

REVISED
FEB 25, 2017

ADDITION TO TOM REID'S HOCKEY CITY PUB 258 7TH STREET WEST ST. PAUL, MN 55102

SITE PLAN APPROVED
OFFICE OF DSI
CITY OF ST. PAUL

By Lawrence R. Zipp
File # 16-019653 Date 2/27/17

Any alterations from this plan must be approved by the Zoning Administrator.

I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
DATE: Feb 27 2017

GLEBSON ARCHITECTS ARCHITECTS + PLANNERS
1000 W. 7TH STREET
ST. PAUL, MN 55102-2007
TELEPHONE: 651-988-9923
FAX: 651-988-9924

FILE: Tom Reid's Hockey City Pub
DRAWN BY: BCM/CJO
CHECKED BY: DJG
DATE DRAWN: 11/30/15
REV: 02/25/2017

SHEET TITLE:
TITLE SHEET

OWNER:
T. REID & R. KEIFER
W. 7TH ST PARTNERS, LLC

PROJECT:
ADDITION TO TOM REID'S
HOCKEY CITY PUB
258 7TH STREET WEST
ST. PAUL, MN 55102

SHEET #
A0

ARCHITECTURAL:

- A0: TITLE SHEET
- A1: SITE PLAN/PARKING
- A2: BASEMENT
- A3: FIRST FLOOR
- A4: SECOND FLOOR
- A5: ELEVATIONS
- A6: BUILDING SECTION/DETAILS
- A7: WALL SECTIONS/DETAILS
- A7A: WALL SECTIONS/DETAILS
- A8: WALL SECTIONS/DETAILS
- A9: SEATING PLAN
- A10: ROOM FINISH SCHEDULE
- A11: EMERGENCY EXITING
- A12: SURVEY
- L1: LANDSCAPE PLAN
- L2: LANDSCAPE ELEVATIONS
- C1-C3: CIVIL DRAWINGS
- S000-S501: STRUCTURAL DRWGS

PROJECT DESCRIPTION:

NEW TWO STORY WITH BASEMENT ADDITION OF BAR AND DINING AND OUTSIDE PATIO AND PARTIAL SECOND FLOOR W/ PRIVATE OFFICE TO EXISTING BAR AND RESTAURANT.

APPLICABLE CODES:

MINNESOTA STATE BUILDING CODE ANSI/ASHRAE/IESNA 90.1 2015 EDITION, INTERNATIONAL BUILDING CODE
GUIDE LINES TO THE MN ST. BUILDING CONSERVATION CODE

BUILDING DESIGN:

OCCUPANCY: A2
CONSTRUCTION TYPE: VB WITH SPRINKLERS
NON RATED NON SEPARATED
BUILDING HEIGHT: 2 STORY & BASEMENT
BUILDING AREA: EXSTG 4,125sf+NEW 3,500sf=7,625sf
LOCATION ON PROP: OPEN 3 SIDES
SPRINKLERS: YES
EXTERIOR WALLS: WOOD FRAME LOAD BEARING
ROOF ASSEMBLY: EXPOSED WOOD JOIST ROOF
INTERIOR PARTITIONS: GYP. BD. ON WOOD STUDS

DISTRICT:

T2

AREA OF SITE = 6740 SQ. FT.
AREA OF BUILDING = 5100 SQ. FT.
ASS'ORY BLDGS = EXIST BAR/REST.
USE = BAR/RESTAURANT

AREA OF ADDITION: GROSS

BASEMENT: 2400 SQ. FT.
FIRST FLOOR: 1600 SQ. FT.
SECOND FLOOR: 500 SQ. FT.

OCC. LOADS:

A2 BAR/DINING: 140
S STORAGE/KITCHEN: 8
B OFFICE: 4
UNOCCUPIED: 0

152 TOTAL

EXITS: SEE PLAN

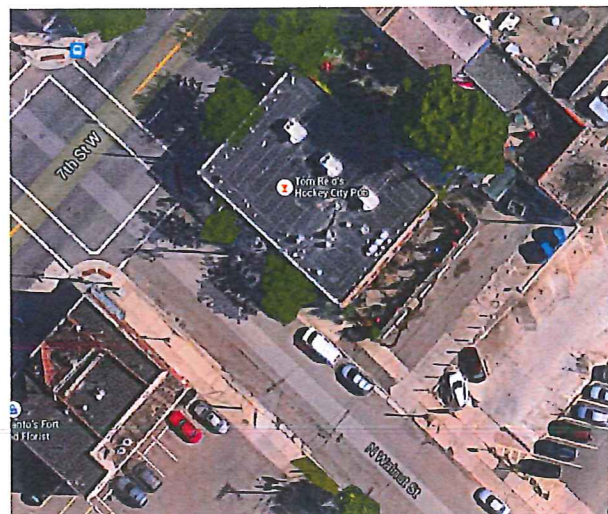
ACCESSIBILITY: SEE PLAN

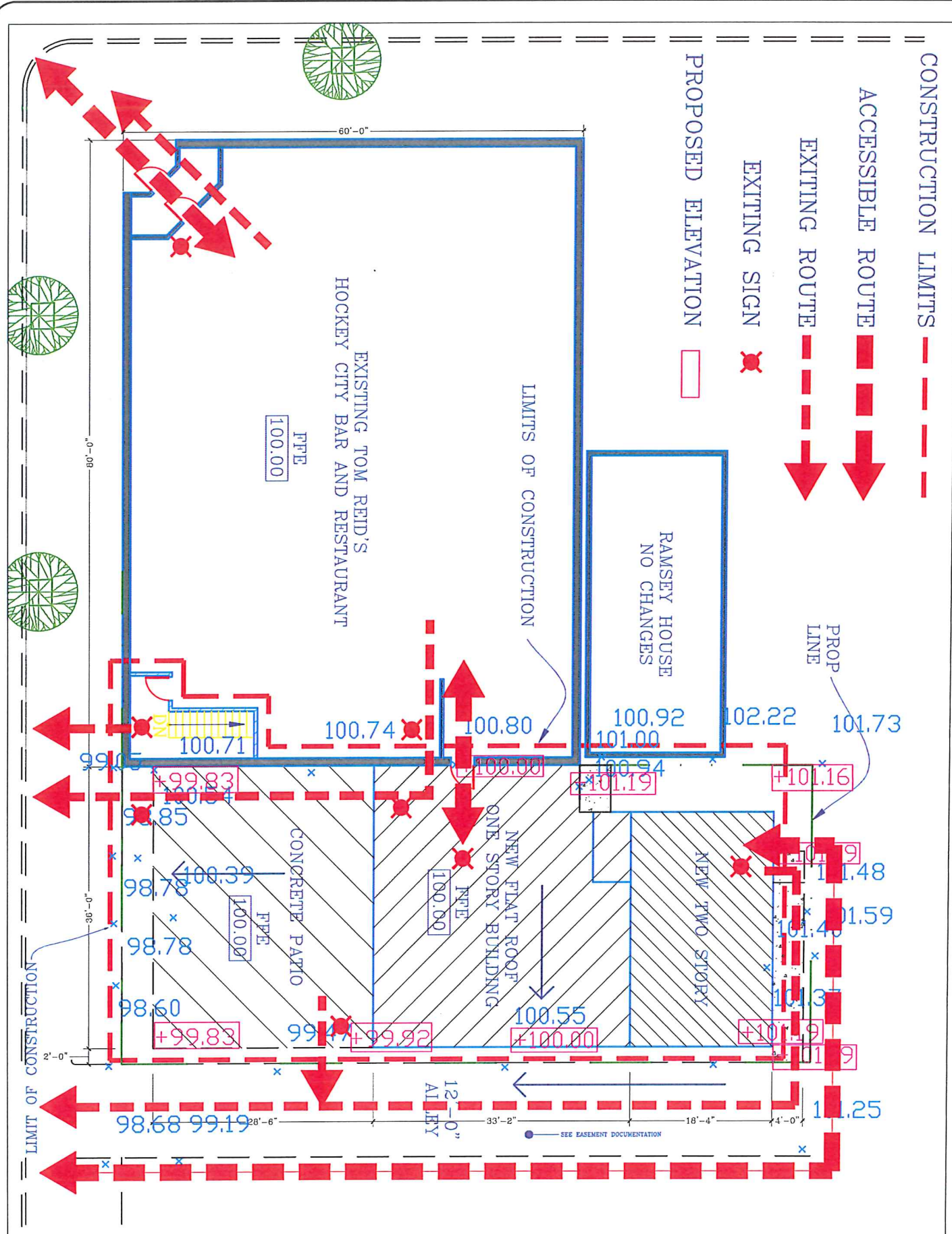
PARKING REQUIREMENTS:

****STRIPING ONLY** NO WORK ON-SITE**
SEE SEPARATE ATTACHMENT-A1

NOTE: DOOR HARDWARE -

1. ALL DOORS TO HAVE ACCESSIBLE APPROVED HARDWARE
2. EXIT DOOR NUMBERS 103A, 110B, 110A, 103B, 107B TO HAVE APPROVED PANIC EXIT HARDWARE.





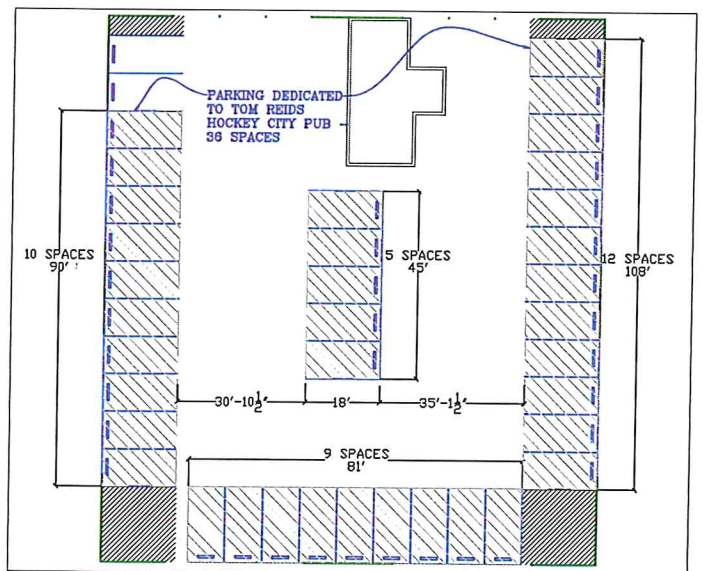
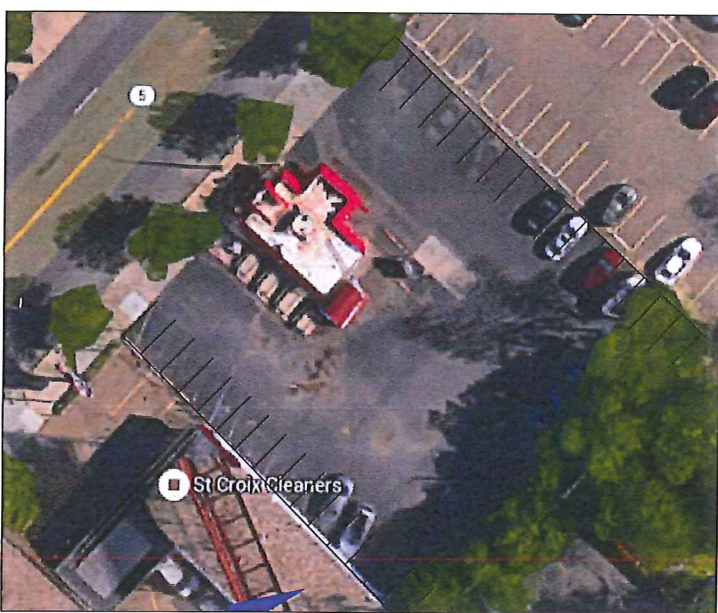
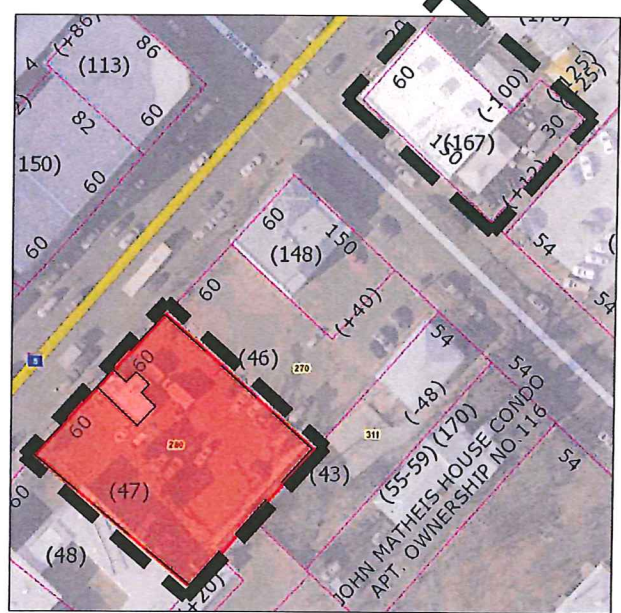
GENERAL CONTRACTOR NOTES -

1. ALL WORK ON CURBS, DRIVEWAYS, AND SIDEWALKS WITHIN THE CITY RIGHT OF WAY MUST BE DONE TO CITY STANDARDS AND SPECIFICATIONS BY A LICENSED AND BONDED CONTRACTOR UNDER PERMIT FROM PUBLIC WORKS SIDEWALK SECTION (651-266-6120). SIDEWALK GRADES MUST BE CARRIED ACROSS DRIVEWAYS.
2. RESTORATION OF ASPHALT AND CONCRETE PAVEMENTS ARE PERFORMED BY THE PUBLIC WORKS STREET MAINTENANCE DIVISION. THE CONTRACTOR IS RESPONSIBLE FOR PAYMENT TO THE CITY FOR THE COST OF THESE RESTORATIONS. THE CONTRACTOR SHALL CONTACT PUBLIC WORKS STREET MAINTENANCE TO SET UP A WORK ORDER PRIOR TO BEGINNING ANY REMOVALS IN THE STREET AT 651-266-9700. PROCEDURES AND UNIT COSTS ARE FOUND IN STREET MAINTENANCE'S "GENERAL REQUIREMENTS-ALL RESTORATIONS" AND ARE AVAILABLE AT THE PERMIT OFFICE.
3. ADJACENT STREETS AND ALLEYS MUST BE SWEEPED TO KEEP THEM FREE OF SEDIMENT. CONTRACTOR MUST MONITOR CONDITIONS AND SWEEP AS NEEDED OR WITHIN 24 HOURS OF NOTICE BY THE CITY.

CITY OF ST. PAUL PERMIT REQUIREMENTS:
ORDERING OBSTRUCTION AND EXCAVATION PERMITS: Contact Public Works Right of Way Service Desk at (651) 266-6151. It is strongly recommended that contractors call for cost estimates prior to bidding to obtain accurate cost estimates.
OBSTRUCTION PERMITS: The contractor must obtain an Obstruction Permit if construction (including silt fences) will block City street, sidewalks or alleys, or if driving over curbs.
EXCAVATION PERMITS: All digging in the public right of way requires an Excavation Permit. If the proposed building is close to the right of way, and excavating into the right of way is needed to facilitate construction, contact the utility inspector.
FAILURE TO SECURE PERMITS: Failure to secure Obstruction Permits or Excavation Permits will result in double-permit fee and other fees required under City of St. Paul Legislative Codes.

REVISED
4/24/17

PARKING REQUIREMENTS -
 TOM REIDS ADD'N REQUIREMENT = 36 SPACES
 DQ BLDG, 280 7th ST W LOT=15,681sf, BLDG=648sf/400 = 2 SPACES
 AVAIL@DQ LOT = 38 SPACES; DESIGNATED FOR TOM REIDS = 36 SPACES



1 SITE PLAN
 A1 SCALE: 1/16" = 1'-0"

2 SITE PLAN REQUIRED OFFSITE PARKING
 A1 SCALE: NTS

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
 DATE: 4/24/17
 REG. NO. 10015

GLEESON ARCHITECTS
 ARCHITECTS + PLANNERS
 1000 W. WASHINGTON ST.
 SAINT PAUL, MN 55102
 TELEPHONE: 651-768-9900
 FAX: 651-768-9904

FILE: Tom Reid's Hockey City Pub
 DRAWN BY: BCM/CJO
 CHECKED BY: DJG
 DATE DRAWN: 11/30/15
 REVISED: 4/24/2017

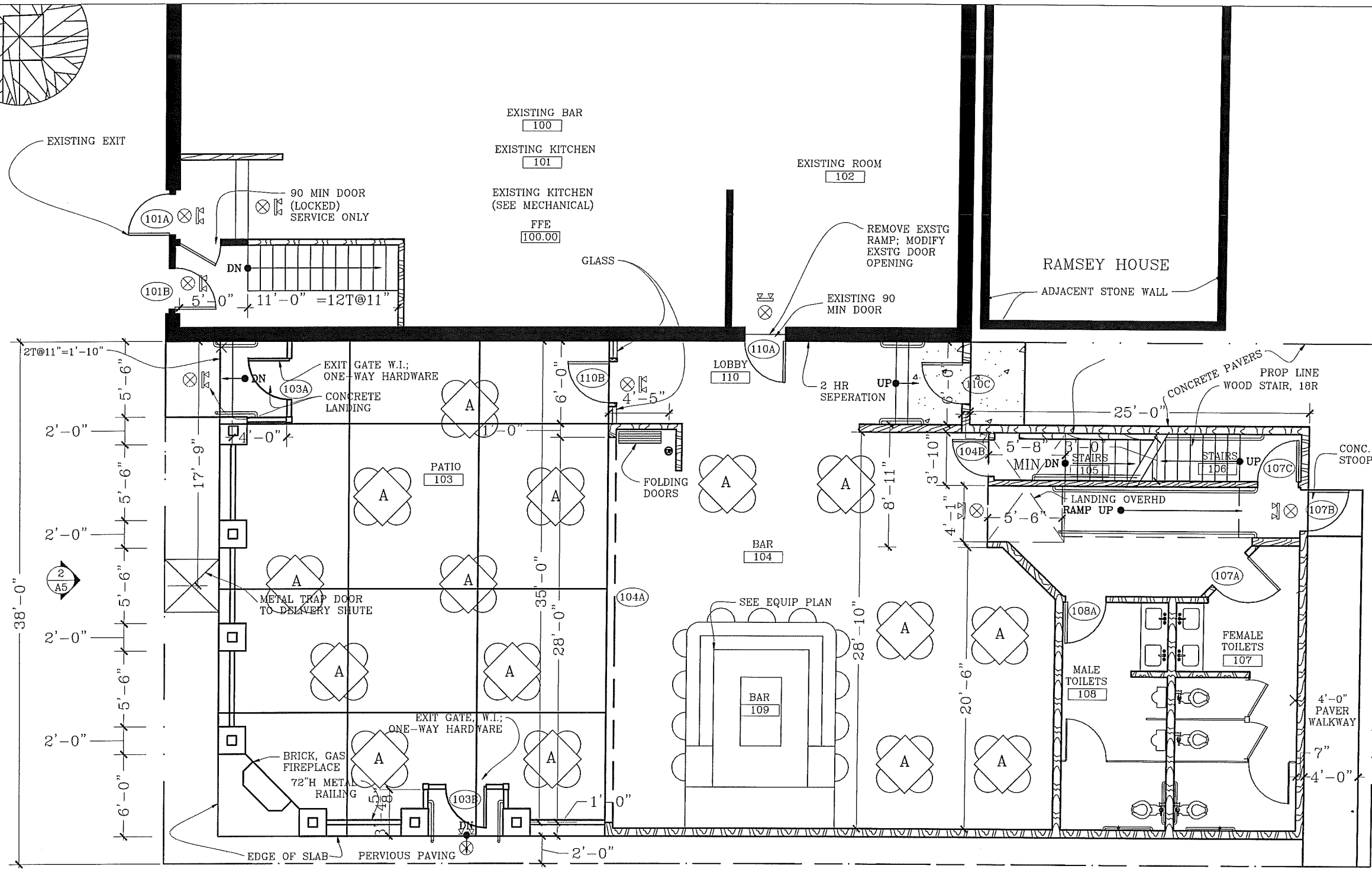
SHEET TITLE:
 SITE PLAN & PARKING

OWNER:
 T. REID & R. KEIFER
 W. 7TH ST PARTNERS, LLC

PROJECT:
 ADDITION TO TOM REID'S
 HOCKEY CITY PUB
 280 7TH STREET WEST
 ST. PAUL, MN 55102

SHEET #
 A1

WALNUT STREET



A = ACCESSIBLE SEATING 5'-6"

1 SEATING PLAN
A9 SCALE: 1/8"=1'-0"

IF ANYBODY CHECKS THIS PLAN, SPECIFICATIONS OR REPORT WAS PREPARED BY ME OR UNDER MY SUPERVISION, I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATIONS OR REPORT WAS PREPARED BY ME OR UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IT COMPLIES WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS.
 DATE: FEB 27 2017 REG. NO. 0087

GLEESON ARCHITECTS
 ARCHITECTS + PLANNERS
 SAINT PAUL, MN 55108-2507
 TELEPHONE: 612-765-8900
 FAX: 612-765-8904

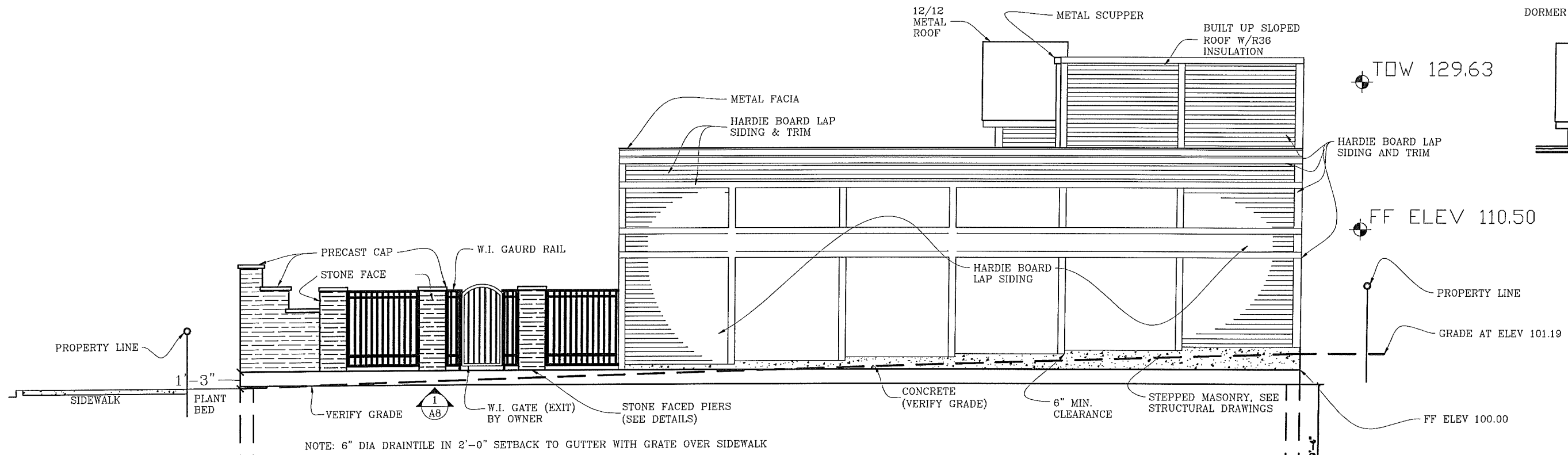
FILE: Tom Reid's Hockey City Pub
 DRAWN BY: BCM/CJO
 CHECKED BY: DJG
 DATE DRAWN: 11/30/15
 REV: 01/30/2017

SHEET TITLE:
 SEATING

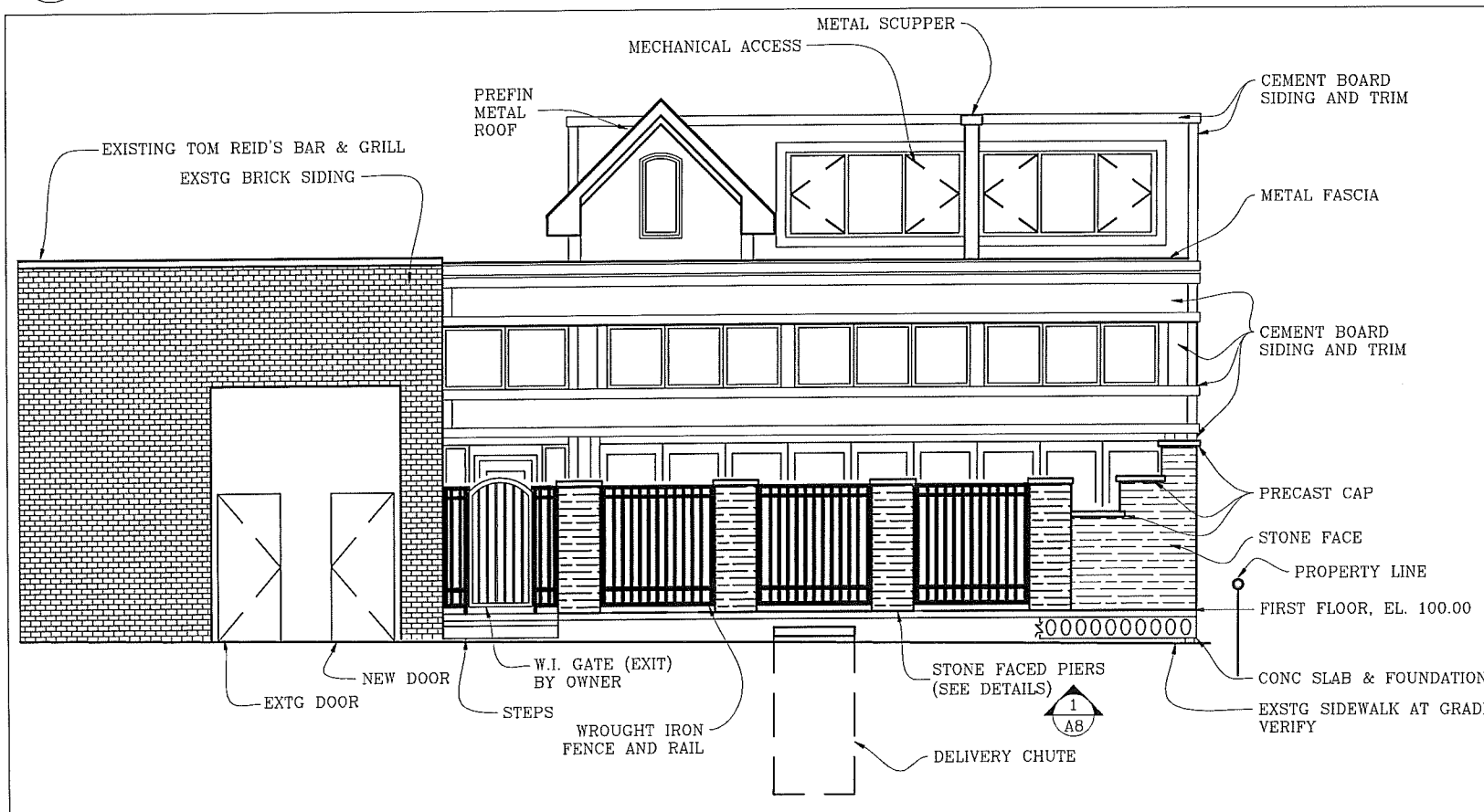
OWNER:
 T. REID & R. KEFFER
 W. 7TH ST PARTNERS, LLC

PROJECT:
 ADDITION TO TOM REID'S
 HOCKEY CITY PUB
 258 7TH STREET WEST
 ST. PAUL, MN 55102

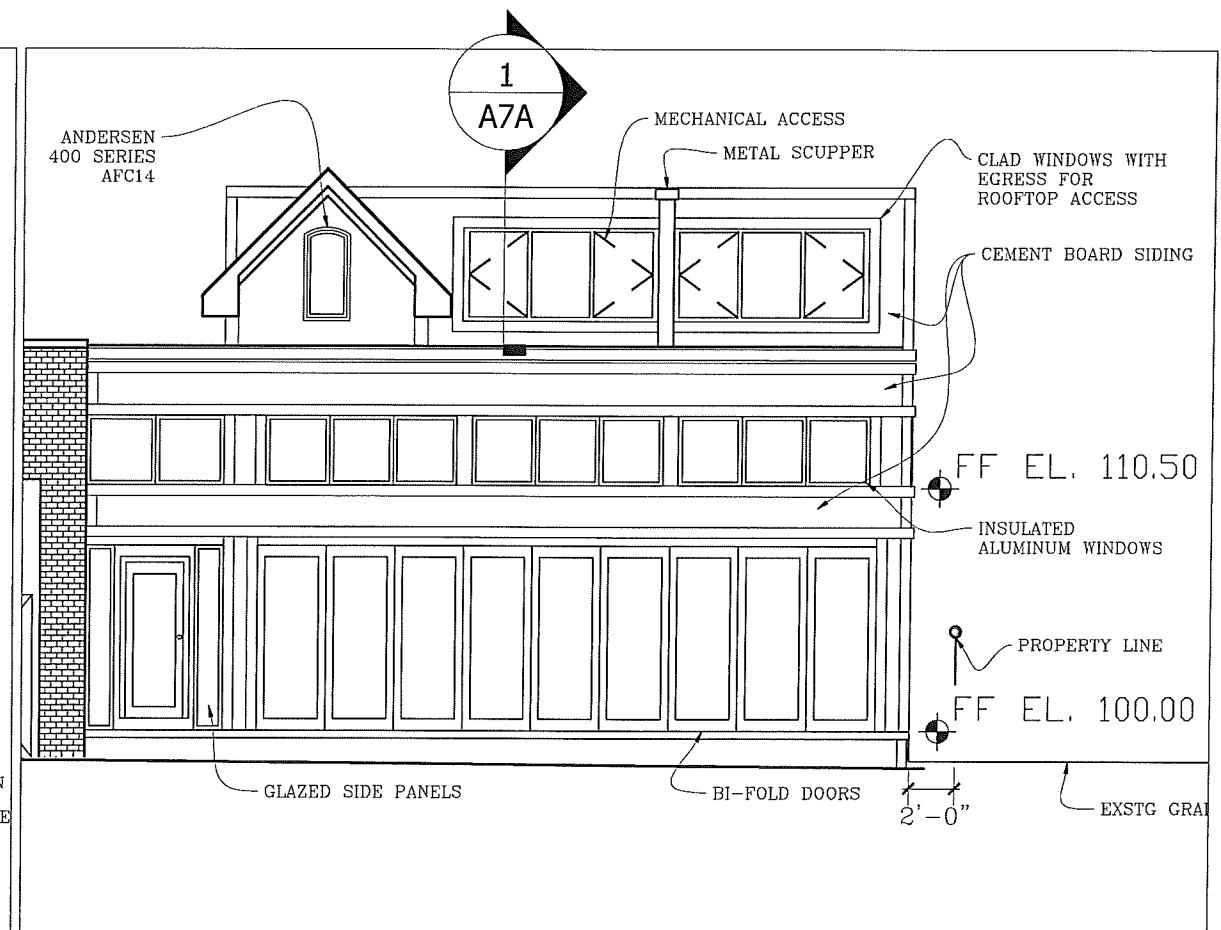
SHEET #
 A9



1 SOUTH ELEVATION
A5 SCALE: 1/8"=1'-0"



2 WEST ELEVATION
A5 SCALE: 1/8"=1'-0"



2 WEST ELEVATION OF BUILDING
A5 SCALE: 1/8"=1'-0"

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR CONTRACT DOCUMENTS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED ARCHITECT IN THE STATE OF MINNESOTA.
DATE: Feb 27 2017
REC. NO. 10083

GLEESON ARCHITECTS
ARCHITECTS + PLANNERS
SAINT PAUL, MN 55108-2007
TELEPHONE: 612-766-9904
FAX: 612-766-9904

FILE: Tom Reid Hockey City Pub
DRAWN BY: BCM/CJO
CHECKED BY: DJG
DATE DRAWN: 11/30/15
REV: 01/30/2017

SHEET TITLE:
BUILDING ELEVATION

OWNER:
T. REID & R. KEIFER
W. 7TH ST PARTNERS, LLC

PROJECT:
ADDITION TO TOM REID'S
HOCKEY CITY PUB
258 7TH STREET WEST
ST. PAUL, MN 55102

SHEET #

A5

INSPECTION CONTACT: The developer shall contact the Right of Way Inspector Jim Hehn, (651) 485-0417 (one week prior to beginning work) to discuss traffic control, pedestrian safety and coordination of all work in the public right of way. Note: If a one week notice is not provided to the City, any resulting delays shall be the sole responsibility of the Contractor.

SAFE WORK SITE REQUIREMENTS: The Contractor shall provide a continuous, accessible and safe pedestrian walkway that meets ADA and MN MUTCD standards if working in a sidewalk area, and traffic control per MN MUTCD requirements for work in the public right of way.

NO PRIVATE FACILITIES IN THE RIGHT OF WAY: The developer is strictly prohibited from installing private electrical wiring, conduit, receptacles and/or lighting in the City's Right of Way. This includes stubbing conduit or cable into the public right of way to accommodate utility feeds to the site. Coordinate with each utility prior to construction to determine feed points into the property. Utilities are responsible for securing excavation permits to run their service into a site, and (where required) submitting plans for review by the Public Works Utility Review Committee.

The Contractor shall contact John McNamara, General Foreman, Lighting - Signal Maintenance, (651-266-9780), if removal or relocation of existing facilities is required or in the event of damage to the lighting or signal utilities. The Contractor shall assume responsibility (and related costs) for any damage or relocations.

As per the City's "Standard Specification for Street Openings" policy, restoration on roadway surfaces less than 5 years old will require full width mill and overlay or additional degradation fees. Degradation fees are determined by contacting the Right of Way Service Desk at (651) 266-6151. Pavement restoration shall be completed by the St. Paul Public Works Street Maintenance Division. All related costs are the responsibility of the developer/contractor. Contact Street Maintenance at (651) 266-9700 for estimate of costs for pavement restoration.

ENCROACHMENTS: Per Chapter 134 of the Legislative Code, private use of the public ROW is prohibited if the use for which the encroachment is being sought can be reasonably be accommodated on private property and a vacation of the ROW has been denied.

Construction of the development that necessitates temporary use of the Right-of-Way (ROW) for construction purposes shall be limited to equipment, personnel, devices and appurtenances that are removable during construction. Encroachment permits will not be granted for devices such as tie backs, rock bolts, H-piles, lagging, timbers, sheet piling, etc. that the owner is seeking to abandon in the ROW.

Footings are allowed to encroach into City ROW no more than twelve (12) inches at depths below eight (8) feet in City ROW per State Building Code Section 3202. Said encroachments will require an encroachment permit from the City.

Encroachments into County or State ROW are not allowed unless authorization has been granted from said agency.

Encroachments installed in the ROW without authorization will be removed at no expense to the City/County/State.

CITY OF ST. PAUL PERMIT REQUIREMENTS:

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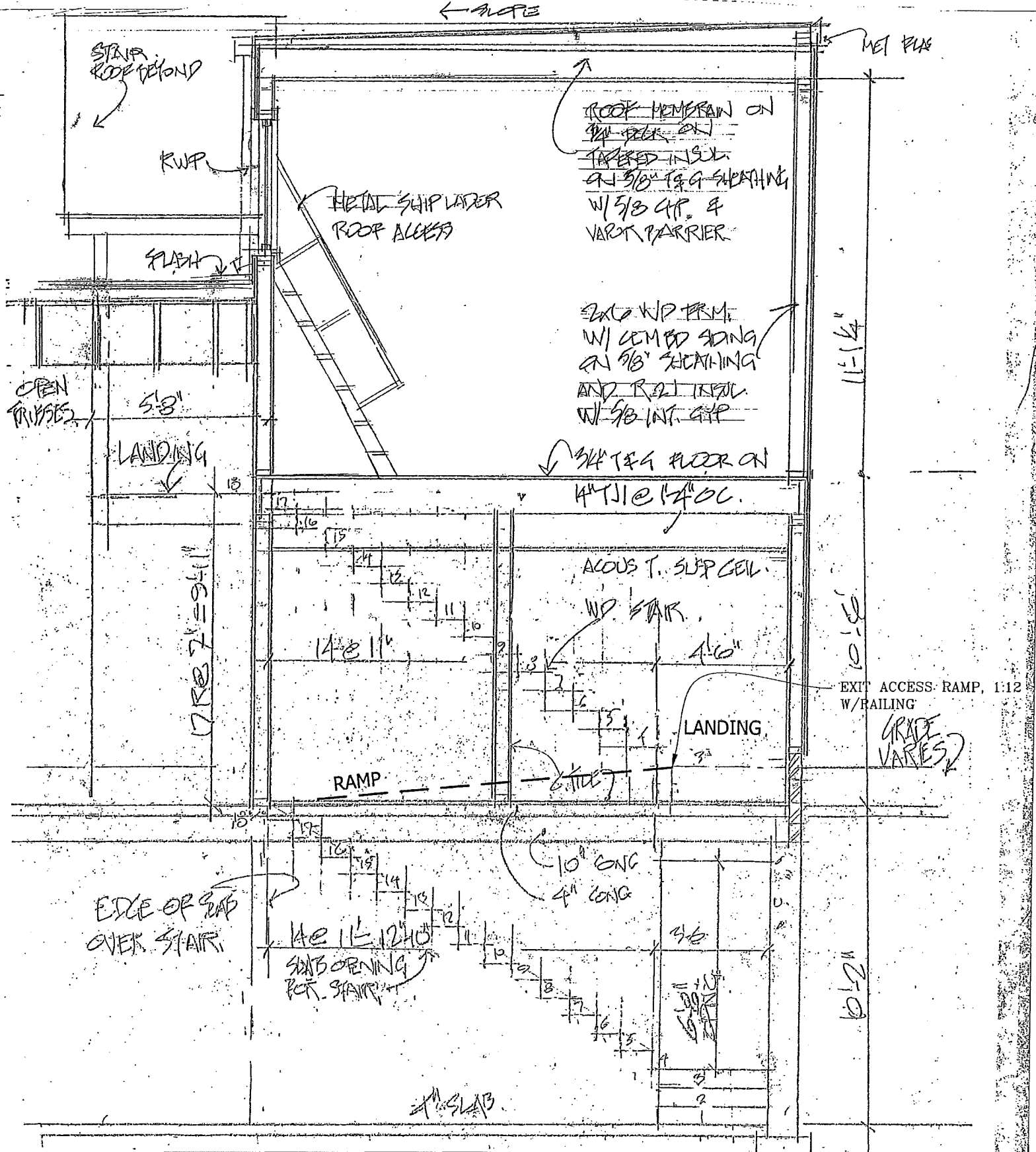
OBSTRUCTION PERMITS: The contractor must obtain an Obstruction Permit if construction (including silt fences) will block City streets, sidewalks or alleys, or if driving over curbs.

EXCAVATION PERMITS: All digging in the public right of way requires an Excavation Permit. If the proposed building is close to the right of way, and excavating into the right of way is needed to facilitate construction, contact the utility inspector.

FAILURE TO SECURE PERMITS: Failure to secure Obstruction Permits or Excavation Permits will result in a double-permit fee and other fees required under City of St. Paul Legislative Codes.

All work on curbs, driveways, and sidewalks within the public right of way must be done to City Standards and Specifications by a licensed and bonded contractor under a permit from Public Works Sidewalk Section (651-266-6120). Sidewalk grades must be carried across driveways. Restoration of asphalt and concrete pavements are performed by the Public Works Street Maintenance Division. The contractor is responsible for payment to the City for the cost of these restorations. The contractor shall contact Public Works Street Maintenance to set up a work order prior to beginning any removals in the street at 651-266-9700. Procedures and unit costs are found in Street Maintenance's "General Requirements - All Restorations" and are available at the permit office.

Adjacent streets and alleys must be swept to keep them free of sediment. Contractor must monitor conditions and sweep as needed or within 24 hours of notice by the City."



WEARY COUNTY THAT THE PLAN, SPECIFICATIONS, CONTRACT DOCUMENTS AND THE CITY OF ST. PAUL, MINNESOTA, ARE THE PROPERTY OF GLEESON ARCHITECTS + PLANNERS. ANY REPRODUCTION OR TRANSMISSION OF THIS PLAN WITHOUT THE WRITTEN PERMISSION OF GLEESON ARCHITECTS + PLANNERS IS STRICTLY PROHIBITED. DATE: FEB 27 2017 REG. NO. 10663

GLEESON ARCHITECTS + PLANNERS
ARCHITECTS + PLANNERS
1175 UNIVERSITY AVE. S.
ST. PAUL, MN 55108
TEL: 651-788-1000
FAX: 651-788-1000

FILE: Tom Reids Hockey City Pub
DRAWN BY: BCM/CJO
CHECKED BY: DJG
DATE DRAWN: 11/30/15
REV: 01/25/17

SHEET TITLE:
WALL & STAIR SECTIONS

OWNER:
T. REID & R. KEIFER
W. 7TH ST PARTNERS, LLC

PROJECT:
ADDITION TO TOM REID'S
HOCKEY CITY PUB
325 W. 7TH ST. ST. PAUL, MN 55102

SHEET #
A7A

CERTIFICATE OF SURVEY

~for~ RK VENTURES, LLC

~of~ TOM REID'S HOCKEY CITY PUB
258 7TH STREET W.
ST. PAUL, MN 55102

PROPERTY DESCRIPTION:

(PER WARRANTY DEED—DOCUMENT NO. 4397993)

PARCEL 1:
That part of Lot 9, Block 27, RICE AND IRVINE'S ADDITION TO ST. PAUL, Ramsey County, Minnesota described as follows:

Commencing at the northeast corner of West 7th Street (formerly called Fort Street) and Walnut Street in said City of St. Paul; thence running northeasterly on a southerly line of said West 7th Street 40 feet; thence at right angles on a line parallel with said Walnut Street southeasterly 100 feet; thence southwesterly and parallel with said West 7th Street 40 feet to the easterly line of said Walnut Street to the place of beginning, subject to rights acquired by the City of St. Paul for widening of West 7th Street.

PARCEL 2:
The northeasterly 20 feet of the northwesterly 100 feet of Lot 9, Block 27, RICE AND IRVINE'S ADDITION TO ST. PAUL, Ramsey County, Minnesota, except the northwesterly 20 feet thereof.

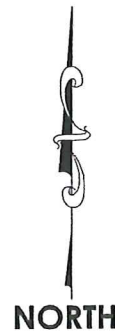
PARCEL 3:
The Northwesterly 38 feet of the southeasterly 50 feet of the southwesterly one-half of Lot 8 and the northwesterly 38 feet of the southeasterly 50 feet of Lot 9, Block 27, RICE AND IRVINE'S ADDITION TO ST. PAUL, Ramsey County, Minnesota.

NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 6/26/2015.
- Bearings shown are on an assumed datum.
- Elevations shown are assumed.
- Curb shots are taken at the top and back of curb.
- This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.
- Parcel ID No: 06-28-22-23-0167.

LEGEND

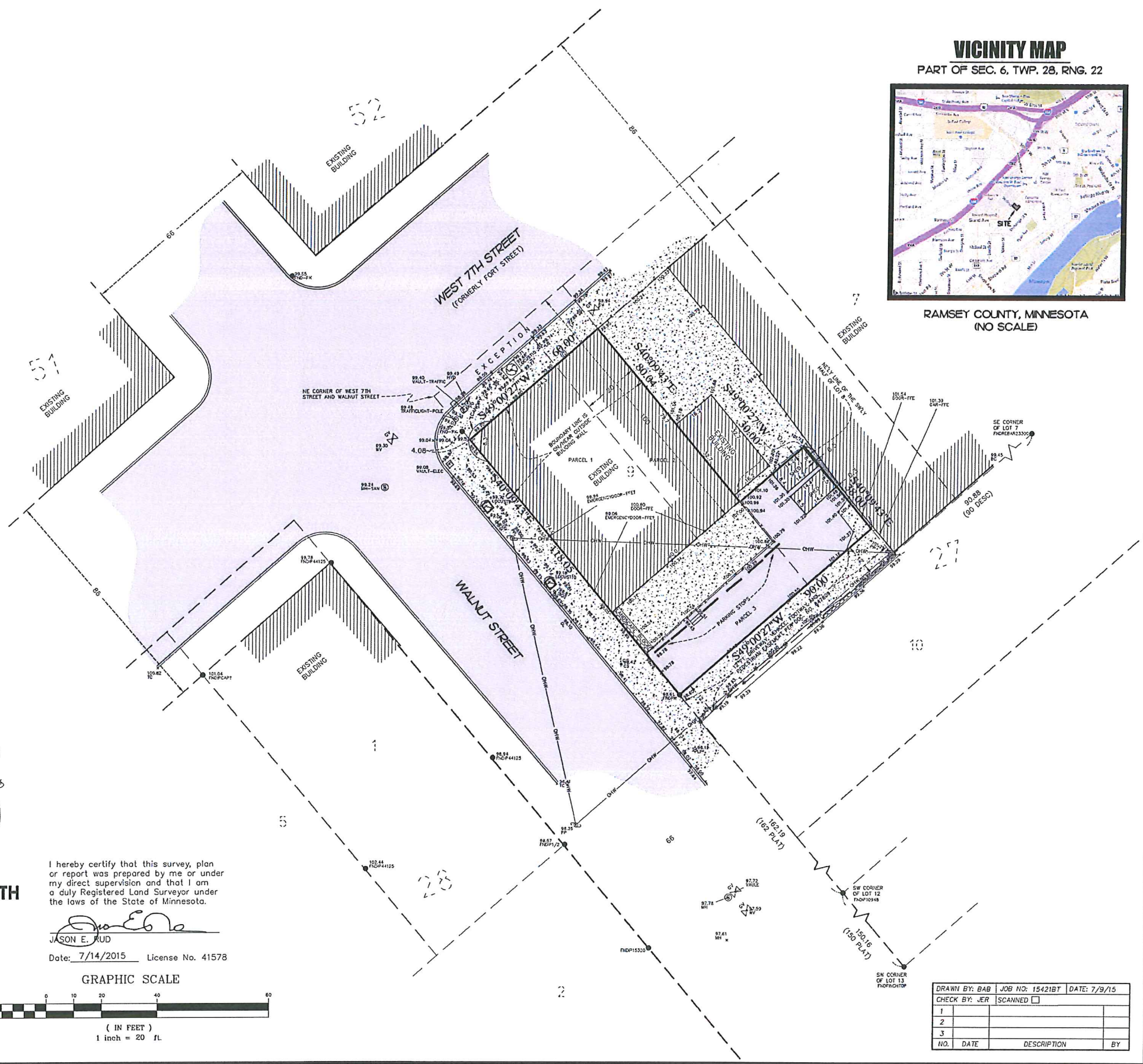
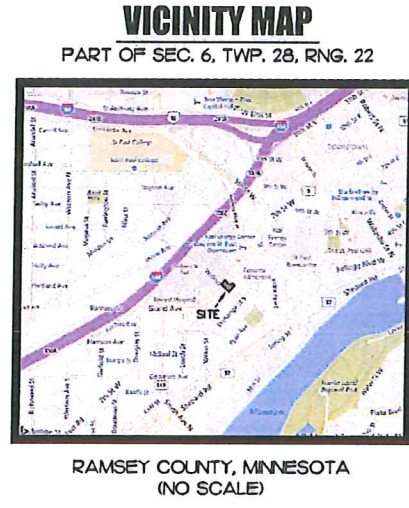
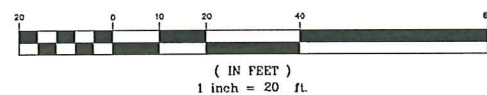
- DENOTES IRON MONUMENT FOUND AS LABELED
- ✱ DENOTES BOLLARD
- DENOTES CATCH BASIN
- ⊙ DENOTES SANITARY SEWER MANHOLE
- ⊕ DENOTES HYDRANT
- ⊕ DENOTES GATE VALVE
- ⊕ DENOTES GAS METER
- DENOTES POWER POLE AND OVERHEAD WIRES
- x 992.36 DENOTES EXISTING SPOT ELEVATION
- DENOTES SIGN
- ⊕ DENOTES LIGHT POLE
- ⊕ DENOTES ELECTRICAL VAULT
- DENOTES FENCE
- DENOTES LANDSCAPE WALL
- DENOTES CONCRETE SURFACE
- DENOTES BITUMINOUS SURFACE



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Jason E. Rud
JASON E. RUD
Date: 7/14/2015 License No. 41578

GRAPHIC SCALE



DRAWN BY: BAB	JOB NO: 15421BT	DATE: 7/9/15	
CHECK BY: JER	SCANNED <input type="checkbox"/>		
1			
2			
3			
NO.	DATE	DESCRIPTION	BY

15421BT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA
DATE: REC. NO. 10093

GLEESON ARCHITECTS ARCHITECTS + PLANNERS
1175 HIGHWAY 55-2007
SAINT PAUL, MN 55108-0900
TELEPHONE: 651-766-0900
FAX: 651-766-0901

CAD FILE: Tom Reids Hockey City Pub
DRAWN BY: BCM/CJO
CHECKED BY: DNG
DATE DRAWN: 11/30/15

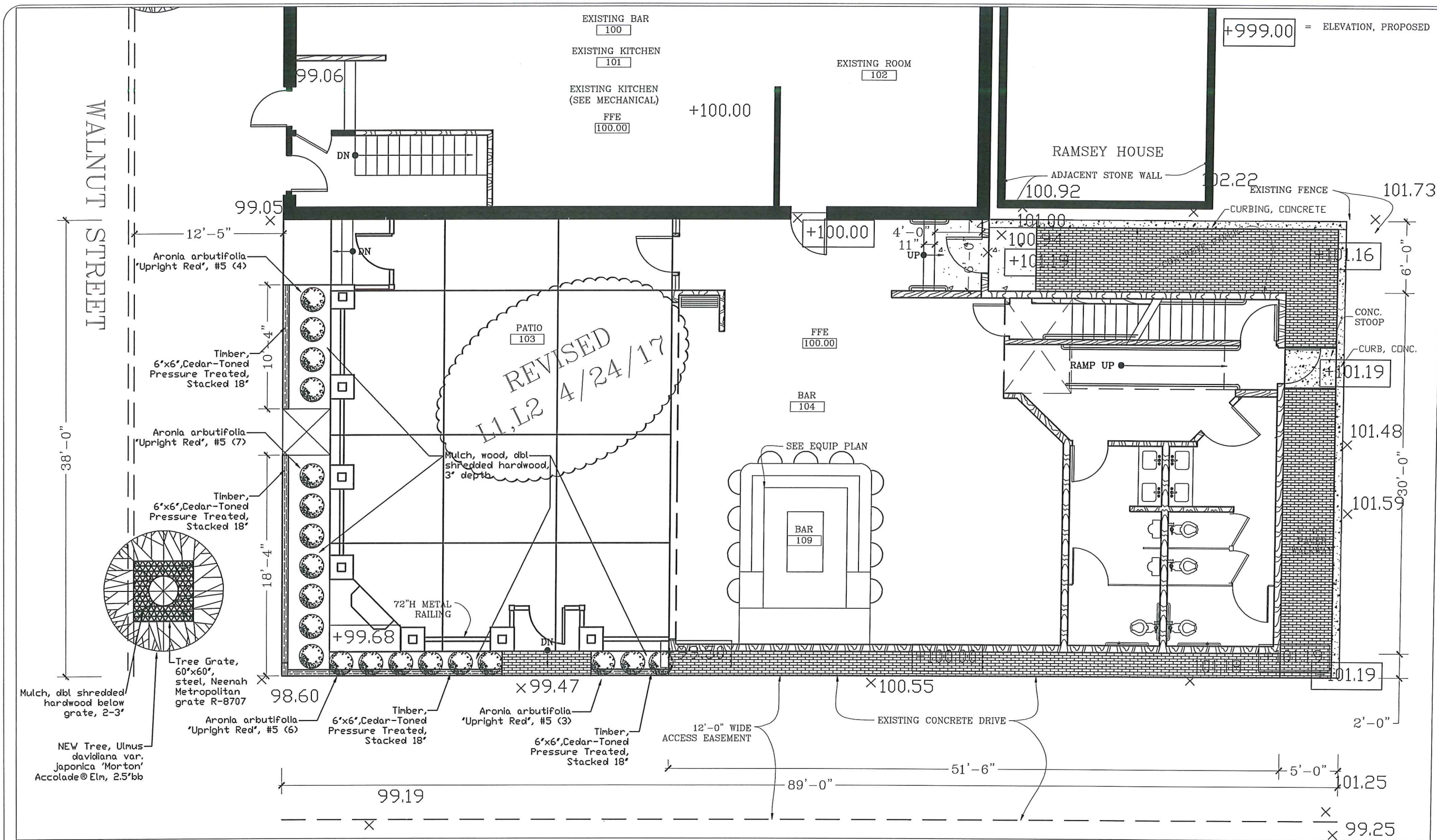
SHEET TITLE:
SITE SURVEY

OWNER:
T. REID & R. KEIFER
W. 7TH ST PARTNERS, LLC

PROJECT:
ADDITION TO TOM REID'S HOCKEY CITY PUB
258 7TH STREET WEST
ST. PAUL, MN 55102

SHEET #

C1



City of Saint Paul Notes:
 The removal, pruning, and/or planting of trees on the public boulevard requires an approved permit from the City Forester (651-632-5129). Any work must be completed by a licensed tree contractor.

PLANT LIST			
TREES	SIZE	QTY	
<i>Ulmus davidiana</i> var. <i>japonica</i> 'Morton' Accolade Elm	2.5"BB or greater	1	
SHRUBS			
<i>Aronia abutifolia</i>	Upright Red Chokeberry	#3 or 18" min ht	20

PROJECT: ADDITION TO TOM REID'S HOCKEY CITY PUB
 258 7TH STREET WEST
 ST. PAUL, MN 55102

OWNER: T. REID & R. KEIPER
 W. 7TH ST PARTNERS, LLC

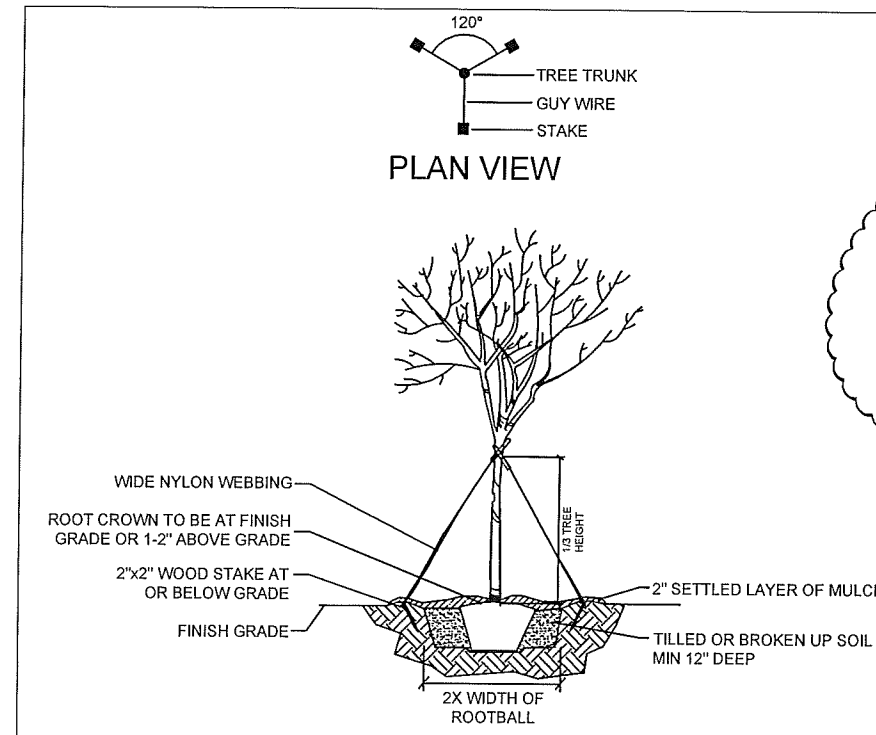
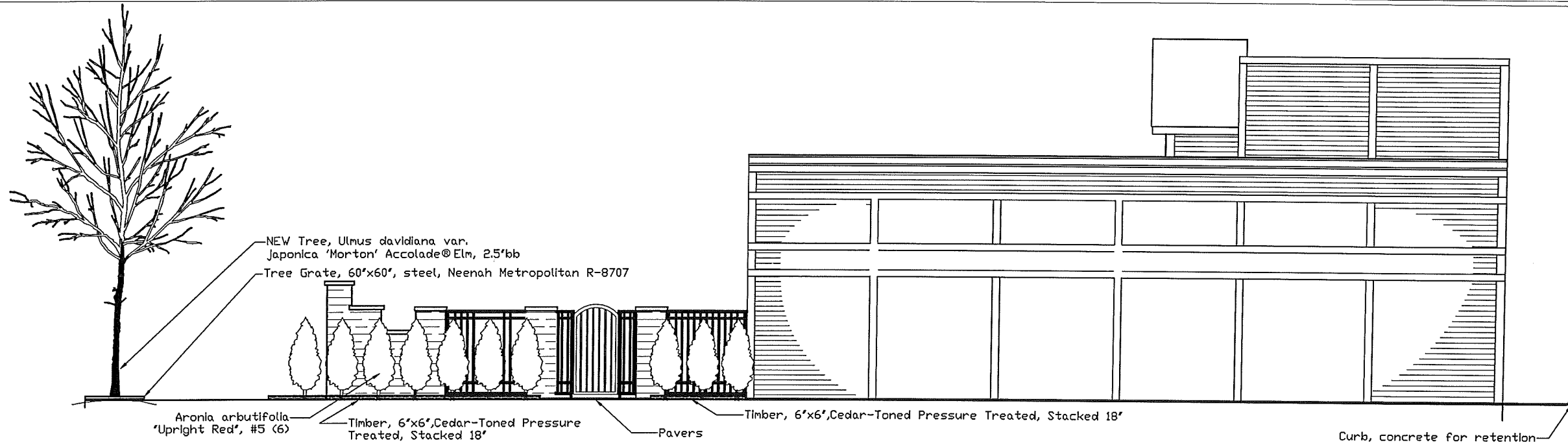
SHEET TITLE: LANDSCAPE PLAN

SADTILE: T. Reid's Hockey City Pub
 DRAWN BY: CJO
 CHECKED BY: DJG
 DATE DRAWN: 04/11/16
 REV: 5/24/16

GLEESON ARCHITECTS ARCHITECTS + PLANNERS
 1000 W. WASHINGTON ST.
 SAINT PAUL, MN 55102
 TELEPHONE: 651-765-9007
 FAX: 651-765-9004

REG. NO. 10885
 DATE:

SHEET #
 L1



REVISED
L1, L2 4/24/17

NOTES: TREE PLANTING (>2" CAL.)

1. ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-2004). PLANT ACCORDING TO ANSI A300 PART 6.
2. DIG THE PLANTING HOLE A MINIMUM OF 2x WIDTH OF ROOTBALL FOR AT LEAST THE FIRST 12 INCHES OF DEPTH. BELOW 12 INCHES, DIG HOLE WIDE ENOUGH TO PERMIT ADJUSTING. DO NOT DIG THE HOLE DEEPER THAN ROOT BALL DEPTH.
3. SCARIFY THE SUBGRADE AND SIDES OF THE PLANTING HOLE WHEN PLANTING IN CLAY SOILS (MORE THAN 15% CLAY).
4. LIFT AND SET THE TREE BY ROOT BALL ONLY. DO NOT LIFT USING THE TREE TRUNK AND DO NOT USE TREE TRUNK AS A LEVER.
5. SET THE TOP OF THE ROOT BALL LEVEL WITH THE SOIL SURFACE OR SLIGHTLY HIGHER IF THE SOIL IS PRONE TO SETTLING.
6. AFTER THE TREE IS SET IN PLACE, REMOVE BURLAP, WIRE AND STRAPS FROM AT LEAST THE UPPER 1/3 OF THE ROOTBALL.
7. BACKFILL WITH EXISTING SOIL THAT HAS BEEN WELL-TILLED OR BROKEN UP. DO NOT ADD AMENDMENTS TO THE BACKFILL SOIL. AMEND THE SURFACE WITH MULCH.
8. USE THREE 2" X 2" WOOD STAKES DRIVEN INTO UNDISTURBED SOIL A MINIMUM OF 16 INCHES. SPACE STAKES EQUALLY AROUND THE TREE.
9. ATTACH 3/4" NYLON WEBBING TO CONNECT THE TREE TO STAKES. ATTACH WEBBING AT 1/3 THE TREE HEIGHT.
10. APPLY A 2-3" (SETTLED) DEPTH OF PINE STRAW OR BARK MULCH TO THE PLANTING SURFACE. LEAVE A 2" SPACE AROUND THE TRUNK FOR AIR CIRCULATION.
11. PRUNING SHALL BE LIMITED TO DEAD, DISEASED, OR BROKEN LIMBS ONLY AND SHALL BE IN ACCORDANCE WITH ANSI A300 SPECIFICATIONS.
12. REMOVE ANY TRUNK WRAP REMAINING AT TIME OF PLANTING. NO WRAPS SHALL BE PLACED ON TRUNK.

CITY OF SAINT PAUL NOTES:

1. EXPOSE ROOT FLARE AND SET AT GRADE.
2. REMOVE BURLAP AND ROPES FROM TOP 1/4 OF ROOT BALL, CUT WIRE BASKET DOWN TO SECOND HORIZONTAL WIRE FROM BOTTOM, AND DISPOSE OF OFF-SITE.
3. CONTRACTOR IS RESPONSIBLE TO MAINTAIN TREES IN A PLUMB POSITION THROUGHOUT THE MAINTENANCE PERIOD.

1 LANDSCAPE ELEVATIONS & DETAILS
Scale: 1/8"=1'-0"

UNLESS OTHERWISE NOTED, ALL PLANT SPECIFICATIONS OR MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING: **STATE OF MINNESOTA**

DATE: _____

PROJECT: ADDITION TO TOM REID'S HOCKEY CITY PUB 255 7TH STREET WEST ST. PAUL, MN 55102

OWNER: T. REID & R. KEIFER W. 7TH ST PARTNERS, LLC

SHEET TITLE: LANDSCAPE ELEVATION AND DETAILS

CAD FILE: Tom Reid's Hockey City Pub
DRAWN BY: CJO
CHECKED BY: DJG
DATE DRAWN: 04/11/16

GLEESON ARCHITECTS ARCHITECTS + PLANNERS
1700 HIGHWAY 95 E
SANDY, MN 55103
TELEPHONE: 612-765-9900
FAX: 612-765-9904

SHEET # L2

GENERAL PLAN NOTES

TRAFFIC:
INSPECTION CONTACT: The developer shall contact the Right of Way Inspection Jim Hehn, (651) 485-0417 (one week prior to beginning work) to discuss traffic control, pedestrian safety and coordination of all work in the public right of way. Note: If a one week notice is not provided to the City, any resulting delays shall be the sole responsibility of the Contractor.
SAFE WORK SITE REQUIREMENTS: The Contractor shall provide a continuous, accessible and safe pedestrian walkway that meets ADA and MN MUTCD standards if working in a sidewalk area, and traffic control per MN MUTCD requirements for work in the public right of way.
NO PRIVATE FACILITIES IN THE RIGHT OF WAY: The developer is strictly prohibited from installing private electrical wiring, conduit, receptacles and/or lighting in the City's Right of Way. This includes stubbing conduit or cable into the public right of way to accommodate utility feeds to the site.
 Coordinate with each utility prior to construction to determine feed points into the property. Utilities are responsible for securing excavation permits to run their service into a site, and (where required) submitting plans for review by the Public Works Utility Review Committee.
 The Contractor shall contact John McTamara, General Foreman, Lighting - Signal Maintenance, (651-266-9780), if removal or relocation of existing facilities is required or in the event of damage to the lighting or signal utilities. The Contractor shall assume responsibility (and related costs) for any damage or relocations.
 As per the City's "Standard Specification for Street Openings" policy, restoration on roadway surfaces less than 5 years old will require full width mill and overlay or additional degradation fees. Degradation fees are determined by contacting the Right of Way Service Desk at (651) 266-6151. Pavement restoration shall be completed by the St. Paul Public Works Street Maintenance Division. All related costs are the responsibility of the developer/contractor. Contact Street Maintenance at (651) 266-9700 for estimate of costs for pavement restoration.
ENCROACHMENTS: Per Chapter 134 of the Legislative Code, private use of the public ROW is prohibited if the use for which the encroachment is being sought can be reasonably accommodated on private property and a vacation of the ROW has been denied.
 Construction of the development that necessitates temporary use of the Right-of-Way (ROW) for construction purposes shall be limited to equipment, personnel, devices and appurtenances that are removable following construction. Encroachment permits will not be granted for devices such as tie backs, rock bolts, H-piles, lagging, timbers, sheet piling, etc. that the owner is seeking to abandon in the ROW.
 Footings are allowed to encroach into City ROW no more than twelve (12) inches at depths below eight (8) feet in City ROW per State Building Code Section 3202. Said encroachments will require an encroachment permit from the City.
 Encroachments into County or State ROW are not allowed unless authorization has been granted from said agency.
 Encroachments installed in the ROW without authorization will be removed at no expense to the City/County/State.

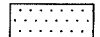
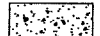
SIDEWALKS:
 All work on curbs, driveways, and sidewalks within the public right of way must be done to City Standards and Specifications by a licensed and bonded contractor under a permit from Public Works Sidewalk Section (651-266-6120). Sidewalk grades must be carried across driveways. Restoration of asphalt and concrete pavements are performed by the Public Works Street Maintenance Division. The contractor is responsible for payment to the City for the cost of these restorations. The contractor shall contact Public Works Street Maintenance to set up a work order prior to beginning any removals in the street at 651-266-9700. Procedures and unit costs are found in Street Maintenance's "General Requirements - All Restorations" and are available at the permit office.

WATER RESOURCE/EROSION CONTROL:
 Adjacent streets and alleys must be swept to keep them free of sediment. Contractor must monitor conditions and sweep as needed or within 24 hours of notice by the City.

KEY NOTES

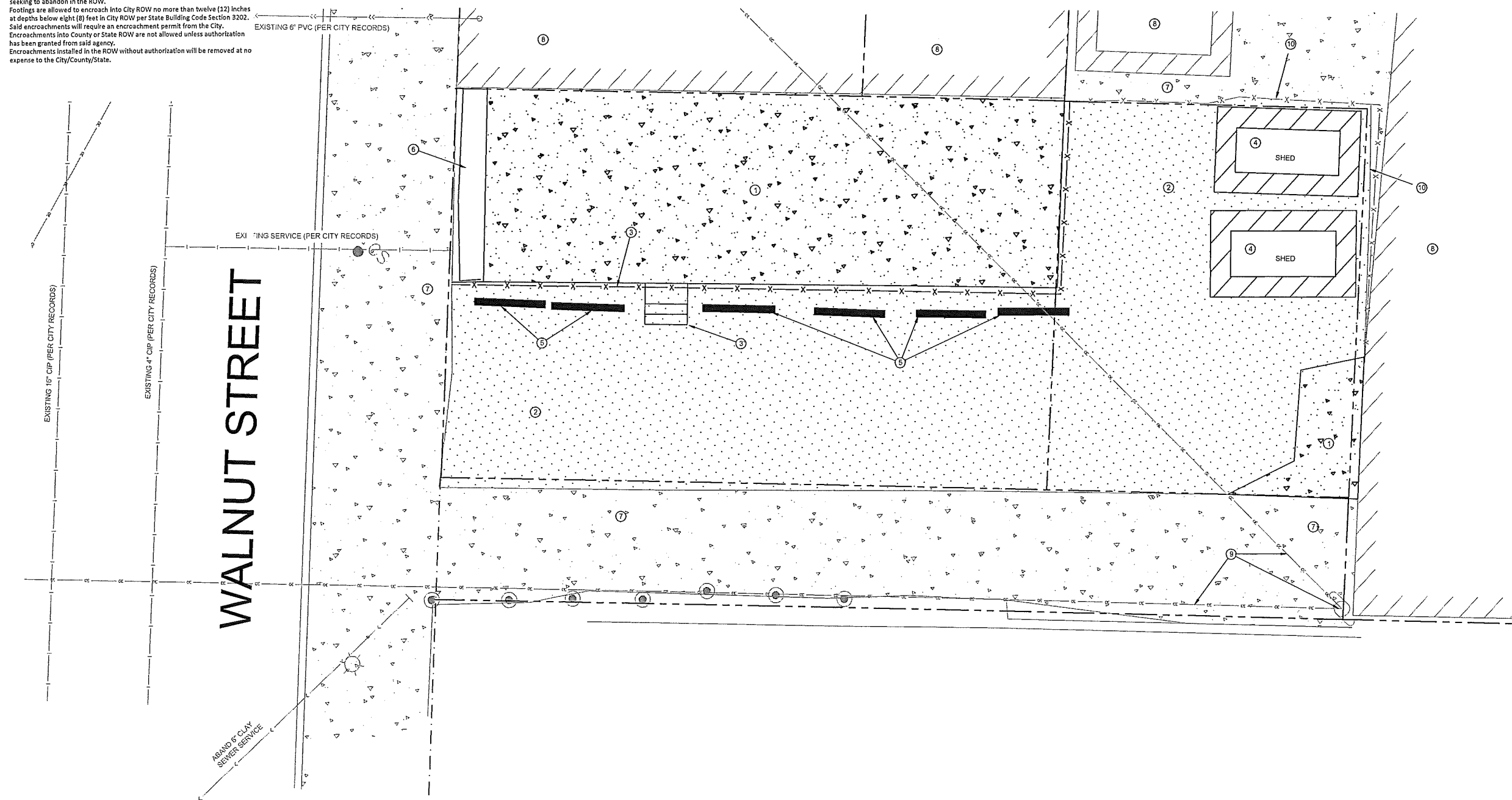
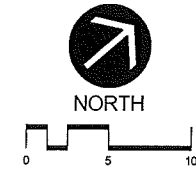
- ① REMOVE AND DISPOSE OF EXISTING CONCRETE PAVEMENT.
- ② REMOVE AND DISPOSE OF EXISTING BITUMINOUS PAVEMENT.
- ③ REMOVE AND DISPOSE OF EXISTING FENCE AND STEP.
- ④ REMOVE AND DISPOSE OF EXISTING BUILDING.
- ⑤ REMOVE AND DISPOSE OF EXISTING CONCRETE WHEEL STOPS.
- ⑥ REMOVE AND DISPOSE OF EXISTING LANDSCAPING WALL, SHRUBS, MULCH, ROOTS, AND SOILS.
- ⑦ PROTECT EXISTING CONCRETE PAVEMENT.
- ⑧ PROTECT EXISTING BUILDING.
- ⑨ PROTECT EXISTING UTILITY.
- ⑩ PROTECT EXISTING FENCE.

SYMBOL LEGEND

-  REMOVE AND DISPOSE OF EXISTING BITUMINOUS PAVEMENT SECTION
-  REMOVE AND DISPOSE OF EXISTING CONCRETE PAVEMENT SECTION

DEMOLITION NOTES

1. Verify all existing utility locations.
2. It is the responsibility of the Contractor to perform or coordinate all necessary utility demolitions and relocations from existing utility locations to all onsite amenities and buildings. These connections include, but are not limited to, water, sanitary sewer, cable tv, telephone, gas, electric, site lighting, etc.
3. Prior to beginning work, contact Gopher State OneCall (651-454-0002) to locate utilities throughout the area under construction. The Contractor shall retain the services of a private utility locator to locate the private utilities.
4. Sawcut along edges of pavements, sidewalks, and curbs to remain.
5. All construction shall be performed in accordance with state and local standard specifications for construction.



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR OTHER INSTRUMENT OF SERVICE WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. DATE: 03/27/2017
 MARY WILSON, P.E.
 41808
 41808

Larson Engineering
 3324 Labor Lake Road
 White Bear Lake, MN 55110
 651-461-9120 Fax: 651-461-9201
 www.larsonengr.com

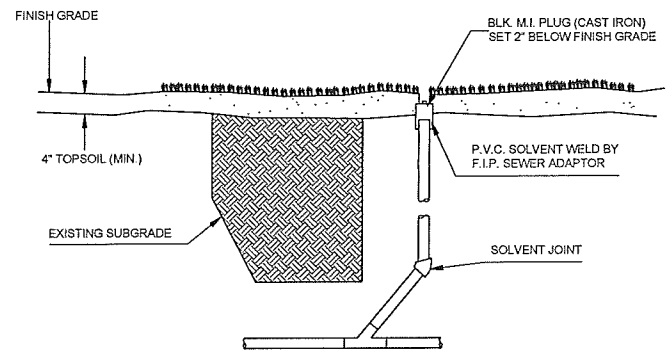
Project#: 12156155
 Drawn by: CBS
 Checked by: MJW

Sheet Title:
 DEMOLITION PLAN

CLIENT:
 T. REID & R. KEIPER
 W. 7TH ST. PARTNERS, LLC

PROJECT:
 ADDITION TO TOM REID'S
 HOCKEY CITY PUB
 258 7TH STREET WEST
 ST. PAUL, MN 55102

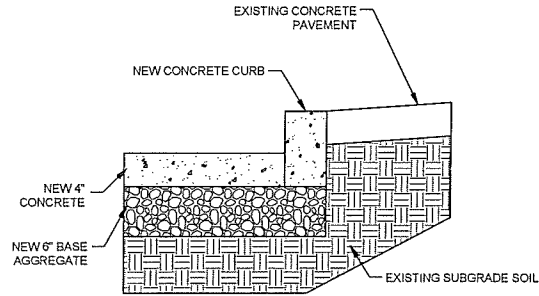
Sheet #
C1



SANITARY SEWER SERVICE CLEANOUT - TERRACE

1
C2

NOT TO SCALE



INTEGRAL CONCRETE CURB & SIDEWALK

2
C2

NOT TO SCALE

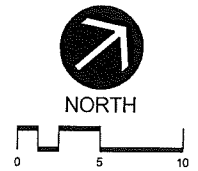
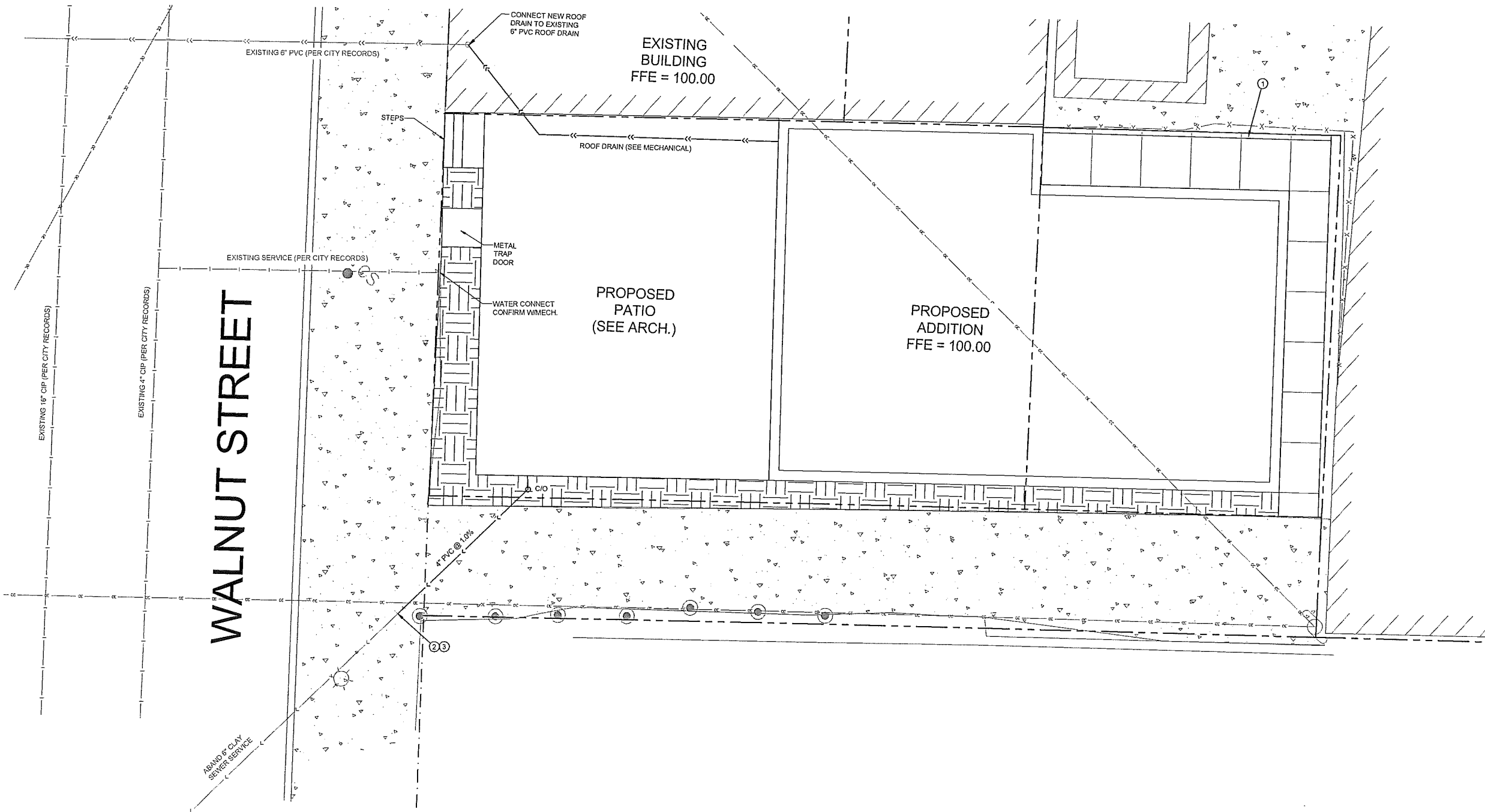
KEY NOTES

- 1 POUR INTEGRAL CONCRETE CURB TO MATCH EXISTING GRADE.
- 2 CONTRACTOR SHALL VERIFY EXISTING 6" CLAY TILE SEWER PIPE LOCATION AND ELEVATION PRIOR TO CONSTRUCTION, FURNISH AND INSTALL 4" SCHEDULE 40 PVC PIPE WITHIN EXISTING 6" PIPE AND EXTEND TO DOWNSTREAM MANHOLE LOCATED WITHIN WALNUT STREET. RESTORE EXISTING CONCRETE PAVEMENTS (SIDEWALK AND DRIVEWAY) TO MATCH EXISTING SECTIONS.
- 3 CONTRACTOR SHALL TELEVIEW EXISTING SANITARY SEWER PIPE. A DVD OF THE VIDEO INSPECTION MUST BE PROVIDED TO THE CITY PUBLIC WORKS STAFF FOR EVALUATION BEFORE 4" PVC CAN BE INSERTED. A REVISED SEWER SERVICE ALIGNMENT AND CONNECTION TO EXISTING MAY BE REQUIRED.

SYMBOL LEGEND

- NEW 4" CONCRETE PAVEMENT OVER NEW 6" CRUSHED AGGREGATE BASE SEE DETAIL 2/C2
- SEE LANDSCAPE PLAN.

WHERE APPLICABLE, DIMENSIONS ARE FROM BACK OF CURB TO BACK OF CURB OR BACK OF CURB TO END OF STALL LINE.



DESIGNED BY: M. J. W. DATE: 02-28-2017
 DRAWN BY: M. J. W. DATE: 02-28-2017
 CHECKED BY: M. J. W. DATE: 02-28-2017
 PROJECT NO: 12156155

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 White Bear Lake, MN 55110
 (612) 431-1320 Fax: (612) 481-4901
 www.larsoneng.com

Project #: 12156155
 Drawn by: CBS
 Checked by: MJW

Sheet Title:
 SITE & UTILITY PLAN

CLIENT:
 T. REID & R. KEIFER
 W. 7TH ST. PARTNERS, LLC

PROJECT:
 ADDITION TO TOM REID'S
 HOCKEY CITY PUB
 258 7TH STREET WEST
 ST. PAUL, MN 55102

Sheet #
 C2

GRADING NOTES

1. Tree protection consisting of snow fence or safety fence installed at the drip line shall be in place prior to beginning any grading or demolition work at the site.
2. All elevations with an asterisk (*) shall be field verified. If elevations vary significantly, notify the Engineer for further instructions.
3. Grades shown in paved areas represent finish elevation.
4. Restore all disturbed areas with "X" of good quality topsoil and seed.
5. All construction shall be performed in accordance with state and local standard specifications for construction.

EROSION CONTROL NOTES

1. Owner and Contractor shall obtain MPCA-NPDES permit. Contractor shall be responsible for all fees pertaining to this permit. The SWPPP shall be kept onsite at all times.
2. Install temporary erosion control measures (inlet protection, silt fence, and rock construction entrances) prior to beginning any excavation or demolition work at the site.
3. Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins, additional siltation fencing, and/or disk the soil parallel to the contours as deemed necessary to further control erosion. All changes shall be recorded in the SWPPP.
4. All construction site entrances shall be surfaced with crushed rock across the entire width of the entrance and from the entrance to a point 50' into the construction zone.
5. The top of the silt fence shall be trenched in a minimum of 6". The trench backfill shall be compacted with a vibratory plate compactor.
6. All grading operations shall be conducted in a manner to minimize the potential for site erosion. Sediment control practices must be established on all down gradient perimeters before any up gradient land disturbing activities begin.
7. All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. Temporary stockpiles without significant silt, clay or organic components (e.g., clean aggregate stockpiles, demolition concrete stockpiles, sand stockpiles) and the constructed base components of roads, parking lots and similar surfaces are exempt from this requirement.
8. The normal watted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, must be stabilized within 200 lineal feet from the property edge, or from the point of discharge into any surface water. Stabilization of the last 200 lineal feet must be completed within 24 hours after connecting to a surface water. Stabilization of the remaining portions of any temporary or permanent ditches or swales must be complete within 14 days after connecting to a surface water and construction in that portion of the ditch has temporarily or permanently ceased.
9. Pipe outlets must be provided with energy dissipation within 24 hours of connection to surface water.
10. All riprap shall be installed with a filter material or soil separation fabric and comply with the Minnesota Department of Transportation Standard Specifications.
11. All storm sewers discharging into wetlands or water bodies shall outlet at or below the normal water level of the respective wetland or water body at an elevation where the downstream slope is 1 percent or flatter. The normal water level shall be the invert elevation of the outlet of the wetland or water body.
12. All storm sewer catch basins not needed for site drainage during construction shall be covered to prevent runoff from entering the storm sewer system. Catch basins necessary for site drainage during construction shall be provided with inlet protection.
13. In areas where concentrated flows occur (such as swales and areas in front of storm catch basins and intakes) the erosion control facilities shall be backed by stabilization structure to protect those facilities from the concentrated flows.
14. Inspect the construction site once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours. All inspections shall be recorded in the SWPPP.
15. All silt fences must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches 1/3 of the height of the fence. These repairs must be made within 24 hours of discovery, or as soon as field conditions allow access. All repairs shall be recorded in the SWPPP.
16. If sediment escapes the construction site, off-site accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
17. All soils tracked onto pavement shall be removed daily.
18. All infiltration areas must be inspected to ensure that no sediment from ongoing construction activity is reaching the infiltration area and these areas are protected from compaction due to construction equipment driving across the infiltration area.
19. Temporary soil stockpiles must have silt fence or other effective sediment controls, and cannot be placed in surface waters, including stormwater conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the stormwater.
20. Collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with MPCA disposal requirements.
21. Oil, gasoline, paint and any hazardous substances must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with MPCA regulations.
22. External washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No engine degreasing is allowed onsite.
23. All liquid and solid wastes generated by concrete washout operations must be contained in a leak-proof containment facility or impermeable liner. A compacted clay liner that does not allow washout liquids to enter ground water is considered an impermeable liner. The liquid and solid wastes must not contact the ground, and there must not be runoff from the concrete washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.
24. Upon completion of the project and stabilization of all graded areas, all temporary erosion control facilities (silt fences, hay bales, etc.) shall be removed from the site.
25. All permanent sedimentation basins must be restored to their design condition immediately following stabilization of the site.
26. Contractor shall submit Notice of Termination for MPCA-NPDES permit within 30 days after Final Stabilization.

LEGEND

- 950 ——— EXISTING CONTOURS
- 950 ——— PROPOSED CONTOURS - MAJOR INTERVAL
- 949 ——— PROPOSED CONTOURS - MINOR INTERVAL
- GRADE BREAK LINE
- GRADE SLOPE

950.00 TC
949.50 GL
2.0%

SPOT ABBREVIATIONS:
(*) - EXISTING TO BE VERIFIED

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR CONTRACT DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. DATE: 05/23/2017
MATT WOODRUFF, P.E.
MATT WOODRUFF
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Project #: 121516155
Drawn by: CBS
Checked by: MJW

Sheet Title:
GRADING PLAN

CLIENT:
T. REID & R. KEIFER
W. 7TH ST. PARTNERS, LLC

PROJECT:
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Sheet #
C3

