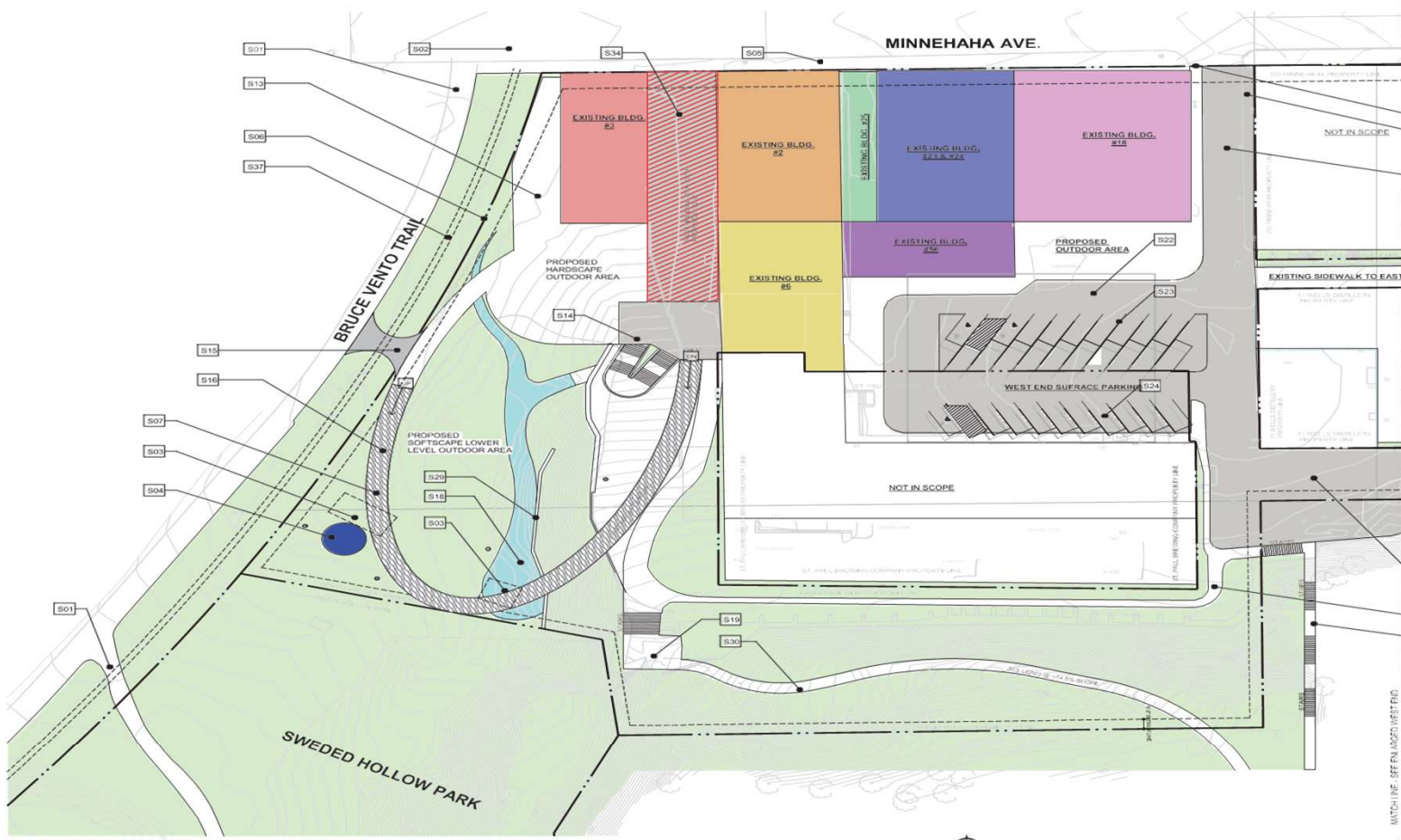
1 ENLARGED EAST END SITE PLAN
1" = 20'-0"



JB VANG - HAMM'S BREWERY - SITE | ENLARGED EAST END SITE PLAN

ST. PAUL, MN | 08/09/23 | 41815 - 21235A
PHASE 1A - PRE-DESIGN / NOT FOR CONSTRUCTION



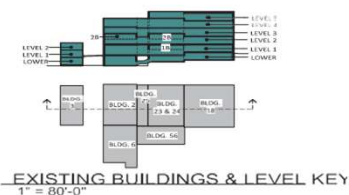


SITE LEGEND

- Area
- EXISTING BLDG. 2
- EXISTING BLDG. 3
- EXISTING BLDG. 6
- EXISTING BLDG. 18
- EXISTING BLDG. 23 & 24
- EXISTING BLDG. 25
- EXISTING BLDG. 56
- GREEN SPACE
- NOT IN SCOPE
- PAVING
- PEDESTRIAN
- STORMWATER

SITE PLAN KEYED NOTES

S01	EXISTING BRUCE VENTO TRAIL
S02	EXISTING BRUCE VENTO TRAIL SIDEWALK
S03	EXISTING SIDEWALK TO SW BRIDGE
S04	EXISTING SIDEWALK TO SW BRIDGE
S05	EXISTING SIDEWALK
S06	EXISTING SIDEWALK
S07	EXISTING SIDEWALK
S08	EXISTING SIDEWALK
S09	EXISTING SIDEWALK
S10	EXISTING SIDEWALK
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S22	EXISTING SIDEWALK
S23	EXISTING SIDEWALK
S24	EXISTING SIDEWALK
S25	EXISTING SIDEWALK
S26	EXISTING SIDEWALK
S27	EXISTING SIDEWALK



ENLARGED WEST END SITE PLAN
1" = 20'-0"



JB VANG - HAMM'S BREWERY - SITE | ENLARGED WEST END SITE PLAN
ST. PAUL, MN | 08/11/23 | 41815 - 21235A
PHASE 1A : PRE-DESIGN / NOT FOR CONSTRUCTION





Project Status and Next Steps

- JB Vang has completed schematic drawings, environmental and geotechnical studies, analyzed the historic building structures, and held community meetings.
- The Metropolitan Council has awarded the project \$575,000 in predevelopment and site investigation grant funds.
- JB Vang will apply to MHFA in July for funding for the East End Apartments building.
- JB Vang will be requesting HRA gap financing for the East End building. A closing and construction start is anticipated in 2025.
- A closing on the west historic rehabilitation project is anticipated in 2026.